

ADMINISTRATIVE REPORT

Title: DAV 23-225003/C – 1365 Lee Boulevard

Issue: For Variances associated with the establishment of a multi-family residential development.

Critical Path: Director of Planning, Property, and Development

AUTHORIZATION

Author	Department Head	CFO	CAO
R. Galston, MCP	n/a	n/a	

DECISION & CONDITIONS

The Urban Planning Division **approves** the application to vary the "RMU" Development & Design Standards of Winnipeg Zoning By-Law No. 200/2006 as follows:

1. For the construction of a multi-family dwelling (167 units) to permit:
 - a. a front yard of 14.5 feet (4.42 metres) instead of 20 feet (6.1 metres);
 - b. a rear yard of 9.5 feet (2.89 metres) instead of 25 feet (7.62 metres);
 - c. 246 parking spaces instead of 251 parking spaces;
2. For the establishment of an accessory parking area to permit:
 - a. a parking area without direct access to a street or public lane (access to be facilitated via a cross-access agreement);
 - b. no south side yard instead of 15 feet (4.57 metres).

Subject to the following condition(s):

1. That, if any variance granted by this order is not established within two (2) years of the date hereof, this order, in respect of that Variance shall terminate.

REASON FOR THE REPORT

This report provides information and makes recommendations regarding the subject application's compliance with *The City of Winnipeg Charter*, section 249.

FILE/APPLICANT DETAILS

FILE: DAV 23-225003/C
RELATED FILES: na
COMMUNITY: Assiniboia Committee
NEIGHBOURHOOD #: 2.637 (Fairfield Park)

SUBJECT: To vary the “RMU” Development & Design Standards of Winnipeg Zoning By-Law No. 200/2006 as follows:
1) For the construction of a multi- family dwelling (167 units) to permit:
a) a front yard of 14.5 feet (4.42 metres) instead of 20 feet (6.1 metres);
b) a rear yard of 9.5 feet (2.89 metres) instead of 25 feet (7.62 metres);
c) 246 parking spaces instead of 251 parking spaces;
2) For the establishment of an accessory parking area to permit:
a) a parking area without direct access to a street or public lane (access to be facilitated via a cross-access agreement);
b) no south side yard instead of 15 feet (4.57 metres).

LOCATION: 1365 Lee Boulevard
LEGAL DESCRIPTION: LOT 1 PLAN 56635 1/2 ST V

APPLICANT: Lee Kirk (Rockport Commercial, Inc.)
62 Don Valley Parkway, Unit 1
Sunnyside, MB R2C 5G5

OWNER: Rockport Investment Group, Inc.
62 Don Valley Parkway, Unit 1
Sunnyside, MB R5R 0C9

HISTORY

DAZ 211/2015

- On November 25, 2015, Council approved a rezoning of the subject land to an “RMU” Residential Mixed Use district. Among the conditions of approval was that the land owner enter into a Zoning Agreement with the City. The Zoning Agreement includes the following conditions:
 - i. *That, billboard signs, mobile signs, inflatable signs, digital static copy signs, or A-frame signs shall not be permitted on the entire site.*
 - ii. *That, excluding projections permitted under the Zoning By-Law, the maximum height of any building on the land shall not exceed seventy-five (75) feet.*

- iii. *That the minimum setback to any principal building from the south property line shall equal the building height of the principal building but shall not exceed 60 feet.*
- iv. *That, for the development of any building, and/or accessory parking area and/or signage within the lands, plans shall be submitted showing the location and design of the proposed buildings, the location and design of accessory parking areas, private approaches, garbage enclosures, fencing, landscaping and signage to the Director of Planning, Property and Development and the Riel Community Committee for plan approval prior to the issuance of any building or development permit, and thereafter all to be maintained to the satisfaction of the Director of Planning, Property and Development.*

DISCUSSION

CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a variance with respect to a property may be approved if the variance:

- (a) is consistent with Plan Winnipeg and any applicable secondary plan;
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- (d) is compatible with the area in which the property to be affected is situated.

SITE DESCRIPTION

- The subject property is located north of Lee Boulevard, on the east side of Waverley Street, in the Fairfield Park Neighbourhood of the Waverley West Ward.
- The subject property is located within the Established Neighbourhoods – Recent Communities policy area under the *Complete Communities Direction Strategy 2.0*. The property is zoned “RMU” Residential Mixed Use.
- The subject property has a total lot area of 2.0 acres and is currently vacant.



Figure 1: Aerial Photo of Subject Site and Surrounding Uses (flown 2021)

SURROUNDING LAND USE AND ZONING (See Figure 2)

North: Vacant land zoned “RR5” Rural Residential 5.

South: Multi-family residential uses zoned “RMF-S” Residential Multi-Family (Small).

East: Vacant land zoned “RMF-S” Residential Multi-Family (Small).

West: Waverley Street, then vacant land and single-family residential uses zoned “R1-M” Residential Single-Family (Medium).

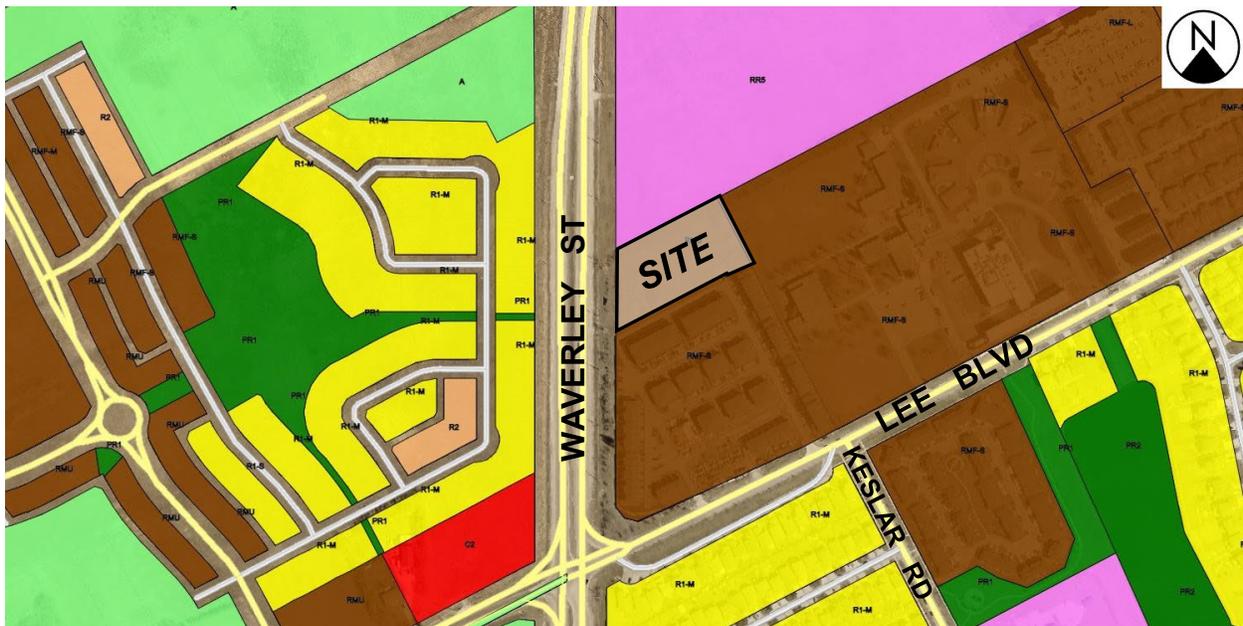


Figure 2: Zoning of the site and surrounding area.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

- The applicant is proposing to construct a multi-family development on the subject site. This proposed multi-family development will include a total of 167 dwelling units
- Design drawings show that the proposed building is six (6) storeys, and has a maximum height of 71 feet to the top of the roof parapet. The proposed building steps down to four (4) storeys on the northwest elevation and two (2) storeys on the east elevation. This is to ensure the south yard setback requirement of the Zoning Agreement under DAZ 211/2015 is met. (Please refer to the History section of this report, above.)
- A total of 247 accessory parking stalls are proposed, including 163 underground stalls and 84 outdoor stalls.

COLLABORATION

- The applicant made contact with the Urban Planning Division prior to submitting the application.

ANALYSIS AND ISSUES

COMPLETE COMMUNITIES DIRECTION STRATEGY 2.0

- The *Complete Communities Direction Strategy 2.0* supports *OurWinnipeg 2045*, and has statutory authority as a secondary plan. The strategy guides land use and development in Winnipeg.
- As noted above, the subject property is classified as an Established Neighbourhoods – Recent Communities policy area under *Complete Communities 2.0*. Key policies include:
 - D1. Established Neighbourhoods*
 - 1.1 Encourage residential development that positively contributes to neighbourhood character while expanding housing options for residents in a manner that is sensitive and complementary to existing development.*
 - 1.2 Increase the population within Established Neighbourhoods to contribute to the physical renewal and revitalization of older neighbourhoods.*
 - 1.3 The subdivision of land or the consolidation of land may occur when it is done in a context-sensitive manner, and only when in compliance with policy section 9.1 of the Strategic Infrastructure and Resources section.*
 - 1.5 Support up to mid-rise residential development in Established Neighbourhoods that is compatible with neighbourhood context.*
 - 1.14 Mid-rise residential uses will generally be accommodated on arterial roads where compatible with adjacent land uses and where they can be conveniently served with transit and local commercial amenities, and in consideration of the factors listed in Policy section 1.6.*
 - 1.15 Low-rise residential uses will generally be encouraged to locate on arterial roads and collector roads where compatible with adjacent land uses and where they can be conveniently served with transit and local commercial amenities, and in consideration of the factors listed in Policy section 1.6.*
 - 1.16 Small-scale residential uses, not including single-family, may be accommodated on collector roads and local streets with a public lane, where compatible with adjacent land uses, and in consideration of the factors listed in Policy section 1.6.*

- 1.17 *Single-family residential uses will generally be directed to locate on collector streets and local streets.*
- 2.3 *Encourage, where contextually suitable, the location of multi-family buildings at or near the front and corner side property lines to create a pedestrian orientation that is respectful of the area context. Use setbacks to provide landscaping, front courtyards for individual units or other amenities that support the pedestrian environment, building design and relationship to the street.*
- 2.12 *New development should respect and complement the existing character of the built form of surrounding properties.*
- 2.21 *Site design should take cues from the character of the neighbourhood or street and should mitigate the potential for land use conflict with adjacent properties that have different scales, densities and uses. Parking location (motor vehicle and bicycle), vehicular access, servicing elements, building placement and landscaping treatment will be important design elements to ensure context-sensitive design.*
- 2.22 *Create or reinforce compact, pedestrian-oriented urban development patterns by ensuring the siting, form and scale of new development has a strong relationship to the street, public spaces and amenities in a way that is consistent with neighbourhood context.*
- 3.1 *Encourage a variety of housing types and tenures within Established Neighbourhoods to meet life-cycle housing needs and affordability ranges.*
- 3.2 *Encourage a mix of types, tenures and unit sizes within residential developments. Make provisions for unit sizes that can accommodate varying family sizes and multi-generational households.*

CITY OF WINNIPEG ZONING BY-LAW 200/2006

- Per the Winnipeg Zoning By-law, buildings in the “RMU” district are required to have:
 - A minimum front yard setback of 20 feet. The applicant is proposing a front yard building setback of 14.5 feet;
 - A minimum rear yard setback of 25 feet. The applicant is proposing a rear yard of 9.5 feet;

As such, Variances are required.

- Per the Winnipeg Zoning By-law, a minimum of 251 parking stalls are required for the proposed development. The applicant is proposing to provide 246 parking stalls. As such, a Variance is required.
- Per the Winnipeg Zoning By-law, accessory parking areas are required to have direct access to a public street or a public lane. The applicant is proposing to establish a parking area where access is taken across an adjacent property. As such, a Variance is required.
- Accessory parking areas in the “RMU” district are required to have a minimum side yard setback of 15 feet. The applicant is proposing to have no south side yard setback. As such, a Variance is required.

ANALYSIS OF VARIANCES

Front Yard Building Setback (West)

- The Urban Planning and Design Division supports a front (west) yard setback of 14.5 feet instead of the required 20 feet because this applies to areas of the building where three (3) separate mechanical rooms and balconies project outward. These separate mechanical rooms have approximately 4.3 feet of frontage each. Additionally, the applicant proposes to provide balconies that are located within 14.5 feet of the front property line.
- The main building wall, where these projections are not present, has a front yard setback that ranges between approximately 18.5 feet and 20.5 feet.
- It should be noted that, it would be difficult to provide a multi-family development within the required setbacks while also:
 - Meeting the south yard setback requirement of the Zoning Agreement under DAZ 211/2015 (please refer to the History section of this report, above);
 - Avoiding further reductions in the number of accessory parking stalls.
- For these reasons, the Variance for a reduced front yard setback is supported.

Rear Yard Building Setback (East)

- The Urban Planning and Design Division supports a rear (east) yard setback of 9.5 feet, for similar reasons as the front yard setback discussed above. The proposed setback of 9.5 feet applies to projections for mechanical rooms and balconies. The main wall has a setback is approximately 15.5 feet. While this setback of 15.5 feet is significantly less than the required 25 feet, it should be noted that the east yard setbacks of the adjacent development to the south is approximately 18 feet.
- Plans submitted show that the proposed development will function as part of the adjacent multi-family development to the south through a cross-access agreement and shared pedestrian and vehicular connections. If these two separate lots were one, the rear yards would be considered the interior side yard. The setback requirement would be 15 feet.

Number of Parking Stalls

- As noted above, a total of 167 dwelling units are proposed. The applicant is proposing to provide 246 parking stalls, including 163 underground stalls and 84 outdoor stalls. This results in a ratio of 1.47 parking stalls for each dwelling unit, instead of the 1.5 stalls for each units required by the Winnipeg Zoning By-law. This is a decrease of two (2) percent below the Zoning By-law requirement.
- It should be noted that the subject site is located approximately 300 metres from eastbound and westbound transit stops on Lee Boulevard. These transit stops are currently serviced by Route 662, a feeder route which features daily service to the University of Manitoba campus and the Southwest Rapid Transit Corridor. Given this existing transit access, the minor decrease in the number of parking stalls can be supported.

No Direct Access to a Public Street

- The Urban Planning and Design Division is supportive of the variances for no vehicular access from a public street or lane because the applicant is proposing to connect the

drive aisles on the subject site through a cross-access agreement. This will allow vehicles to access the subject site through one of two existing private approaches from Lee Boulevard. In this manner, the proposed development will function as one large site, rather than two separate developments on each of the proposed two lots.

Parking Area Side Yard Setback (South)

- Similar to the requested Variance for building yard setbacks discussed above, the Urban Planning Division is supportive of the variances for no parking area side yards because these proposed side yards are interior to the site, and because they will enable the applicant to provide a multi-family development consistent with policies in *Complete Community Direction Strategy 2.0* without further reductions to the number of accessory parking stalls.
- The applicant is proposing to connect the accessory parking areas on the proposed lots through a cross-access agreement, to allow vehicles to access parking areas on either one of the proposed lots. In this manner, the proposed development will function as part of one large multi-family site.
- Plans submitted show that landscaped areas along the south side yard provide 13 trees and 57 shrubs. Additionally, plans show a solid wood fence that is 4.0 feet in height along the southern edge of the outdoor parking area. Given this landscaped area and fencing, the general effect of no setback to a parking area will be reduced.

PLAN APPROVAL

- Per the Zoning Agreement on the land under file DAZ 211/2015, plan approval by the Assiniboia Community Committee and the Director of Planning, Property and Development is required for any development on the subject property.
- A future plan approval application will be evaluated by the Urban Planning and Design Division based on the design guidelines approved for the subject site under DAZ 211/2015. This includes, but is not limited to:
 - Parking areas and garbage areas screened from public view by buildings and/or landscaping;
 - Pedestrian connections provided;
 - Building façade details and architectural features;
 - Landscaping on the site, and along Waverley Street (west side of site) in particular.

REASONS FOR RECOMMENDATIONS

In the context of Section 247(3), the Urban Planning Division **approves** for the following reasons:

- (a) is consistent with Plan Winnipeg and any applicable secondary plan;

In that, the proposal adds to the mix of housing types, while providing a detached garage with the permitted size, in a manner that is sensitive to the surrounding neighbourhood as outlined in the Complete Communities Direction Strategy 2.0.

- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- In that the building location and design elements align with the surrounding context and help reduce any potential adverse effects on adjoining properties.*
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- In that, the Variance will allow the applicant to introduce additional density on the site, while constructing a detached garage with the permitted size, in a manner that is consistent with policies in the Complete Communities Direction Strategy 2.0.*
- (d) is compatible with the area in which the property to be affected is situated.
- In that, existing development on the block includes infill development consisting of predominately detached single-family dwellings on larger lots.*

CONSULTATION

In preparing this report there was internal consultation with: N/A

OURWINNIPEG POLICY ALIGNMENT

OurWinnipeg 2045 Goal – City Building

6.16 Established Neighbourhoods

Designate Established Neighbourhoods within the Urban Structure, representing lands that will accommodate additional growth in a context-sensitive manner, while promoting the efficient use of land, cost-effective municipal servicing, enhanced housing choice and affordability, and conservation of green infrastructure and heritage resources and districts, as defined in Complete Communities.

WINNIPEG CLIMATE ACTION PLAN ALIGNMENT

Strategic Opportunity #4: Facilitate Compact, Complete Development and Increase Density

- *Ensure new areas of growth are designed according to the principles of Complete Communities.*

WINNIPEG POVERTY REDUCTION STRATEGY ALIGNMENT

Consideration was given as to whether this report connects to any of the specific Goals and Objectives in the PRS and it was determined that the PRS is not applicable to this specific report.

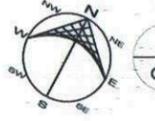
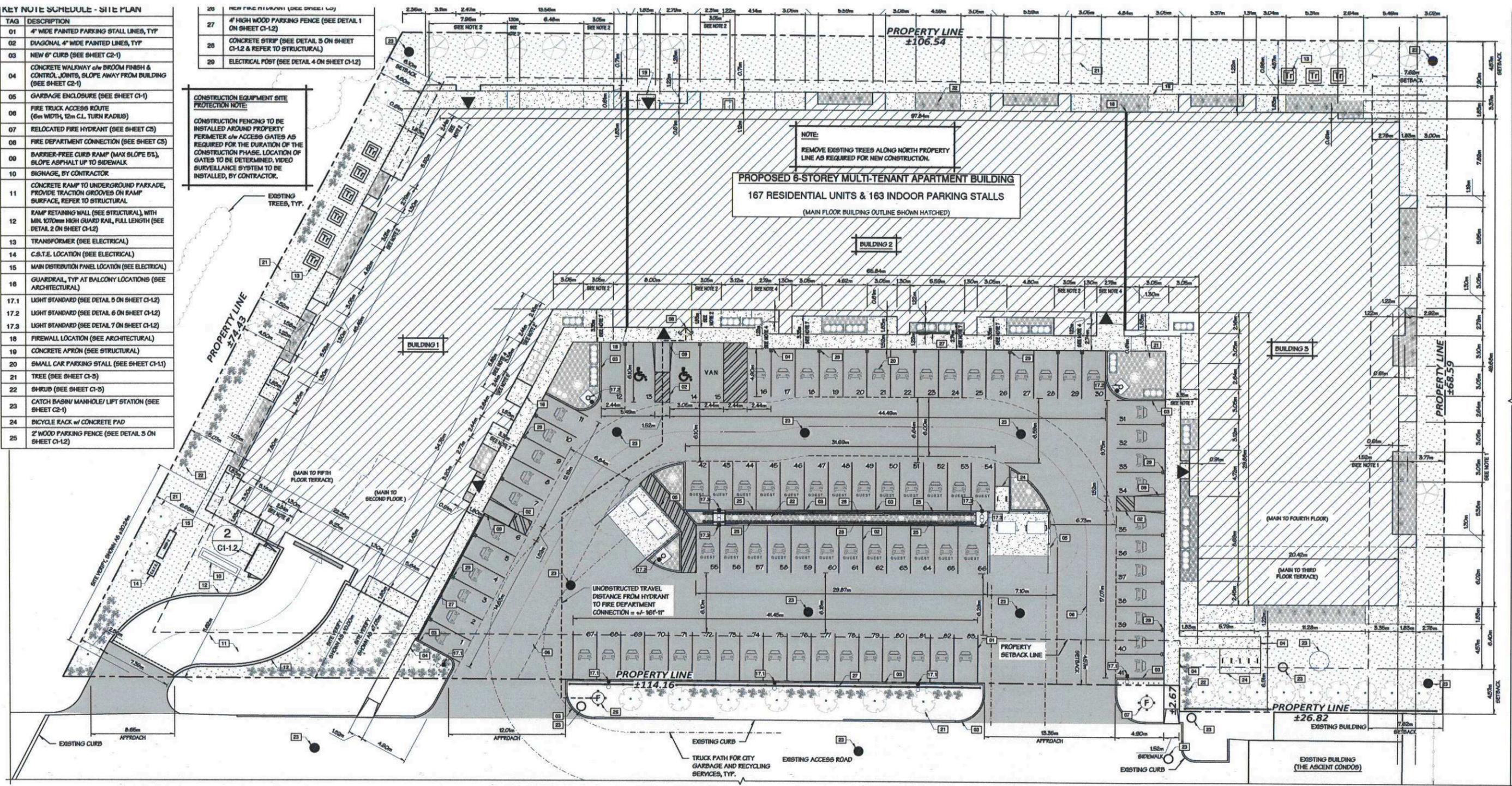
SUBMITTED BY

Department: Planning, Property and Development
Division: Urban Planning
Prepared by: Robert Galston, MCP
Date: Friday, February 16, 2024
File No. DAV 23-225003/C

KEY NOTE SCHEDULE - SITE PLAN

TAG	DESCRIPTION
01	4" WIDE PAINTED PARKING STALL LINES, TYP
02	DIAGONAL 4" WIDE PAINTED LINES, TYP
03	NEW 6" CURB (SEE SHEET C2-1)
04	CONCRETE WALKWAY <i>ch</i> DROOM FINISH & CONTROL JOINTS, SLOPE AWAY FROM BUILDING (SEE SHEET C2-1)
05	GARBAGE ENCLOSURE (SEE SHEET C1-1)
06	FIRE TRUCK ACCESS ROUTE (6m WIDTH, 12m CL. TURN RADIUS)
07	RELOCATED FIRE HYDRANT (SEE SHEET C5)
08	FIRE DEPARTMENT CONNECTION (SEE SHEET C5)
09	BARRIER-FREE CURB RAMP (MAX SLOPE 5%), SLOPE ASPHALT UP TO SIDEWALK
10	SIGNAGE, BY CONTRACTOR
11	CONCRETE RAMP TO UNDERGROUND PARKADE, PROVIDE TRACTION GROOVES ON RAMP SURFACE, REFER TO STRUCTURAL
12	RAMP RETAINING WALL (SEE STRUCTURAL), WITH MIN. 1070mm HIGH GUARD RAIL, FULL LENGTH (SEE DETAIL 2 ON SHEET C1-2)
13	TRANSFORMER (SEE ELECTRICAL)
14	C.S.T.E. LOCATION (SEE ELECTRICAL)
15	MAIN DISTRIBUTION PANEL LOCATION (SEE ELECTRICAL)
16	GUARDRAIL, TYP AT BALCONY LOCATIONS (SEE ARCHITECTURAL)
17.1	LIGHT STANDARD (SEE DETAIL 5 ON SHEET C1-2)
17.2	LIGHT STANDARD (SEE DETAIL 6 ON SHEET C1-2)
17.3	LIGHT STANDARD (SEE DETAIL 7 ON SHEET C1-2)
18	FIREWALL LOCATION (SEE ARCHITECTURAL)
19	CONCRETE APRON (SEE STRUCTURAL)
20	SMALL CAR PARKING STALL (SEE SHEET C1-1)
21	TREE (SEE SHEET C1-5)
22	SHRUB (SEE SHEET C1-5)
23	CATCH BASIN/MANHOLE/LIFT STATION (SEE SHEET C2-1)
24	BICYCLE RACK w/ CONCRETE PAD
25	2" WOOD PARKING FENCE (SEE DETAIL 3 ON SHEET C1-2)

CONSTRUCTION EQUIPMENT SITE PROTECTION NOTE:
CONSTRUCTION FENCING TO BE INSTALLED AROUND PROPERTY PERIMETER *ch* ACCESS GATES AS REQUIRED FOR THE DURATION OF THE CONSTRUCTION PHASE. LOCATION OF GATES TO BE DETERMINED. VIDEO SURVEILLANCE SYSTEM TO BE INSTALLED, BY CONTRACTOR.



1 SITE LAYOUT PLAN

C1-2
SCALE: 1:200
SHEET REF. C1

DIMENSION NOTES:

- BALCONY ON THIRD AND FOURTH FLOOR
- BALCONY ON SECOND TO SIXTH FLOOR
- MECHANICAL ROOM ON SECOND TO SIXTH FLOOR
- ROOM PROJECTION ON SECOND TO SIXTH FLOOR
- BALCONY ON GROUND FLOOR
- VENTILATION SPACE BELOW GROUND FLOOR
- DIMENSION FROM PARKING STALL MAIN

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

SHEET # 1 OF 10

APPLICANT(SGN): Lee Kirk

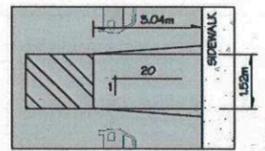
ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM
▨	LANDSCAPED AREA	▨	TRANSFORMER	Tr	
▨	(AT BUILDING) MAN DOOR LOCATION	▼	CUSTOMER SERVICE TERMINATION ENCLOSURE	C.S.T.E.	
▨	(AT BUILDING) OVERHEAD DOOR LOCATION	▽	FIRE HYDRANT	F	
▨	FIRE DEPARTMENT CONNECTION	↗	LIGHT STANDARD (REFER TO ELECTRICAL)	○	

PARKING INFORMATION

TOTAL EXTERIOR PARKING STALLS PROVIDED	STANDARD	1
	SMALL CAR	79
	ACCESSIBLE	2
	VAN ACCESSIBLE	1
TOTAL BICYCLE PARKING PROVIDED (LOCKABLE STORAGE)	OUTSIDE BUILDING	14



2 BARRIER-FREE PATH

C1-2
SCALE: 1:200

Lee Kirk

ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

DGH ENGINEERING LTD.
CIVIL | STRUCTURAL | MECHANICAL | ELECTRICAL | INDUSTRIAL
12 Aviation Boulevard
St. Andrews MB R1A 3N5 Canada
T: 204-334-8846
www.dghengineering.com

PROJECT TITLE: MULTI TENANT APARTMENT
PROJECT LOCATION: 1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-1-2325-027-10

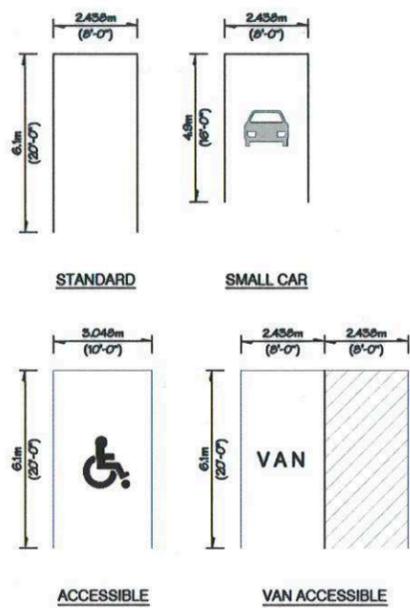
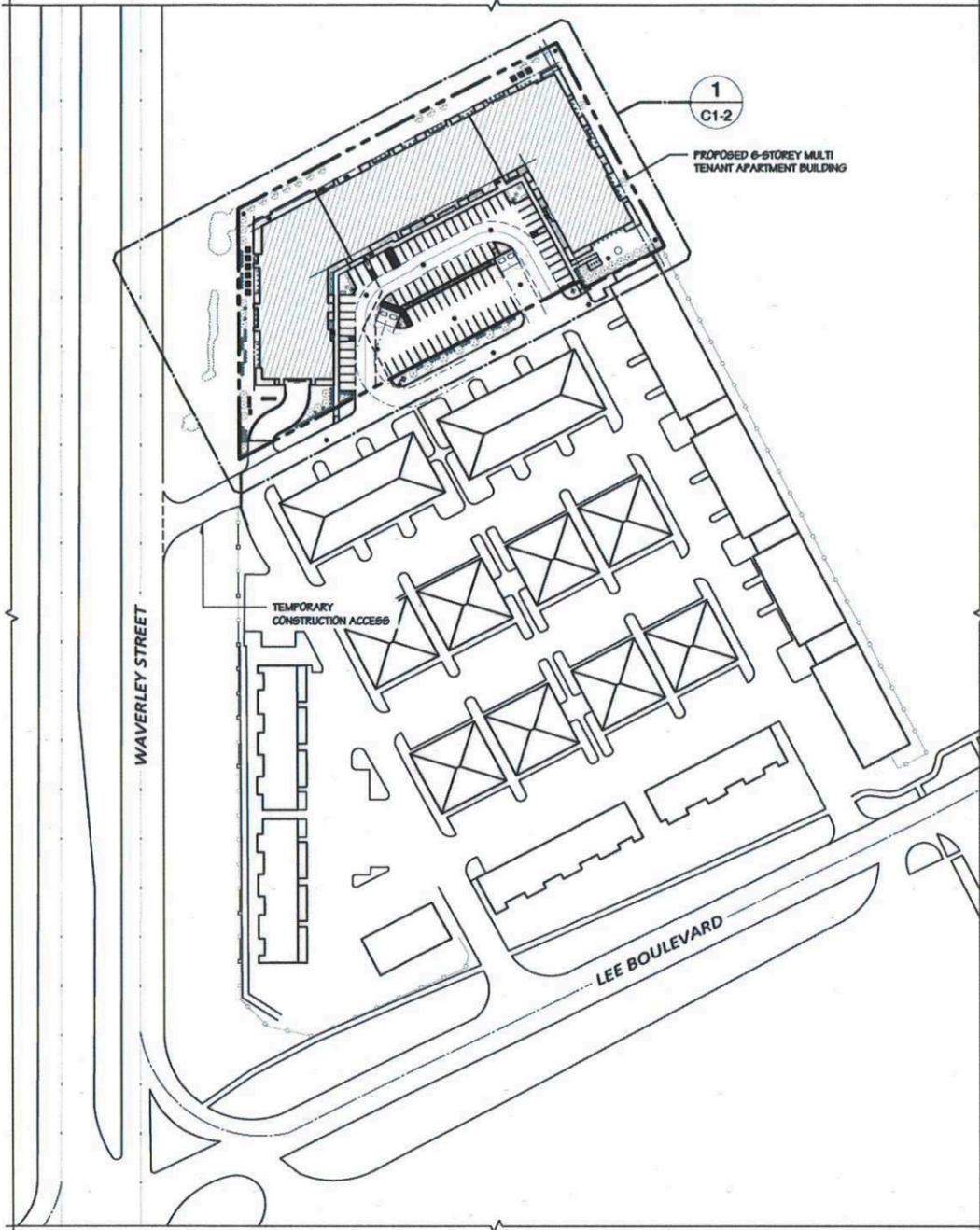
DESIGNED: JJC/RRK
DRAWN: KKM
COORDINATOR: GMF

DATE: MAR/2023
SCALE: AS NOTED
X-REF PATH(S): FLOOR PLAN

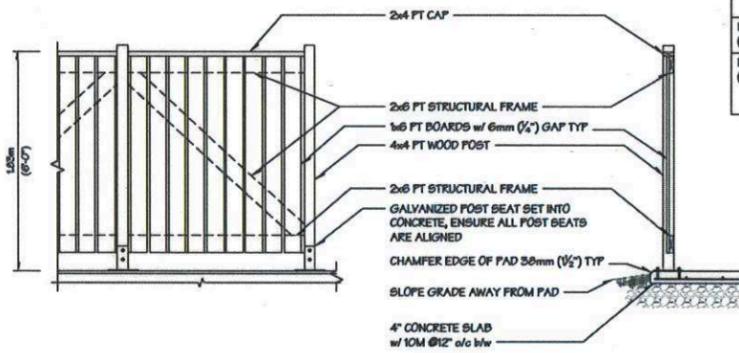
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03 ENTIRE SHEET REVISED

C1-2
REV. 03

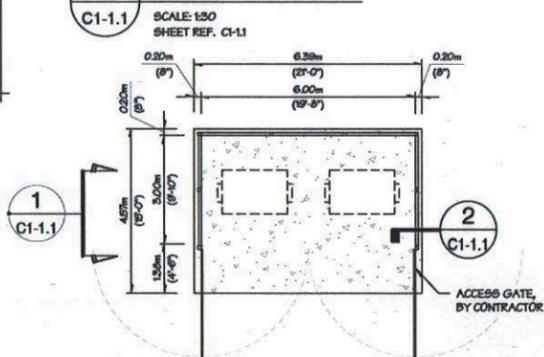


PARKING STALL DETAILS



1 ELEVATION

2 SECTION



GARBAGE ENCLOSURE DETAILS

SITE/ZONING INFORMATION	
LEGAL DESCRIPTION	LOT 1 PLAN NO 56635 IN RIVER LOT 2 PARISH OF ST. VITAL
CIVIC ADDRESS	1365 LEE BOULEVARD WINNIPEG, MB R2C 4G5
LOT AREA	±8254m² (±856 680ft²)
SETBACKS	FRONT SETBACK (WEST) 6.10m (20'-0") REAR SETBACK (EAST) 7.82m (25'-0") SIDE SETBACK (NORTH) 4.57m (15'-0") SIDE SETBACK (SOUTH) 4.57m (15'-0")
CURRENT ZONING	RMJ RESIDENTIAL MIXED-USE
MINIMUM LOT AREA PER DWELLING UNIT	46.4m² per unit (500ft² per unit)
PROPOSED LOT AREA PER DWELLING UNIT	49.2m² per unit (530ft² per unit)
PERMITTED BUILDING HEIGHT (AS PER ZONING BY-LAW 200/2006)	30.48m (100'-0")
PERMITTED BUILDING HEIGHT (AS PER ZONING AGREEMENT DAZ 211/2015)	22.86m (75'-0")
PROVIDED BUILDING HEIGHT	±22.25m (±73'-0")

PARKING INFORMATION		
TOTAL REQUIRED PARKING STALLS		251
TOTAL REQUIRED ACCESSIBLE STALLS (AS PART OF TOTAL REQUIRED PARKING STALLS)		7
TOTAL REQUIRED VAN ACCESSIBLE STALLS (AS PART OF TOTAL REQUIRED ACCESSIBLE PARKING STALLS)		2
PROVIDED PARKING STALLS		246
INTERIOR	STANDARD	156
	SMALL CAR	1
	ACCESSIBLE	5
	VAN ACCESSIBLE	1
	STANDARD	1
EXTERIOR	SMALL CAR	79
	ACCESSIBLE	2
	VAN ACCESSIBLE	1
REQUIRED BICYCLE PARKING (LOCKABLE STORAGE)		25
PROVIDED BICYCLE PARKING (LOCKABLE STORAGE)		49
INSIDE BUILDING		25
	OUTSIDE BUILDING	14

BUILDING INFORMATION		
MULTI-FAMILY RESIDENTIAL BUILDING		
1 LEVEL OF UNDERGROUND PARKING FOR RESIDENTS SURFACE PARKING FOR RESIDENTS AND GUESTS COMMON ROOM, GYM, THEATER ROOM, PET WASH, BIKE STORAGE ON MAIN FLOOR EACH SUITE (WITH THE EXCEPTION OF SUITE TYPE "A7") INCLUDES A BALCONY		
FIREWALL:		YES (2 FIREWALLS: 1 AT GRID LINE 15 & 1 AT GRID LINE 21)
UNIT INFORMATION	PROVIDED	AREA
1 BEDROOM	A1	10
	A2	2
	A3	5
	A4	5
	A5	1
	A6	6
	A7	2
	A8	6
	B1	60
	B2	6
2 BEDROOM	B3	5
	B4	6
	B5	5
	B6	5
	B7	1
	B8	1
	B9	4
	B10	2
	B11	2
	C1	6
3 BEDROOM	C2	2
	C3	5
	C4	2
TOTAL SUITES:	167	
BUILDING AREA:		AREA (APPROX.)
BASEMENT		61 582 ft²
MAIN FLOOR		56 957 ft²
2ND FLOOR		57 090 ft²
3RD FLOOR		54 365 ft²
4TH FLOOR		54 365 ft²
5TH FLOOR		51 868 ft²
6TH FLOOR		51 868 ft²
TOTAL BUILDING AREA		268 091ft²

- NOTES CONCERNING BUILDING LOCATION:**
- THIS SITE PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER, INCLUDING A SURVEY, DGH ENGINEERING AND RUSSELL ARCHITECT INC. ARE TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UN-SHOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR DURING FUTURE USE.
 - THE 'NORTH' ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
 - ALL PROPERTY BOUNDARIES ARE TO BE ESTABLISHED BY A CERTIFIED MANITOBA LAND SURVEYOR PRIOR TO COMMENCEMENT OF CERTIFICATION.
 - ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED AS REQUIRED BEFORE CONSTRUCTION START BY A CERTIFIED MANITOBA LAND SURVEYOR.
 - THE CORNERS OF THE FOUNDATION FOOTPRINT ARE TO BE LOCATED ON SITE BEFORE CONSTRUCTION START BY A CERTIFIED MANITOBA LAND SURVEYOR.



ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

SHEET # 2 OF 10

APPLICANT(SGN): Lee Kirk

ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

Lee Kirk

ISSUED FOR DEVELOPMENT PERMIT

NO (REV)	DATE	DESCRIPTION	INITIAL(S)
05	2023-12-15	ISSUED FOR DEVELOPMENT PERMIT	JAB
04	2023-10-31	CL, AL, A4 - ISSUED FOR DEVELOPMENT PERMIT	JF
03 (P.O.)	2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02	2023-09-09	ISSUED FOR DEVELOPMENT PERMIT	KKM
01	2023-01-31	ISSUED FOR CLIENT REVIEW	KKM

PRINTED DATE: 12/13/2023 4:23:54 PM



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12 Aviation Boulevard St. Andrews MB R1A 3N5 Canada T: 204-334-8846 www.dghengineering.com

CLIENT: **ROCKPORT COMMERCIAL INC.**
UNIT #1
62 DON VALLEY PARKWAY WINNIPEG, MB. R2C 5G5

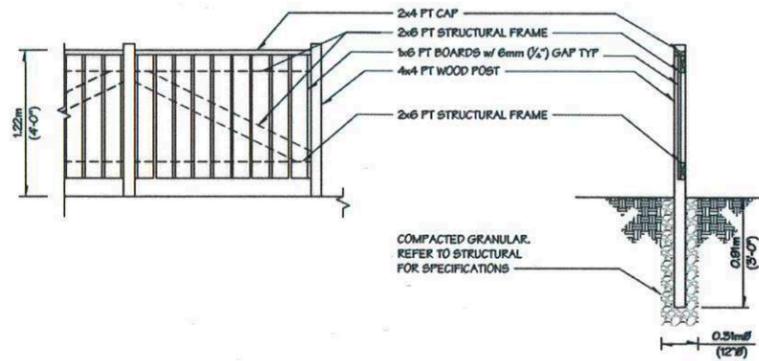
PROJECT TITLE: **MULTI TENANT APARTMENT**
PROJECT LOCATION: 1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-2525-027-40

DESIGNED: JJC/RRK	DRAWN: KKM	COORDINATOR: GMF
DATE: MAR/2023	SCALE: AS NOTED	X'REF PATH(S): PROJECT PROJECTING

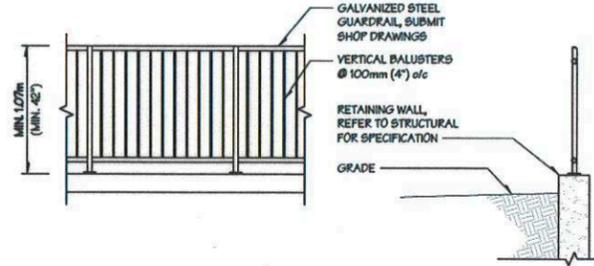
SITE PLAN - KEY PLAN, DETAILS, & SCHEDULES C1-1.1
REV. 0 R02

02 ENTIRE SHEET REVISED

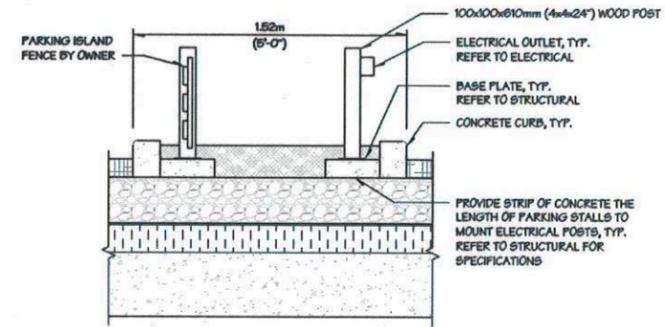
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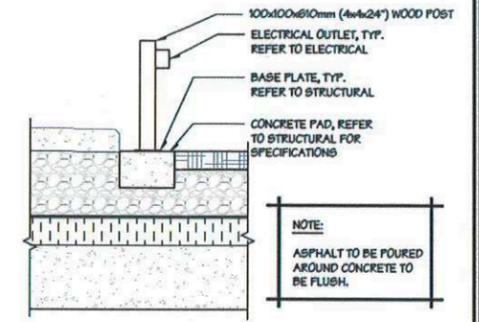
1 4' WOOD PARKING FENCE DETAIL
 C1-1.2 SCALE: 1:50 SHEET REF. C1-2



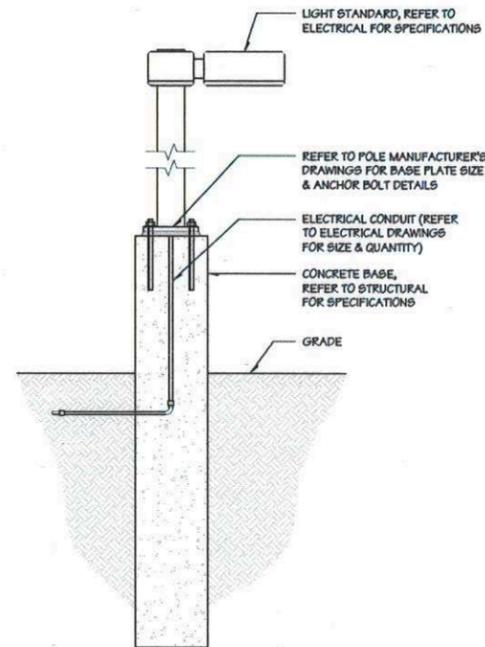
2 GARAGE RAMP RAILING
 C1-1.2 SCALE: 1:50 SHEET REF. C1-2



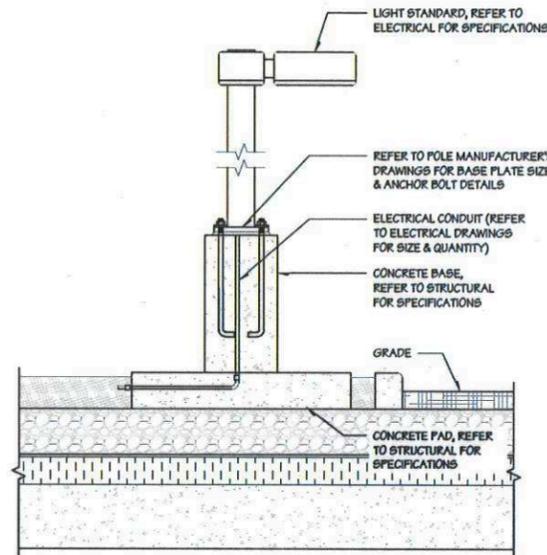
3 PARKING ISLAND DETAIL
 C1-1.2 SCALE: 1:50 SHEET REF. C1-2



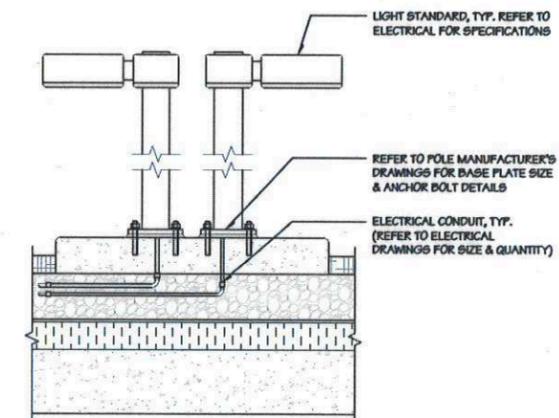
4 ELECTRICAL POST DETAIL
 C1-1.2 SCALE: 1:50 SHEET REF. C1-2



5 LIGHT STANDARD DETAIL
 C1-1.2 SCALE: 1:50 SHEET REF. C1-2



6 LIGHT STANDARD DETAIL
 C1-1.2 SCALE: 1:50 SHEET REF. C1-2



7 LIGHT STANDARD DETAIL
 C1-1.2 SCALE: 1:50 SHEET REF. C1-2

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

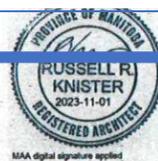
SHEET # 3 OF 10

APPLICANT(SGN): Lee Kirk

ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

Lee Kirk



ISSUED FOR DEVELOPMENT PERMIT				
NO.	DATE	DESCRIPTION	INITIALS	
04	2023-10-31	CL, AL, M - ISSUED FOR DEVELOPMENT PERMIT	JF	
05 (RD)	2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB	
02	2023-05-09	ISSUED FOR DEVELOPMENT PERMIT	KKM	
01	2023-01-31	ISSUED FOR CLIENT REVIEW	KKM	

PRINTED DATE: 10/31/2023 10:15:30 AM



NOTE TO CONTRACTOR:
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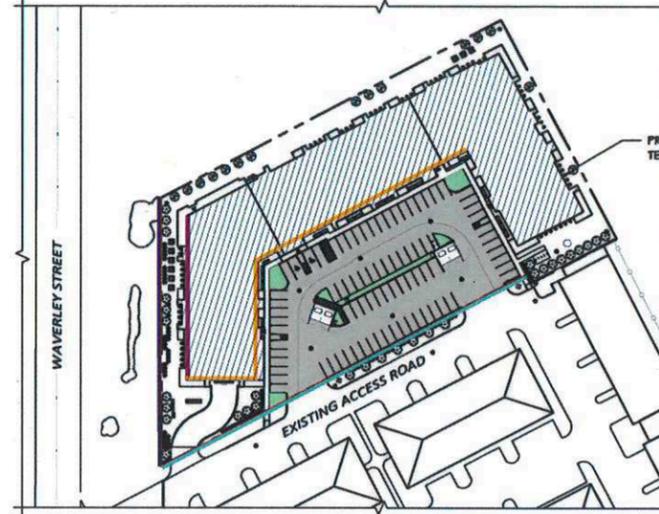
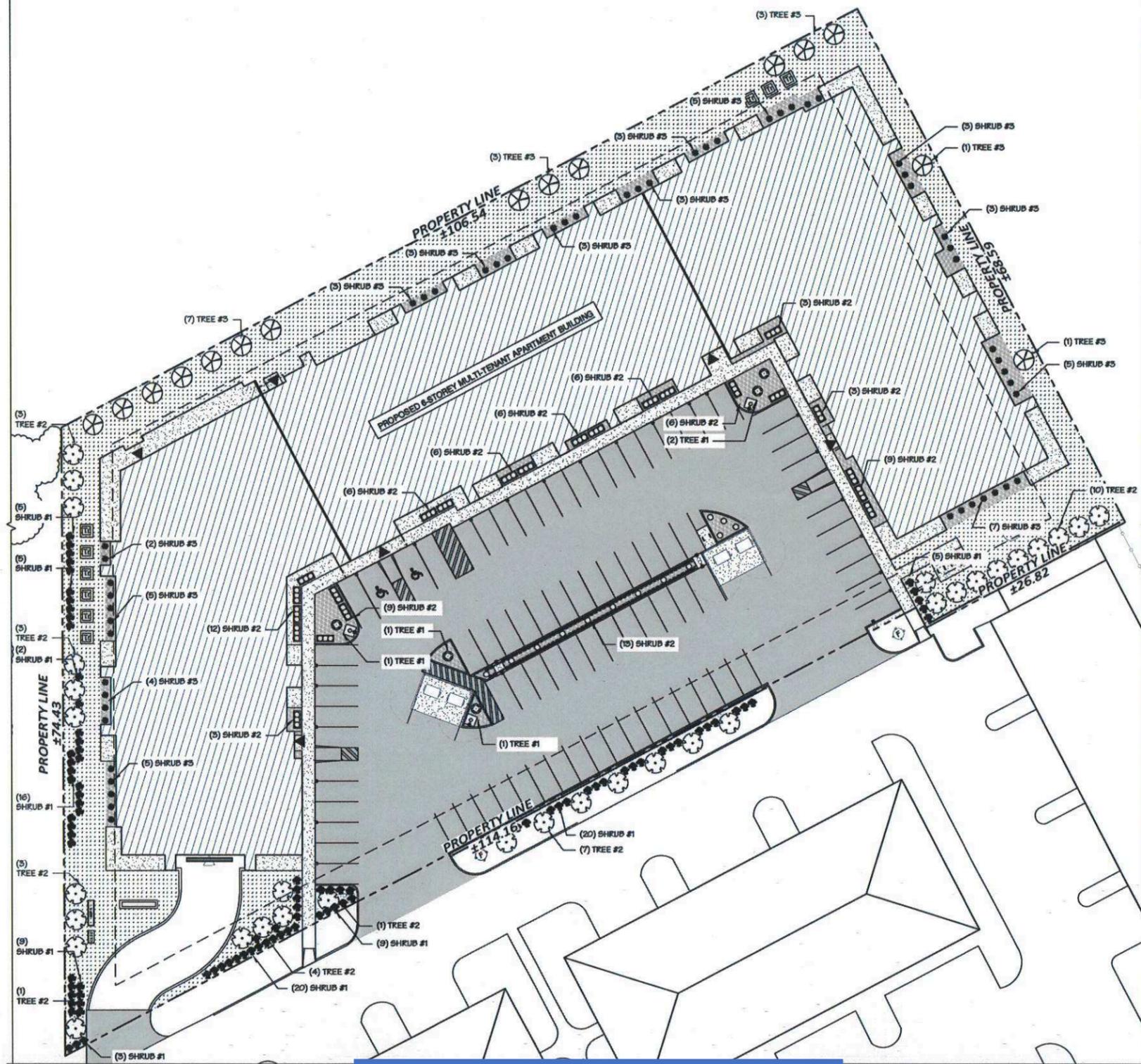
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CLIENT ROCKPORT COMMERCIAL INC. UNIT #1 62 DON VALLEY PARKWAY WINNIPEG, MB. R2C 5G5		
DESIGNED JJC/RRK	DRAWN JAB	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X-REF PATH(S) PROJECT

PROJECT TITLE MULTI TENANT APARTMENT
PROJECT LOCATION 1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-12525-027-10
SITE DETAILS

C1-1.2
REV. 0 ROO

ENTIRE SHEET ADDED



ZONING ANALYSIS LEGEND	
ITEM	SYMBOL
FRONTAGE (SOUTH)	[Symbol]
FRONTAGE (WEST)	[Symbol]
PRINCIPLE FACADE (SOUTH)	[Symbol]
WEST FACADE	[Symbol]
PARKING LOT GROSS AREA	[Symbol]
PARKING LOT INTERIOR LANDSCAPE	[Symbol]

ZONING ANALYSIS PLAN

SCALE: 1:1000

PLANTING LEGEND - TREES		
ITEM	SYMBOL	QUANTITY
#1 JUNIPER (JUNIPERUS COMMUNIS) ***	[Symbol]	5
#2 AMUR CHOKECHERRY (FRAXINUS MAACKII)	[Symbol]	32
#5 BLACK HILLS SPRUCE (PICEA GLAUCA "BLACK HILLS")	[Symbol]	15

LANDSCAPE SURFACE	
ITEM	SYMBOL
SOD c/w TOPSOIL	[Symbol]
BLACK DYED WOOD CHIP MULCH	[Symbol]

PLANTING LEGEND - SHRUBS		
ITEM	SYMBOL	QUANTITY
#1 ALPINE CURRANT "SCHMIDKE" (RIBES ALPIMUM)	[Symbol]	84
#2 MANGO TANGO POTENTILLA (POTENTILLA FRUTICOSA "MANGO TANGO") ***	[Symbol]	82
#5 MUGO FINE (PINUS MUGO)	[Symbol]	54

NOTE:
*** TREES & SHRUBS WITH INDICATOR TO BE PLANTED IN PRECAST CONCRETE PLANTER CONTAINERS.

LANDSCAPING SCHEDULE				
STREET EDGE	REQUIRED		PROVIDED	
	TREES	SHRUBS	TREES	SHRUBS
SIDE YARD (SOUTH)				
LINEAR STREET FRONTAGE: 114.16m (374.54ft)	15	57	15	57
FRONT YARD (WEST)				
LINEAR STREET FRONTAGE: 74.43m (244.19ft)	9	37	9	37
PARKING LOT INTERIOR (GROSS PARKING LOT AREA = 2191m² [25 584ft²])				
LANDSCAPED AREA WITHIN PARKING LOT (5% OF GROSS PARKING LOT AREA)	REQUIRED 109.55m² (1 279ft²)		PROVIDED 125.26m² (1 348ft²)	
PARKING LOT	REQUIRED		PROVIDED	
	TREES	SHRUBS	TREES	SHRUBS
	5	15	5	25
BUILDING FOUNDATION	REQUIRED		PROVIDED	
SIDE YARD (SOUTH)				
PRINCIPAL ENTRANCE FACADE	0	59	0	54
LINEAR LENGTH OF FACADE: 119.54m (392.91ft)				
FRONT YARD (WEST)				
FACADE	0	15	0	16
LINEAR LENGTH OF FACADE: 45.49m (149.25ft)				
ADDITIONAL LANDSCAPING	REQUIRED		PROVIDED	
	TREES	SHRUBS	TREES	SHRUBS
SIDE YARD (NORTH)	0	0	15	20
SIDE YARD (SOUTH)	0	0	10	7
REAR YARD (EAST)	0	0	2	11



ZONING AND PERMIT BRANCH
 THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**
 SHEET # 4 OF 10
 APPLICANT(SGN): Lee Kirk
 ZONING OFFICER: Diana Lopez
 DATE: Jan. 16, 2024

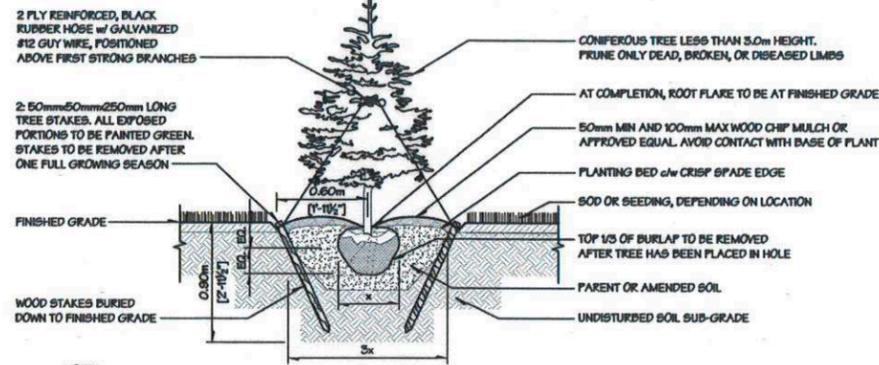
Lee Kirk

02 ENTIRE SHEET REVIEWED

			CLIENT	PROJECT TITLE
			ROCKPORT COMMERCIAL INC. UNIT #1 62 DON VALLEY PARKWAY WINNIPEG, MB. R2C 5G5	MULTI TENANT APARTMENT PROJECT LOCATION 1365 LEE BLVD, WINNIPEG, MB. PROJECT NUMBER: 22+2525-027-10
DESIGNED	DRAWN	COORDINATOR	LANDSCAPE PLAN	
JJC/RRK	KKM	GMF	C1-3	
DATE	SCALE	X'REF PATH(S)	REV. 02	
MAR/2023	AS NOTED			

NO.	REV.	DATE	DESCRIPTION	INITIALS
02		2023-05-09	ISSUED FOR DEVELOPMENT PERMIT	
01		2023-01-24	ISSUED FOR CLIENT REVIEW	

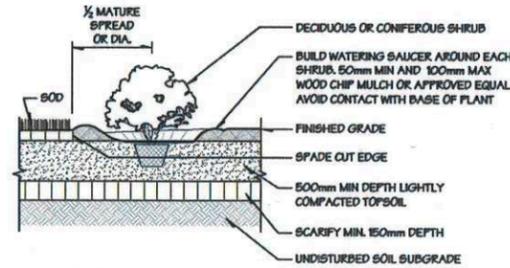
PRINTED DATE: 12/13/2023 4:24:00 PM



- NOTES:
- WHERE SLOPE EXISTS, PLANT TREE TO BE LEVEL.
 - IF MIN UTILITY SETBACKS PERMIT POSITION OF TREE STAKES, LEAN TREE INTO DIRECTION OF PREVAILING WINDS.
 - ALL TREES TO MAINTAIN A MIN CLEARANCE AS SET IN THE LOCAL REGULATIONS FROM ALL UTILITIES.
 - DIG ALL ROOT HOLES BY HAND WHEN TREE FIT IS CLOSER THAN ONE METER FROM EDGE OF FIT TO THE STAKED UTILITY LINE.
 - ALL SPECIMEN SHALL MEET THE CANADIAN NURSERY LANDSCAPE ASSOCIATION STANDARDS.
 - TREES LARGER THAN 100mm CAL. OR 3.0m HEIGHT REQUIRE 3 TREE STAKES.
 - ALL PLANT MATERIAL SHALL MEET THE HORTICULTURAL STANDARDS AND PRACTICES OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
 - SITES WITH HEAVY CLAY SHALL HAVE A LARGER THAN NORMAL HOLE AND EQUAL MIX OF SOIL FROM HOLE, ORGANIC MATTER AND SAND.
 - AVOID GLAZING THE SIDES OF THE HOLE. SIDES OF HOLE SHALL BE SCARIFIED.
 - TREES TO BE PLANTED IN INDIVIDUAL HOLES ENSURE TREE SET PLUMB
 - SECURE T-BAR TO TREE @ APPROX 1/3 TOTAL TREE HEIGHT ABOVE FINISHED GRADE.
 - CONTRACTOR TO ENSURE T-BAR DOES NOT PENETRATE ROOTBALL.

CONIFEROUS TREE PLANTING DETAIL

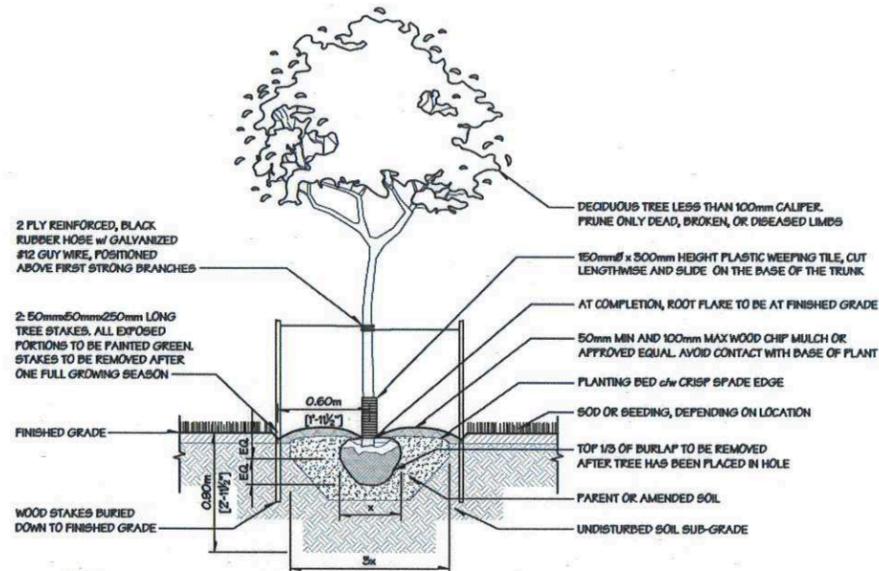
SCALE: N.T.S



- NOTES:
- DO NOT PLACE MULCH WITHIN 50mm FROM SHRUB BASE.
 - PRUNE ALL DEAD OR DAMAGED ROOTS AND BRANCHES.
 - MINIMUM SHRUB SIZE AT PLANTING TO BE 600mm HEIGHT AND SPREAD.
 - ALL PLANT MATERIAL SHALL MEET THE HORTICULTURAL STANDARDS AND PRACTICES OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.

SHRUB PLANTING DETAIL

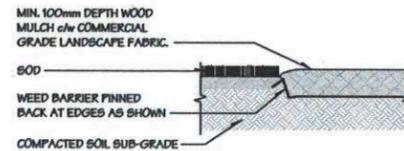
SCALE: N.T.S



- NOTES:
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 - IF MIN UTILITY SETBACKS PERMIT POSITION OF TREE STAKES, LEAN TREE INTO DIRECTION OF PREVAILING WINDS.
 - ALL TREES TO MAINTAIN A MIN CLEARANCE AS SET IN THE LOCAL REGULATIONS FROM ALL UTILITIES.
 - DIG ALL ROOT HOLES BY HAND WHEN TREE FIT IS CLOSER THAN ONE METER FROM EDGE OF FIT TO THE STAKED UTILITY LINE.
 - ALL SPECIMEN SHALL MEET THE CANADIAN NURSERY LANDSCAPE ASSOCIATION STANDARDS.
 - TREES LARGER THAN 100mm CAL. OR 3.0m HEIGHT REQUIRE 3 TREE STAKES.
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 - SITES WITH HEAVY CLAY SHALL HAVE A LARGER THAN NORMAL HOLE AND EQUAL MIX OF SOIL FROM HOLE, ORGANIC MATTER AND SAND.
 - AVOID GLAZING THE SIDES OF THE HOLE. SIDES OF HOLE SHALL BE SCARIFIED.
 - TREES TO BE PLANTED IN INDIVIDUAL HOLES ENSURE TREE SET PLUMB
 - SECURE T-BAR TO TREE @ APPROX 1/3 TOTAL TREE HEIGHT ABOVE FINISHED GRADE.
 - CONTRACTOR TO ENSURE T-BAR DOES NOT PENETRATE ROOTBALL.

DECIDUOUS TREE PLANTING DETAIL

SCALE: N.T.S



MULCH DETAIL

SCALE: N.T.S

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

SHEET # 5 OF 10

APPLICANT(SGN): Lee Kirk

ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

Lee Kirk



ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION	INITIAL(S)
04	2023-10-21	CL, AL, A4 - ISSUED FOR DEVELOPMENT PERMIT	JF
05	2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02	2023-05-09	ISSUED FOR DEVELOPMENT PERMIT	KSM
01	2023-01-21	ISSUED FOR CLIENT REVIEW	KSM

PRINTED DATE: 10/31/2023 10:15:45 AM



NOTE TO CONTRACTOR:
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CLIENT
ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

DESIGNED: JJC/RRK
DRAWN: KKM
COORDINATOR: GMF
DATE: MAR/2023
SCALE: AS NOTED
X'REF PATH(S):
FILED: PROJECT/04

PROJECT TITLE
MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-1-2525-027-10

LANDSCAPE DETAILS
C1-4
REV. 0 R00



1A SOUTH ELEVATION - PARTIAL
A4-1 SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION - OVERALL
A4-1 SCALE: N.T.S. SHEET REF. A1-X

GENERAL NOTES:
 1. REFER TO CIVIL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 2. REFER TO SHEET A7-2 & A7-3 DOOR & WINDOW SCHEDULES.
 3. FOR ELEVATIONS NOT ILLUSTRATED, BUILDING FINISHES WRAP AROUND OUTSIDE CORNERS.
 4. GUARD RAILS ARE SCHEMATIC ONLY. SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATIONS.
 5. GRADE TO MAIN FLOOR WINDOW SILL HEIGHT DIMENSION IS TYPICAL FOR ALL MAIN FLOOR WINDOWS ON ALL SIDES OF BUILDING.

MARK	DESCRIPTION
1a	EXTERIOR FINISHED GRADE
1b	FOUNDATION LINE
1c	CONCRETE RETAINING WALL
1d	CONCRETE FINE CAP
2a	STUCCO, COLOUR SELECTION BY OWNER (TO BE NONCOMBUSTIBLE, COMPLIANT WITH CANULC-9101 & CANULC-9114)
2b	HARDIE PLANK FIBER-CEMENT SIDING, COLOUR SELECTION BY OWNER (TO BE NONCOMBUSTIBLE, COMPLIANT WITH CANULC-9101 & CANULC-9114)
2c	FRESHFINISHED METAL FASCIA
4a	WINDOW
4b	MAIN DOOR
4c	OVERHEAD DOOR
5a	BALCONY
5b	COLUMN
5c	RETAINING WALL GUARDRAIL
5d	GALVANIZED GUARDRAIL
5e	CANOPY
5f	FIREWALL PARAPET
5g	4" HIGH PARKING WOOD FENCE
6a	AIR LOUVER
6b	SPRINKLER FIRE DEPARTMENT CONNECTION



1B SOUTH ELEVATION - PARTIAL
A4-1 SCALE: 3/32" = 1'-0"

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

SHEET # 6 OF 10

APPLICANT(SGN): Lee Kirk

ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

Lee Kirk

 RUSSELL ARCHITECT INC. <small>Full Service Architectural Consulting Firm</small>	 DGH ENGINEERING LTD. <small>CIVIL STRUCTURAL MECHANICAL ELECTRICAL INDUSTRIAL</small> 12 Aviation Boulevard St. Andrews MB R1A 3N5 Canada T: 204-334-8846 www.dghengineering.com	CLIENT ROCKPORT COMMERCIAL INC. UNIT #1 62 DON VALLEY PARKWAY WINNIPEG, MB. R2C 5G5	PROJECT TITLE MULTI TENANT APARTMENT PROJECT LOCATION 1365 LEE BLVD, WINNIPEG, MB. PROJECT NUMBER: 22-225-027-10	
		NOTE TO CONTRACTOR: <small>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT BY WRITING. DO NOT RELY ON SCALED DIMENSIONS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTACT THE CONSULTANT FOR CLARIFICATIONS IF NECESSARY. THIS DRAWING SHALL NOT BE USED FOR BUILDING PERMIT OR CONSTRUCTION PURPOSES UNLESS IT IS SEALED AND SIGNED BY THE CONSULTANT RESPONSIBLE FOR THE WORK.</small>	COPYRIGHT 2023 <small>THIS DRAWING AND THE DESIGN REPRESENTED IN IT IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF DGH ENGINEERING LTD. DGH AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DGH.</small>	DESIGNED JJC/RRK
DATE MAR/2023		SCALE AS NOTED	X' REF PATH(S)	

A4-1
REV. 0 R02



2 NORTH ELEVATION - OVERALL
SCALE: N.T.S.
SHEET REF. A1-X

GENERAL NOTES:

- REFER TO CIVIL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO SHEET A7-2 & A7-3 DOOR & WINDOW SCHEDULES FOR ELEVATIONS NOT ILLUSTRATED, BUILDING FINISHES WRAP AROUND OUTSIDE CORNERS.
- GUARD RAILS ARE SCHEMATIC ONLY. SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATIONS.

MARK	DESCRIPTION
1a	EXTERIOR FINISHED GRADE
1b	FOUNDATION LINE
1c	CONCRETE RETAINING WALL
1d	CONCRETE PILE CAP
2a	STUCCO, COLOUR SELECTION BY OWNER (TO BE NONCOMBUSTIBLE, COMPLIANT WITH CANULC-9101 & CANULC-9104)
2b	HARDIE PLANK FIBER-CEMENT SIDING, COLOUR SELECTION BY OWNER (TO BE NONCOMBUSTIBLE, COMPLIANT WITH CANULC-9101 & CANULC-9104)
3a	PREFINISHED METAL FASCIA
4a	WINDOW
4b	MAN DOOR
4c	OVERHEAD DOOR
5a	BALCONY
5b	COLUMN
5c	RETAINING WALL GUARDRAIL
5d	GALVANIZED GUARDRAIL
5e	CANDOPY
5f	FIREWALL PARAPET
6a	AIR LOUVER
6b	SPRINKLER FIRE DEPARTMENT CONNECTION

2A NORTH ELEVATION - PARTIAL
SCALE: 3/32" = 1'-0"



2B NORTH ELEVATION - PARTIAL
SCALE: 3/32" = 1'-0"

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

SHEET # 7 OF 10

APPLICANT(SGN): Lee Kirk

ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

Lee Kirk



CLIENT
ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

PROJECT TITLE
MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-1-2525-021-10

NOTE TO CONTRACTOR:
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DESIGNED JUC/RRK	DRAWN JAB	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X' REF PATH(S)

BUILDING ELEVATIONS
A4-2
REV. 01



01 ENTIRE SHEET REVISED



3 EAST ELEVATION
 SCALE 3/32" = 1'-0"
 SHEET REF. A4-X



4 NORTHWEST ELEVATION
 SCALE 3/32" = 1'-0"
 SHEET REF. A4-X

MARK	DESCRIPTION
1a	EXTERIOR FINISHED GRADE
1b	FOUNDATION LINE
1c	CONCRETE RETAINING WALL
1d	CONCRETE PILE CAP
2a	STUCCO, COLOUR SELECTION BY OWNER (TO BE NONCOMBUSTIBLE, COMPLIANT WITH CANULC-9101 & CANULC-9114)
2b	HARDIE PLANK FIBER-CEMENT SIDING, COLOUR SELECTION BY OWNER (TO BE NONCOMBUSTIBLE, COMPLIANT WITH CANULC-9101 & CANULC-9114)
3a	PREFINISHED METAL FASCIA
4a	WINDOW
4b	MAN DOOR
4c	OVERHEAD DOOR
5a	BALCONY
5b	COLUMN
5c	RETAINING WALL GUARDRAIL
5d	GALVANIZED GUARDRAIL
5e	CANOPY
6a	FIREWALL PARAPET
6b	AIR LOUVRE
6c	SPIRINKLER FIRE DEPARTMENT CONNECTION

- GENERAL NOTES:**
- REFER TO CIVIL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - REFER TO SHEET A7-2 & A7-3 DOOR & WINDOW SCHEDULES.
 - FOR ELEVATIONS NOT ILLUSTRATED, BUILDING FINISHES WRAP AROUND OUTSIDE CORNERS.
 - GUARD RAILS ARE SCHEMATIC ONLY. SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATIONS.

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

SHEET # 8 OF 10

APPLICANT(SGN): Lee Kirk

ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

Lee Kirk



ISSUED FOR DEVELOPMENT PERMIT			
NO.	DATE	DESCRIPTION	INITIALS
04	2023-10-31	CL, AL, AA - ISSUED FOR DEVELOPMENT PERMIT	JF
05	2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02	2023-05-09	ISSUED FOR DEVELOPMENT PERMIT	KKM
01	2023-01-31	ISSUED FOR CLIENT REVIEW	KKM

PRINTED DATE: 10/31/2023 10:21:27 AM



CLIENT
ROCKPORT COMMERCIAL INC.
 UNIT #1
 62 DON VALLEY PARKWAY
 WINNIPEG, MB. R2C 5G5

PROJECT TITLE
MULTI TENANT APARTMENT

PROJECT LOCATION
 1365 LEE BLVD, WINNIPEG, MB.

PROJECT NUMBER: 22+2225-027-10

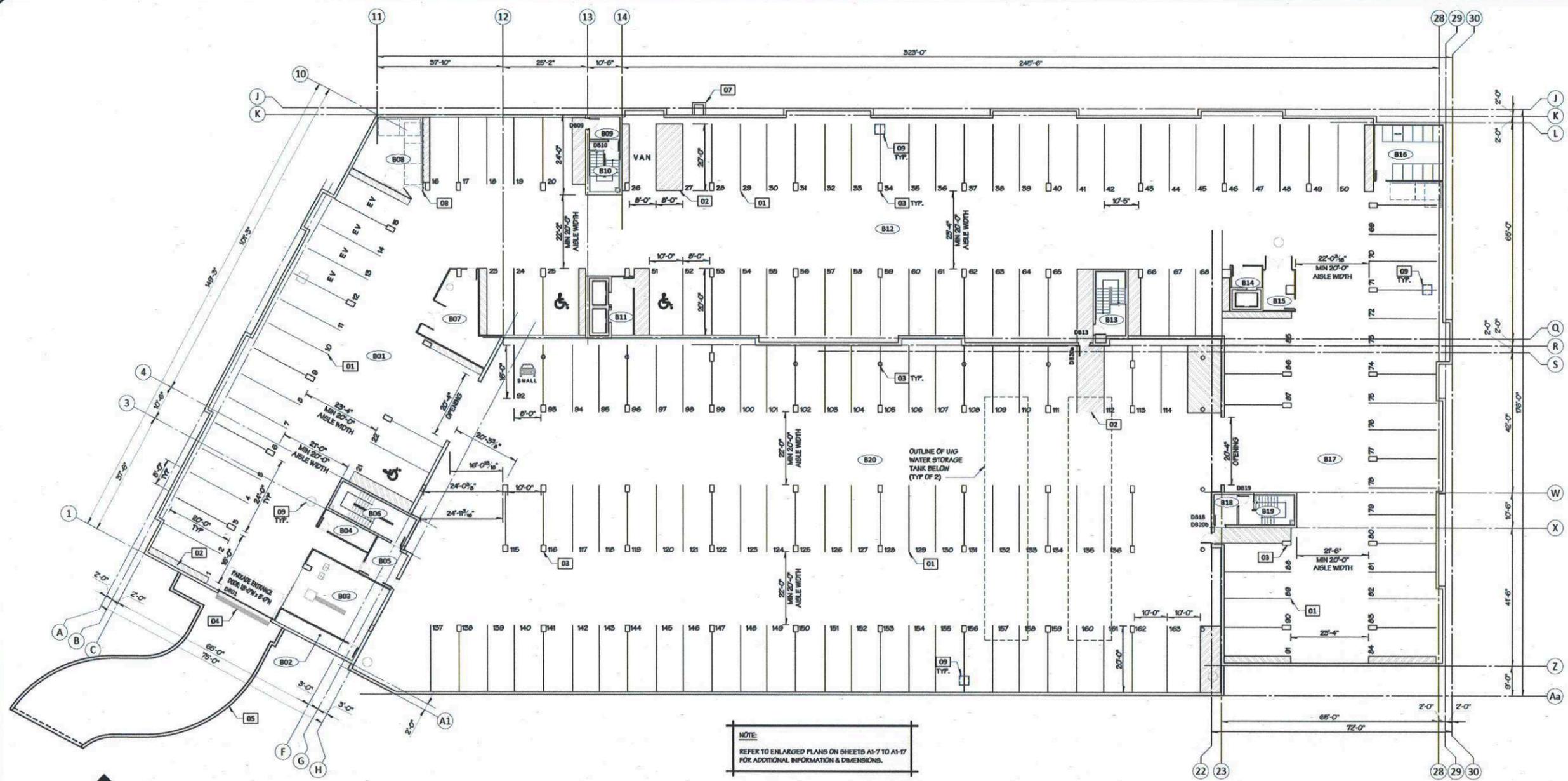
NOTE TO CONTRACTOR:
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DESIGNED JJC/RRK	DRAWN JAB	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X'REF PATH(S)

BUILDING ELEVATIONS
 A4-3
 REV. 0 R01





ROOM NAME SCHEDULE - BASEMENT	
TAG	ROOM NAME
B01	WEST PARKADE
B02	STORAGE
B03	CARWASH STALL
B04	CARWASH SUPPLY ROOM
B05	WEST STAIRWELL VESTIBULE
B06	WEST STAIRWELL
B07	WEST REFUSE ROOM
B08	ELECTRICAL STORAGE
B09	NORTH STAIRWELL VESTIBULE
B10	NORTH STAIRWELL
B11	NORTH ELEVATOR VESTIBULE
B12	NORTH PARKADE
B13	EXIT STAIRWELL
B14	EAST ELEVATOR VESTIBULE
B15	EAST REFUSE ROOM
B16	LOCKER ROOM
B17	EAST PARKADE
B18	EAST STAIRWELL VESTIBULE
B19	EAST STAIRWELL
B20	SOUTH PARKADE

KEY NOTE SCHEDULE - BASEMENT	
TAG	DESCRIPTION
01	4" WIDE PAINTED PARKING STALL LINES, TYP
02	DIAGONAL 4" WIDE PAINTED LINES, TYP
03	CONCRETE COLUMN, REFER TO STRUCTURAL
04	TRENCH DRAIN AT BASE OF RAMP <i>slw</i> SUMP FIT
05	PARKADE RAMP w/ CONCRETE RETAINING WALLS, PROVIDE TRACTION GROOVES ON RAMP SURFACE, REFER TO STRUCTURAL
06	FLOOR DRAIN, SLOPE AISLE FLOOR TOWARDS DRAIN, REFER TO MECHANICAL
07	AREA WELL FOR MECHANICAL OPENING, DRAINAGE TO BE TIED INTO WEEFING TILE SYSTEM
08	CHAINLINK ENCLOSURE AROUND ELECTRICAL EQUIPMENT <i>slw</i> CHAINLINK GATE
09	SUMP FIT w/ SOLID METAL COVER, REFER TO MECHANICAL

BASEMENT PLAN

SCALE: 1/16" = 1'-0"

PARKING INFORMATION		
TOTAL INTERIOR PARKING STALLS PROVIDED	STANDARD	156
	SMALL CAR	1
	ACCESSIBLE	3
TOTAL BICYCLE PARKING PROVIDED (LOCKABLE STORAGE)	VAN ACCESSIBLE	1
	INSIDE BUILDING (MAIN FLOOR)	65

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: **DAV 225003 / 2023C**

SHEET # 10 OF 10

APPLICANT(SGN): Lee Kirk

ZONING OFFICER: Diana Lopez

DATE: Jan. 16, 2024

- BASEMENT FLOOR PLAN NOTES:**
- PROVIDE 6" HIGH CONCRETE UPSTAND FOR ALL STUD WALLS DIRECTLY ADJACENT TO PARKADE AREA. REFER TO STRUCTURAL FOR DETAIL.
 - COORDINATE ALL MECHANICAL OPENINGS THRU CONCRETE w/ MECHANICAL & STRUCTURAL DRAWINGS.
 - COORDINATE ALL ELECTRICAL OPENINGS THRU CONCRETE w/ ELECTRICAL & STRUCTURAL DRAWINGS.
 - REFER TO CODE ANALYSIS PLANS FOR FIRE EXTINGUISHER LOCATIONS. FIRE EXTINGUISHER CABINET TO BE RECESSED IN STUDS WALLS OR SURFACE MOUNTED TO CONCRETE.
 - LOCATE PARKING STALLS MIN 2'-0" AWAY FROM ADJACENT WALLS UNLESS NOTED OTHERWISE. TYPICAL STANDARD PARKING STALL TO BE 8'-0" W x 20'-0" LONG. SMALL CAR PARKING STALL TO BE 8'-0" W x 16'-0" L.

- GENERAL FLOOR PLAN NOTES:**
- REFUSE CHUTE TO BE COMPLETE WITH SPRING LOADED SELF-LATCHING CLOSURE AT CHUTE OUTLET TO DISCHARGE ROOM. VERIFY REFUSE CHUTE SHAFT DIMENSIONS w/ SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW.
 - VERIFY ELEVATOR SHAFT DIMENSIONS w/ SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR TO INFILL ELEVATOR ROOF ROUGH OPENINGS w/ CMU BLOCKS & MORTAR AFTER ELEVATOR INSTALLATION IS COMPLETE.
 - COORDINATE STAIRWELL DIMENSIONS w/ STAIR SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 - REFER TO OVERALL PLANS (SHEETS A1-0 TO A1-6) FOR ROOM NAME SCHEDULES.
 - REFER TO SHEET A7-1 FOR WALL TYPE SCHEDULE. REFER TO ROOM FINISH SCHEDULE ON SHEET A7-4 FOR ADDITIONAL WALL FINISHES.
 - REFER TO SHEET A7-2 & A7-3 FOR DOOR & WINDOW SCHEDULES.
 - REFER TO SHEET A9-1 TO A9-4 FOR STAIRWELL ENLARGED PLANS AND SECTIONS.
 - ALL BARRIER FREE PATHS OF TRAVEL INSIDE THE BUILDING, INCLUDING CORRIDORS, MUST HAVE AN UNOBSTRUCTED CLEAR WIDTH OF NOT LESS THAN 48" (1200mm).
 - REFER TO "DOOR CLEARANCES" DETAIL ON SHEET BCS-2 FOR REQUIRED BARRIER FREE CLEARANCES ON PUSH AND PULL SIDES OF DOORS. COORDINATE DURING FRAMING AND INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO DETAILS AND SCHEMATICS ON SHEET BCS-2 FOR REQUIRED BARRIER FREE CLEARANCES TO WASHROOM FIXTURES. COORDINATE DURING INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO WASHROOM INTERIOR ELEVATIONS ON SHEET A8-1 TO A8-3.
 - PROVIDE BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CABINETRY, SHELVING, FIXTURES, AND ACCESSORIES PRIOR TO INSTALLATION OF GYPSUM BOARD. TO BE COORDINATED w/ CONTRACTOR.

02 ENTIRE SHEET REVISED

Lee Kirk



CLIENT: **ROCKPORT COMMERCIAL INC.**
 UNIT #1
 62 DON VALLEY PARKWAY
 WINNIPEG, MB. R2C 5G5

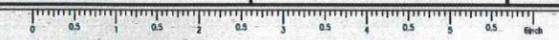
PROJECT TITLE: **MULTI TENANT APARTMENT**
 PROJECT LOCATION: 1365 LEE BLVD, WINNIPEG, MB.
 PROJECT NUMBER: 22-2325-027-10

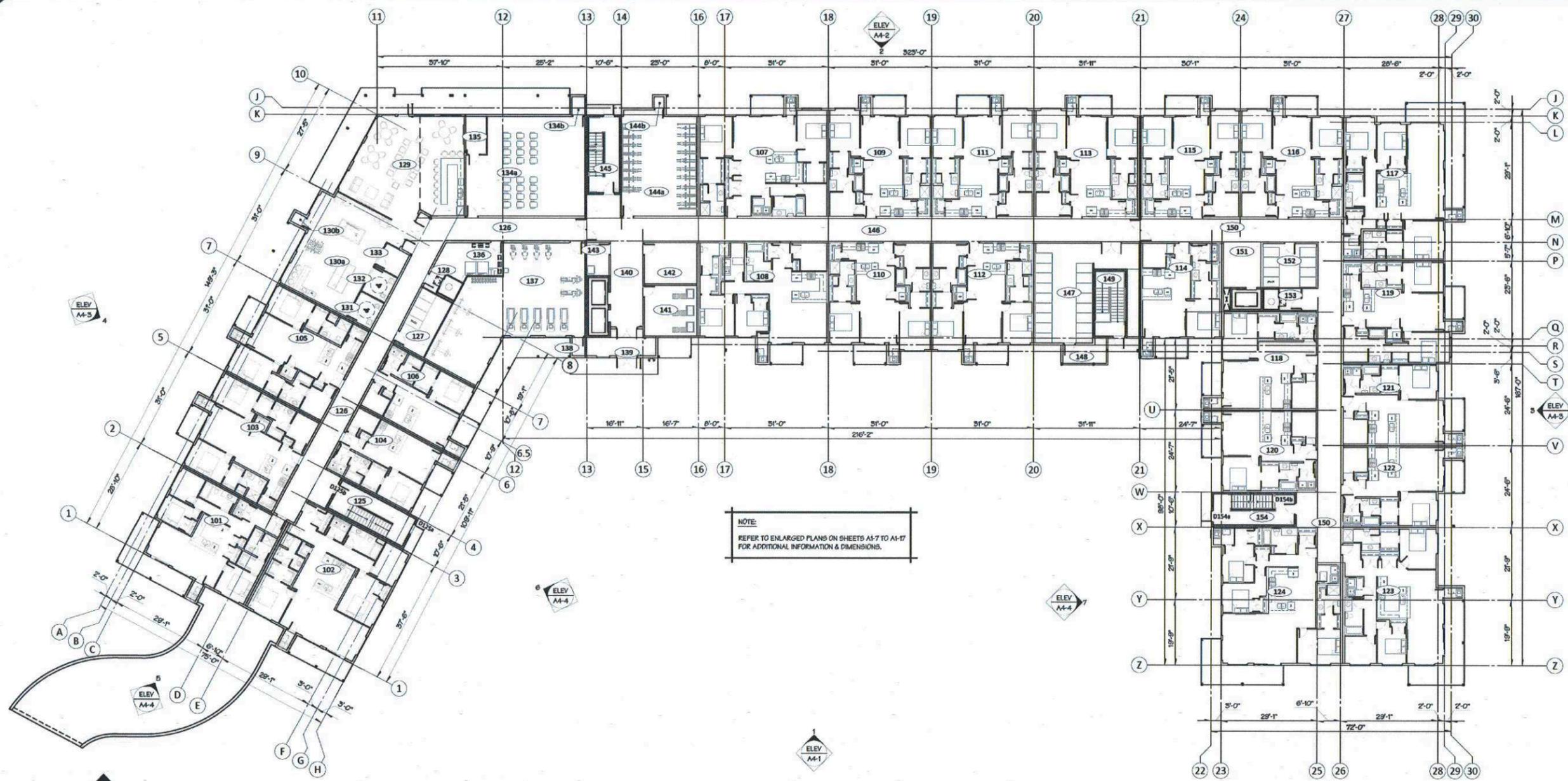
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DESIGNED: JUC/RRK	DRAWN: JAB	COORDINATOR: GMF
DATE: MAR/2023	SCALE: AS NOTED	X-REF PATH(S)

BASEMENT PLAN
 A1-0
 REV. 02





ROOM NAME SCHEDULE - MAIN FLOOR	
TAG	ROOM NAME
101	SUITE B9
102	SUITE B10
103	SUITE B1
104	SUITE A2
105	SUITE B1
106	SUITE A2
107	SUITE B7
108	SUITE B5
109	SUITE B1
110	SUITE B1
111	SUITE B1
112	SUITE B1
113	SUITE B2
114	SUITE A6
115	SUITE B4
116	SUITE B1
117	SUITE C1
118	SUITE A9
119	SUITE B1
120	SUITE A5
121	SUITE A1
122	SUITE A1
123	SUITE B1
124	SUITE C2
125	WEST STAIRWELL
126	WEST CORRIDOR
127	LOCKER ROOM
128	REFUSE ROOM
129	LOUNGE
130a	COMMON AREA
130b	STORAGE ROOM
131	UNIVERSAL TOILET ROOM
132	UNIVERSAL TOILET ROOM
133	MECHANICAL ROOM
134a	THEATRE
134b	STORAGE ROOM
135	THEATRE MECHANICAL ROOM
136	ELECTRICAL ROOM
137	FITNESS CENTRE
138	FITNESS CENTRE MECH. ROOM
139	ENTRANCE VESTIBULE
140	LOBBY
141	PET WASH
142	MAIL ROOM
143	MAINTENANCE
144a	BICYCLE STORAGE
144b	STORAGE ROOM
145	NORTH STAIRWELL
146	NORTH CORRIDOR
147	LOCKER ROOM
148	STORAGE ROOM
149	EXIT STAIRWELL
150	EAST CORRIDOR
151	EAST ELEVATOR LOBBY
152	LOCKER ROOM
153	REFUSE ROOM
154	EAST STAIRWELL

NOTE:
REFER TO ENLARGED PLANS ON SHEETS A1-7 TO A1-17 FOR ADDITIONAL INFORMATION & DIMENSIONS.

MAIN FLOOR PLAN

SCALE 1/16" = 1'-0"

- GENERAL FLOOR PLAN NOTES:**
- REFUSE CHUTE TO BE COMPLETE WITH SPRING LOADED SELF-LATCHING CLOSURE AT CHUTE OUTLET TO DISCHARGE ROOM. VERIFY REFUSE CHUTE SHAFT DIMENSIONS w/ SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW.
 - VERIFY ELEVATOR SHAFT DIMENSIONS w/ SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR TO FILL ELEVATOR DOOR ROUGH OPENINGS w/ CMU BLOCKS & MORTAR AFTER ELEVATOR INSTALLATION IS COMPLETE.
 - COORDINATE STAIRWELL DIMENSIONS w/ STAIR SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 - REFER TO OVERALL PLANS (SHEETS A1-0 TO A1-6) FOR ROOM NAME SCHEDULES.
 - REFER TO SHEET A7-1 FOR WALL TYPE SCHEDULE. REFER TO ROOM FINISH SCHEDULE ON SHEET A7-4 FOR ADDITIONAL WALL FINISHES.
 - REFER TO SHEET A7-2 & A7-5 FOR DOOR & WINDOW SCHEDULES.
 - REFER TO SHEET A8-1 TO A8-4 FOR STAIRWELL ENLARGED PLANS AND SECTIONS.
 - ALL BARRIER FREE PATHS OF TRAVEL INSIDE THE BUILDING, INCLUDING CORRIDORS, MUST HAVE AN UNOBSTRUCTED CLEAR WIDTH OF NOT LESS THAN 48" (1200mm).
 - REFER TO "DOOR CLEARANCES" DETAIL ON SHEET BCS-2 FOR REQUIRED BARRIER FREE CLEARANCES ON PUSH AND PULL SIDES OF DOORS. COORDINATE DURING FRAMING AND INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO SHEET A7-1 FOR WALL TYPE SCHEDULE. REFER TO ROOM FINISH SCHEDULE ON SHEET A7-4 FOR ADDITIONAL WALL FINISHES.
 - REFER TO DETAILS AND SCHEMATICS ON SHEET BCS-2 FOR REQUIRED BARRIER FREE CLEARANCES TO WASHROOM FIXTURES. COORDINATE DURING INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO WASHROOM INTERIOR ELEVATIONS ON SHEET A8-1 TO A8-3.
 - PROVIDE BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CABINETRY, SHELVING, FIXTURES, AND ACCESSORIES PRIOR TO INSTALLATION OF GYPSUM BOARD. TO BE COORDINATED w/ CONTRACTOR.

01 ENTIRE SHEET REVISED



ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION	INITIALS
04	2025-10-31	CL, AL, M - ISSUED FOR DEVELOPMENT PERMIT	JF
05	2025-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02	2025-05-09	ISSUED FOR DEVELOPMENT PERMIT	KAM
01	2025-01-31	ISSUED FOR CLIENT REVIEW	KAM

NO. (REV.) DATE DESCRIPTION INITIALS

PRINTED DATE: 10/31/2023 9:59:58 AM



CLIENT
ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

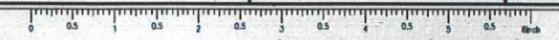
PROJECT TITLE
MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-2825-027-10

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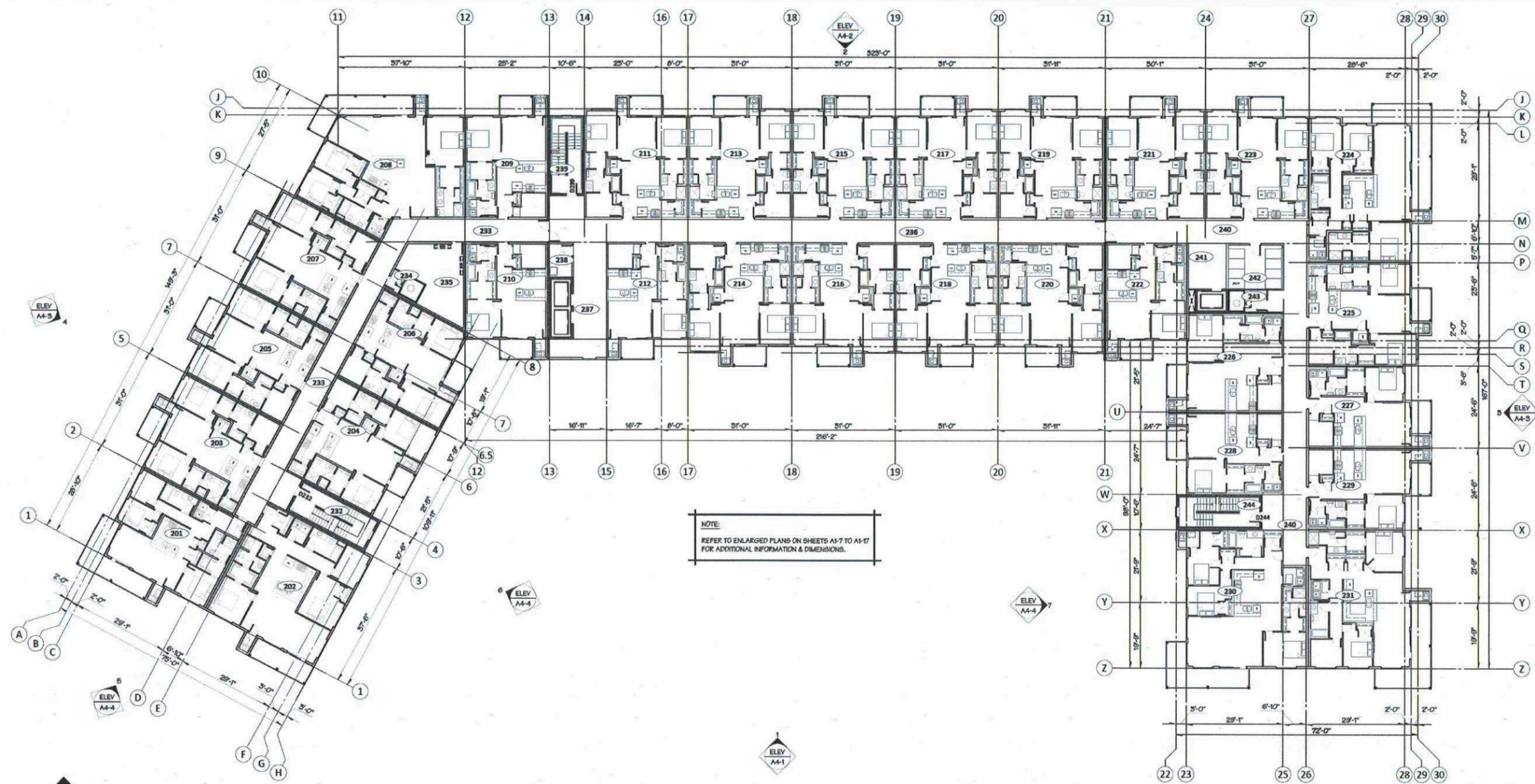
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DESIGNED JUC/RRK	DRAWN JAB	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X' REF PATH(S)

MAIN FLOOR PLAN
A1-1
REV. 01



ROOM NAME SCHEDULE - SECOND FLOOR	
TAG	ROOM NAME
201	SUITE B9
202	SUITE B0
203	SUITE B1
204	SUITE B6
205	SUITE B1
206	SUITE B6
207	SUITE B1
208	SUITE C3
209	SUITE A5
210	SUITE A4
211	SUITE B1
212	SUITE B1
213	SUITE B1
214	SUITE B1
215	SUITE B1
216	SUITE B1
217	SUITE B1
218	SUITE B1
219	SUITE B2
220	SUITE B5
221	SUITE B4
222	SUITE A6
223	SUITE B1
224	SUITE C1
225	SUITE B1
226	SUITE A9
227	SUITE A1
228	SUITE A5
229	SUITE A1
230	SUITE C2
231	SUITE B1
232	WEST STAIRWELL
233	WEST CORRIDOR
234	REFUGE ROOM
235	MECHANICAL ROOM
236	NORTH CORRIDOR
237	NORTH ELEVATOR LOBBY
238	MAINTENANCE
239	NORTH STAIRWELL
240	EAST CORRIDOR
241	EAST ELEVATOR LOBBY
242	LOCKER ROOM
243	REFUGE ROOM
244	EAST STAIRWELL



NOTE:
REFER TO ENLARGED PLANS ON SHEETS A1-7 TO A1-17 FOR ADDITIONAL INFORMATION & DIMENSIONS.

SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES:**
- REFUSE CHUTE TO BE COMPLETE WITH SPRING LOADED SELF-LATCHING CLOSURE AT CHUTE OUTLET TO DISCHARGE ROOM. VERIFY REFUSE CHUTE SHAFT DIMENSIONS w/ SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW.
 - VERIFY ELEVATOR SHAFT DIMENSIONS w/ SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR TO FILL ELEVATOR DOOR ROUGH OPENINGS w/ CMU BLOCKS & MORTAR AFTER ELEVATOR INSTALLATION IS COMPLETE.
 - COORDINATE STAIRWELL DIMENSIONS w/ STAIR SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 - REFER TO OVERALL PLANS (SHEETS A1-0 TO A1-6) FOR ROOM NAME SCHEDULES.
 - REFER TO SHEET A7-1 FOR WALL TYPE SCHEDULE. REFER TO ROOM FINISH SCHEDULE ON SHEET A7-4 FOR ADDITIONAL WALL FINISHES.
 - REFER TO SHEET A7-2 & A7-5 FOR DOOR & WINDOW SCHEDULES.
 - REFER TO SHEET A9-1 TO A9-4 FOR STAIRWELL ENLARGED PLANS AND SECTIONS.
 - ALL BARRIER FREE PATHS OF TRAVEL INSIDE THE BUILDING, INCLUDING CORRIDORS, MUST HAVE AN UNOBSTRUCTED CLEAR WIDTH OF NOT LESS THAN 48" (1200mm).
 - REFER TO "DOOR CLEARANCES" DETAIL ON SHEET BCS-2 FOR REQUIRED BARRIER FREE CLEARANCES ON PUSH AND PULL SIDES OF DOORS. COORDINATE DURING FRAMING AND INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO DETAILS AND SCHEMATICS ON SHEET BCS-2 FOR REQUIRED BARRIER FREE CLEARANCES TO WASHROOM FIXTURES. COORDINATE DURING INSTALLATION TO ENSURE CLEARANCES ARE MET.
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 - PROVIDE BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CABINETRY, SHELVING, FIXTURES, AND ACCESSORIES PRIOR TO INSTALLATION OF GYPSUM BOARD. TO BE COORDINATED w/ CONTRACTOR.

01 ENTIRE SHEET REVISED



ISSUED FOR DEVELOPMENT PERMIT

NO.	REV.	DATE	DESCRIPTION	INITIALS
04		2025-10-31	CL, AL, A4 - ISSUED FOR DEVELOPMENT PERMIT	JF
03		2025-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02		2025-05-09	ISSUED FOR DEVELOPMENT PERMIT	KSM
01		2025-04-31	ISSUED FOR CLIENT REVIEW	KSM

PRINTED DATE: 10/31/2023 10:00:21 AM



CLIENT
ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

PROJECT TITLE
MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-2525-0210

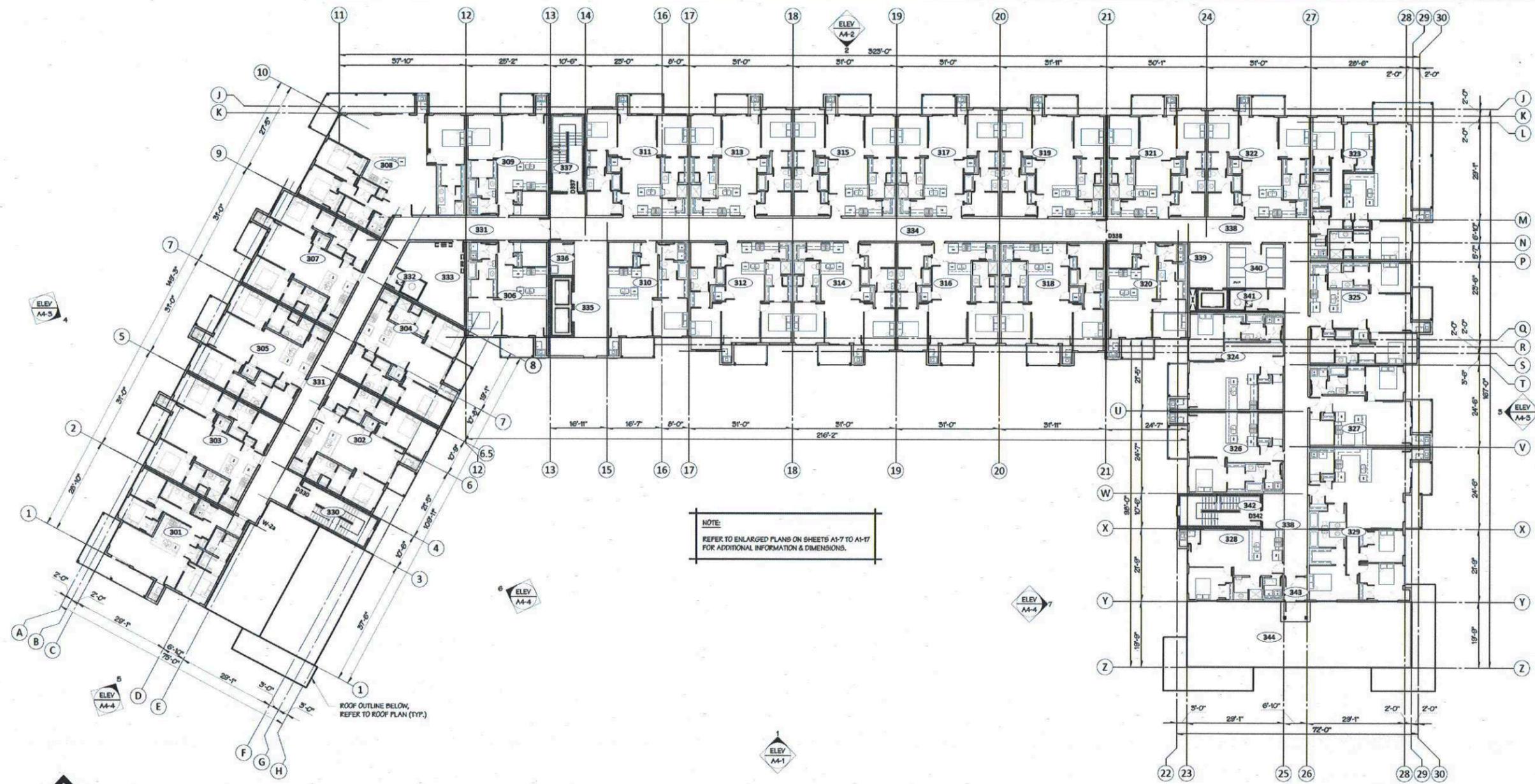
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DESIGNED JUC/RRK	DRAWN JAB	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X' REF PATH(S)

SECOND FLOOR PLAN
A1-2
REV. 01

ROOM NAME SCHEDULE - THIRD FLOOR	
TAG	ROOM NAME
301	SUITE B9
302	SUITE B6
303	SUITE B1
304	SUITE B5
305	SUITE B4
306	SUITE M4
307	SUITE B1
308	SUITE C3
309	SUITE A3
310	SUITE A5
311	SUITE B1
312	SUITE B1
313	SUITE B1
314	SUITE B1
315	SUITE B1
316	SUITE B1
317	SUITE B1
318	SUITE B3
319	SUITE B2
320	SUITE A6
321	SUITE B4
322	SUITE B1
323	SUITE C1
324	SUITE A9
325	SUITE B1
326	SUITE A5
327	SUITE A1
328	SUITE A7
329	SUITE C4
330	WEST STAIRWELL
331	WEST CORRIDOR
332	REFUSE ROOM
333	ELECTRICAL ROOM
334	NORTH CORRIDOR
335	NORTH ELEVATOR LOBBY
336	MAINTENANCE
337	NORTH STAIRWELL
338	EAST CORRIDOR
339	EAST ELEVATOR LOBBY
340	LOCKER ROOM
341	REFUSE ROOM
342	EAST STAIRWELL
343	TERRACE VESTIBULE
344	TERRACE



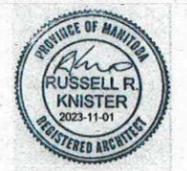
THIRD FLOOR PLAN

SCALE 1/16" = 1'-0"



01 ENTIRE SHEET REVISED

- GENERAL FLOOR PLAN NOTES:**
- REFUSE CHUTE TO BE COMPLETE WITH SPRING LOADED SELF-LATCHING CLOSURE AT CHUTE OUTLET TO DISCHARGE ROOM. VERIFY REFUSE CHUTE SHAFT DIMENSIONS w/ SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW.
 - VERIFY ELEVATOR SHAFT DIMENSIONS w/ SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR TO FILL ELEVATOR DOOR ROUGH OPENINGS w/ CMU BLOCKS & MORTAR AFTER ELEVATOR INSTALLATION IS COMPLETE.
 - COORDINATE STAIRWELL DIMENSIONS w/ STAIR SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 - REFER TO OVERALL PLANS (SHEETS A1-0 TO A1-6) FOR ROOM NAME SCHEDULES.
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 - REFER TO SHEET A7-2 & A7-5 FOR DOOR & WINDOW SCHEDULES.
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 - REFER TO DETAILS AND SCHEMATICS ON SHEET BCS-2 FOR REQUIRED BARRIER FREE CLEARANCES TO WASHROOM FIXTURES. COORDINATE DURING INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO WASHROOM INTERIOR ELEVATIONS ON SHEET A8-1 TO A8-3.
 - PROVIDE BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CABINETRY, SHELVING, FIXTURES, AND ACCESSORIES PRIOR TO INSTALLATION OF GYPSUM BOARD. TO BE COORDINATED w/ CONTRACTOR.



ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION	INITIALS
04	2023-10-31	CL, AL, A4 - ISSUED FOR DEVELOPMENT PERMIT	JF
05	2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02	2023-05-09	ISSUED FOR DEVELOPMENT PERMIT	KFM
01	2023-01-31	ISSUED FOR CLIENT REVIEW	KFM

PRINTED DATE: 10/31/2023 10:00:14 AM



CLIENT
ROCKPORT COMMERCIAL INC.
 UNIT #1
 62 DON VALLEY PARKWAY
 WINNIPEG, MB. R2C 5G5

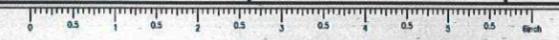
PROJECT TITLE
MULTI TENANT APARTMENT
 PROJECT LOCATION
 1365 LEE BLVD, WINNIPEG, MB.
 PROJECT NUMBER: 22-12525-02-10

NOTE TO CONTRACTOR:
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT IN WRITING. DO NOT RELY ON SCALED DIMENSIONS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTACT THE CONSULTANT FOR CLARIFICATIONS IF NECESSARY. THIS DRAWING SHALL NOT BE USED FOR BUILDING PERMIT OR CONSTRUCTION PURPOSES UNLESS IT IS SEALED AND SIGNED BY THE CONSULTANT RESPONSIBLE FOR THE WORK.

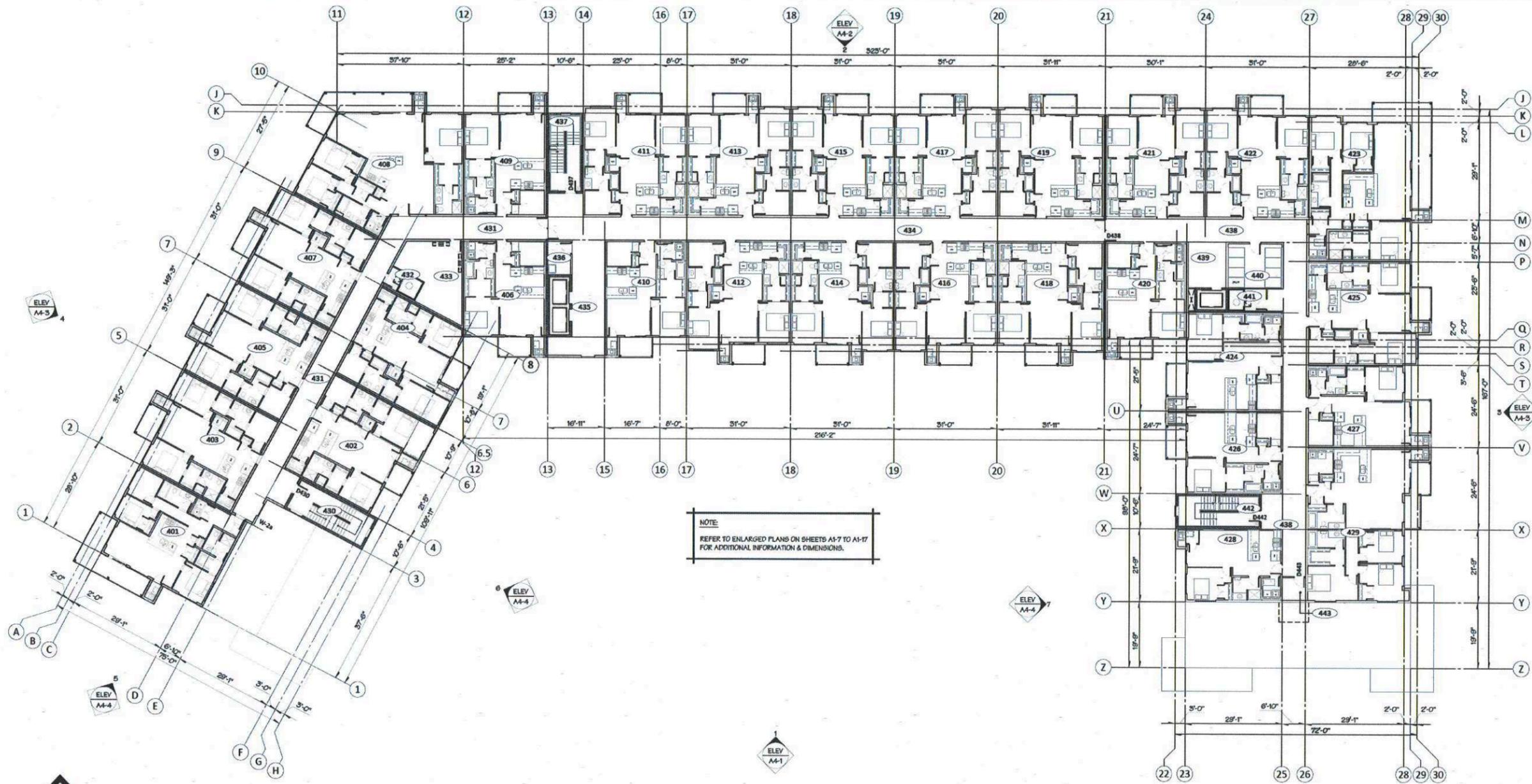
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DESIGNED JUC/RRK	DRAWN JAB	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X' REF PATH(S)

THIRD FLOOR PLAN
 A1-3
 REV. 0 R01



ROOM NAME SCHEDULE - FOURTH FLOOR	
TAG	ROOM NAME
401	SUITE B9
402	SUITE B6
403	SUITE B1
404	SUITE B5
405	SUITE B1
406	SUITE A4
407	SUITE B1
408	SUITE C3
409	SUITE A5
410	SUITE A5
411	SUITE B1
412	SUITE B1
413	SUITE B1
414	SUITE B1
415	SUITE B1
416	SUITE B1
417	SUITE B1
418	SUITE B5
419	SUITE B2
420	SUITE A6
421	SUITE B4
422	SUITE B1
423	SUITE C1
424	SUITE A5
425	SUITE B1
426	SUITE A5
427	SUITE A1
428	SUITE A7
429	SUITE C4
430	WEST STAIRWELL
431	WEST CORRIDOR
432	REFUSE ROOM
433	MECHANICAL ROOM
434	NORTH CORRIDOR
435	NORTH ELEVATOR LOBBY
436	MAINTENANCE
437	NORTH STAIRWELL
438	EAST CORRIDOR
439	EAST ELEVATOR LOBBY
440	LOCKER ROOM
441	REFUSE ROOM
442	EAST STAIRWELL
443	STORAGE ROOM



NOTE:
REFER TO ENLARGED PLANS ON SHEETS A1-7 TO A1-17 FOR ADDITIONAL INFORMATION & DIMENSIONS.

FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES:**
- REFUSE CHUTE TO BE COMPLETE WITH SPRING LOADED SELF-LATCHING CLOSURE AT CHUTE OUTLET TO DISCHARGE ROOM. VERIFY REFUSE CHUTE SHAFT DIMENSIONS w/ SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW.
 - VERIFY ELEVATOR SHAFT DIMENSIONS w/ SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR TO INFILL ELEVATOR DOOR ROUGH OPENINGS w/ CMU BLOCKS & MORTAR AFTER ELEVATOR INSTALLATION IS COMPLETE.
 - COORDINATE STAIRWELL DIMENSIONS w/ STAIR SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 - REFER TO OVERALL PLANS (SHEETS A1-0 TO A1-6) FOR ROOM NAME SCHEDULES.
 - REFER TO SHEET A7-1 FOR WALL TYPE SCHEDULE. REFER TO ROOM FINISH SCHEDULE ON SHEET A7-4 FOR ADDITIONAL WALL FINISHES.
 - REFER TO SHEET A7-2 & A7-3 FOR DOOR & WINDOW SCHEDULES.
 - REFER TO SHEET A8-1 TO A8-4 FOR STAIRWELL ENLARGED PLANS AND SECTIONS.
 - ALL BARRIER FREE PATHS OF TRAVEL INSIDE THE BUILDING, INCLUDING CORRIDORS, MUST HAVE AN UNOBSTRUCTED CLEAR WIDTH OF NOT LESS THAN 48" (1200mm).
 - REFER TO "DOOR CLEARANCES" DETAIL ON SHEET BC3-2 FOR REQUIRED BARRIER FREE CLEARANCES ON PUSH AND PULL SIDES OF DOORS. COORDINATE DURING FRAMING AND INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO DETAILS AND SCHEMATICS ON SHEET BC3-2 FOR REQUIRED BARRIER FREE CLEARANCES TO WASH-ROOM FIXTURES. COORDINATE DURING INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO WASHROOM INTERIOR ELEVATIONS ON SHEET A8-1 TO A8-3.
 - PROVIDE BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CABINETRY, SHELVING, FIXTURES, AND ACCESSORIES PRIOR TO INSTALLATION OF GYPSUM BOARD. TO BE COORDINATED w/ CONTRACTOR.

01 ENTIRE SHEET REVISED



ISSUED FOR DEVELOPMENT PERMIT

NO.	REV.	DATE	DESCRIPTION	INITIALS
04		2023-10-31	CL, A4 - ISSUED FOR DEVELOPMENT PERMIT	JF
05		2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAD
02		2023-05-09	ISSUED FOR DEVELOPMENT PERMIT	KFM
01		2023-01-31	ISSUED FOR CLIENT REVIEW	KFM

PRINTED DATE: 10/31/2023 10:00:06 AM



CLIENT
ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

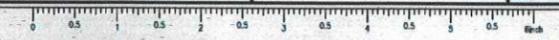
PROJECT TITLE
MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-1-2525-027-10

NOTE TO CONTRACTOR:
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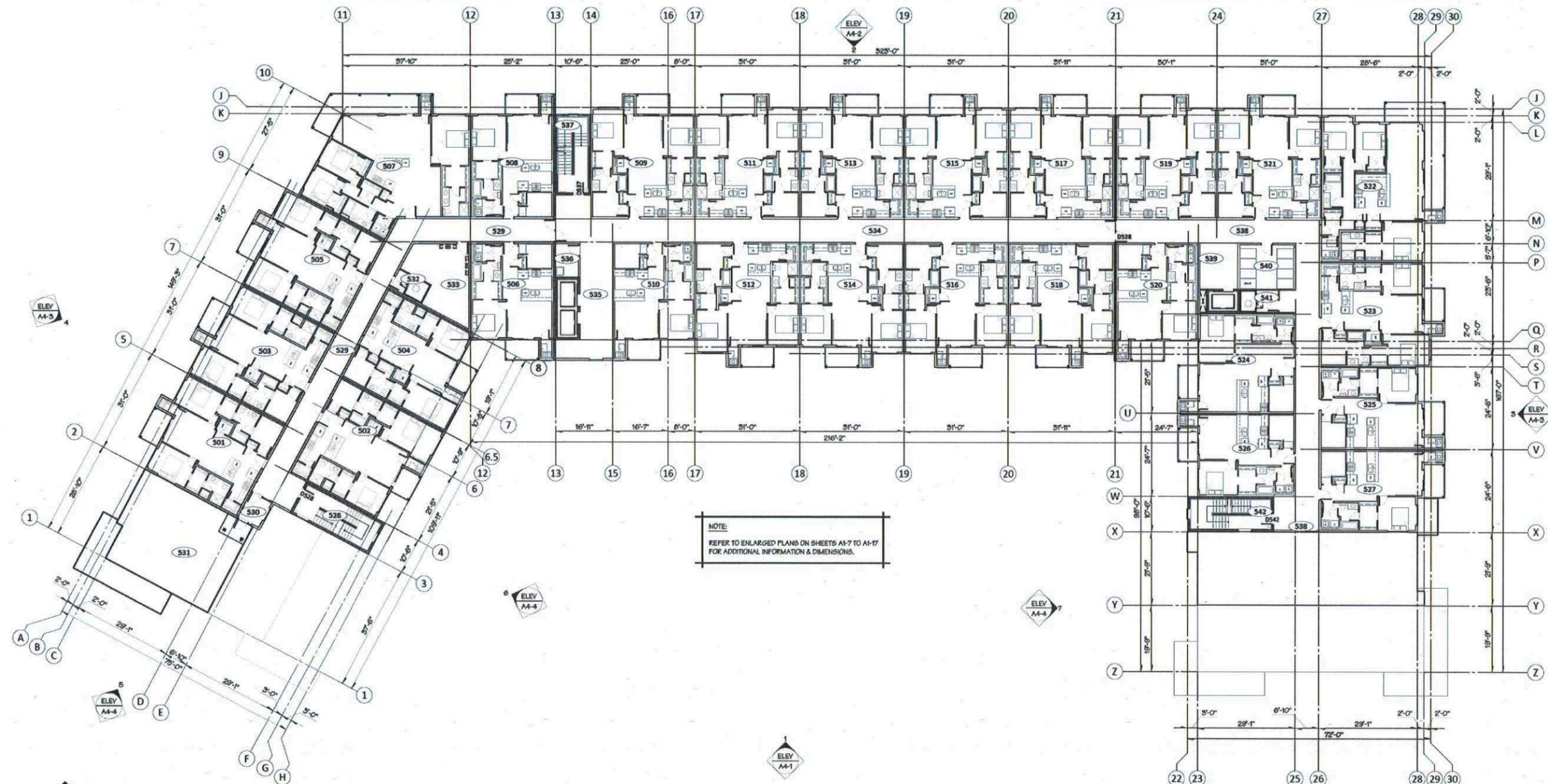
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DESIGNED JJC/RRK	DRAWN KFM	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X'REF PATH(S)

FOURTH FLOOR PLAN
A1-4
REV. 01



TAG	ROOM NAME
501	SUITE B1
502	SUITE B6
503	SUITE B1
504	SUITE B6
505	SUITE B1
506	SUITE A4
507	SUITE C3
508	SUITE A5
509	SUITE B1
510	SUITE A5
511	SUITE B1
512	SUITE B1
513	SUITE B1
514	SUITE B1
515	SUITE B1
516	SUITE B1
517	SUITE B2
518	SUITE B3
519	SUITE B4
520	SUITE A6
521	SUITE B1
522	SUITE C1
523	SUITE B1
524	SUITE A6
525	SUITE A1
526	SUITE A5
527	SUITE A1
528	WEST STAIRWELL
529	WEST CORRIDOR
530	TERRACE VESTIBULE
531	TERRACE
532	REFUGER ROOM
533	ELECTRICAL ROOM
534	NORTH CORRIDOR
535	NORTH ELEVATOR LOBBY
536	MAINTENANCE
537	NORTH STAIRWELL
538	EAST CORRIDOR
539	EAST ELEVATOR LOBBY
540	LOCKER ROOM
541	REFUGER ROOM
542	EAST STAIRWELL



NOTE:
REFER TO ENLARGED PLANS ON SHEETS A1-7 TO A1-17 FOR ADDITIONAL INFORMATION & DIMENSIONS.

FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES:**
- REFUSE CHUTE TO BE COMPLETE WITH SPRING LOADED SELF-LATCHING CLOSURE AT CHUTE OUTLET TO DISCHARGE ROOM. VERIFY REFUSE CHUTE SHAFT DIMENSIONS w/ SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW.
 - VERIFY ELEVATOR SHAFT DIMENSIONS w/ SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR TO INFILL ELEVATOR DOOR. ROUGH OPENINGS w/ CMU BLOCKS & MORTAR AFTER ELEVATOR INSTALLATION IS COMPLETE.
 - COORDINATE STAIRWELL DIMENSIONS w/ STAIR SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 - REFER TO OVERALL PLANS (SHEETS A1-0 TO A1-6) FOR ROOM NAME SCHEDULES.
 - REFER TO SHEET A7-1 FOR WALL TYPE SCHEDULE. REFER TO ROOM FINISH SCHEDULE ON SHEET A7-4 FOR ADDITIONAL WALL FINISHES.
 - REFER TO SHEET A7-2 & A7-3 FOR DOOR & WINDOW SCHEDULES.
 - REFER TO SHEET A9-1 TO A9-4 FOR STAIRWELL ENLARGED PLANS AND SECTIONS.
 - ALL BARRIER FREE PATHS OF TRAVEL INSIDE THE BUILDING, INCLUDING CORRIDORS, MUST HAVE AN UNOBSTRUCTED CLEAR WIDTH OF NOT LESS THAN 48" (1200mm).
 - REFER TO "DOOR CLEARANCES" DETAIL ON SHEET BC3-2 FOR REQUIRED BARRIER FREE CLEARANCES ON PUSH AND PULL SIDES OF DOORS. COORDINATE DURING FRAMING AND INSTALLATION TO ENSURE CLEARANCES ARE MET.
 - REFER TO DETAILS AND SCHEMATICS ON SHEET BC3-2 FOR REQUIRED BARRIER FREE CLEARANCES TO WASHROOM FIXTURES. COORDINATE DURING INSTALLATION TO ENSURE CLEARANCES ARE MET.
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01 ENTIRE SHEET REVISED



ISSUED FOR DEVELOPMENT PERMIT

NO.	REV.	DATE	DESCRIPTION	INITIALS
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02		2025-05-09	ISSUED FOR DEVELOPMENT PERMIT	KSM
01		2025-01-31	ISSUED FOR CLIENT REVIEW	KSM

PRINTED DATE: 10/31/2023 10:00:05 AM



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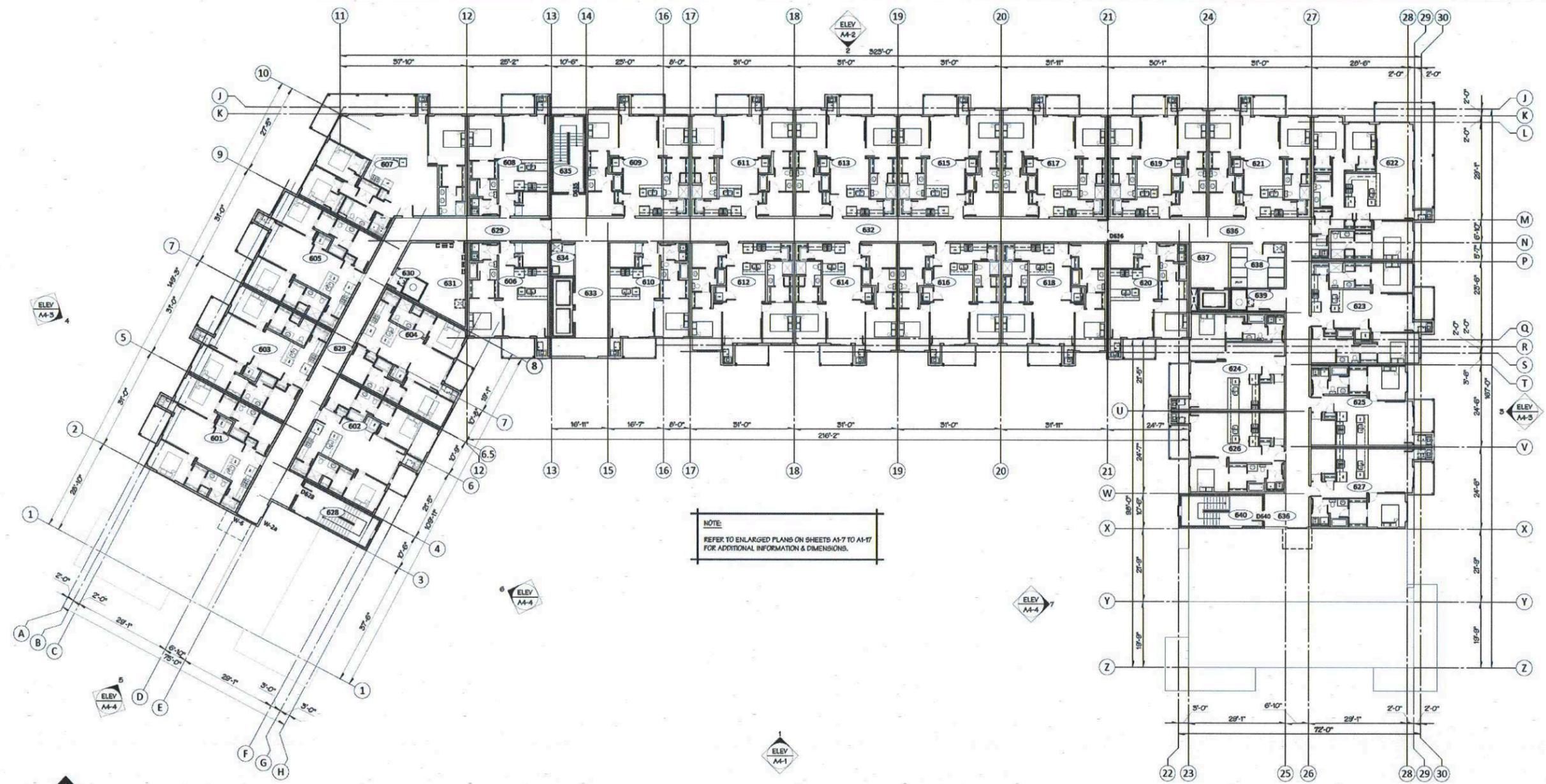
CLIENT
ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

DESIGNED JJC/RRK	DRAWN KKM	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X'REF PATH(S)

PROJECT TITLE
MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22+2525-027-10

FIFTH FLOOR PLAN
A1-5
REV. 01

ROOM NAME SCHEDULE - SIXTH FLOOR	
TAG	ROOM NAME
601	SUITE B1
602	SUITE B6
603	SUITE B1
604	SUITE B6
605	SUITE B1
606	SUITE A4
607	SUITE C3
608	SUITE A5
609	SUITE B1
610	SUITE A5
611	SUITE B1
612	SUITE B1
613	SUITE B1
614	SUITE B1
615	SUITE B1
616	SUITE B1
617	SUITE B2
618	SUITE B5
619	SUITE B4
620	SUITE A6
621	SUITE B1
622	SUITE C1
623	SUITE B1
624	SUITE A6
625	SUITE A1
626	SUITE A5
627	SUITE A1
628	WEST STAIRWELL
629	WEST CORRIDOR
630	REFUSE ROOM
631	MECHANICAL ROOM
632	NORTH CORRIDOR
633	NORTH ELEVATOR LOBBY
634	MAINTENANCE
635	NORTH STAIRWELL
636	EAST CORRIDOR
637	EAST ELEVATOR LOBBY
638	LOCKER ROOM
639	REFUSE ROOM
640	EAST STAIRWELL



NOTE:
REFER TO ENLARGED PLANS ON SHEETS A1-7 TO A1-17 FOR ADDITIONAL INFORMATION & DIMENSIONS.

SIXTH FLOOR PLAN
SCALE: 1/16" = 1'-0"

- GENERAL FLOOR PLAN NOTES:**
- REFUSE CHUTE TO BE COMPLETE WITH SPRING LOADED SELF-LATCHING CLOSURE AT CHUTE OUTLET TO DISCHARGE ROOM. VERIFY REFUSE CHUTE SHAFT DIMENSIONS w/ SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW.
 - VERIFY ELEVATOR SHAFT DIMENSIONS w/ SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR TO INFILL ELEVATOR DOOR ROUGH OPENINGS w/ CMU BLOCKS & MORTAR. AFTER ELEVATOR INSTALLATION IS COMPLETE.
 - COORDINATE STAIRWELL DIMENSIONS w/ STAIR SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 - REFER TO OVERALL PLANS (SHEETS A1-0 TO A1-6) FOR ROOM NAME SCHEDULES.
 - REFER TO SHEET A7-1 FOR WALL TYPE SCHEDULE. REFER TO ROOM FINISH SCHEDULE ON SHEET A7-4 FOR ADDITIONAL WALL FINISHES.
 - REFER TO SHEET A7-2 & A7-3 FOR DOOR & WINDOW SCHEDULES.
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01 ENTIRE SHEET REVISED



ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION	INITIALS
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05	2025-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02	2025-05-09	ISSUED FOR DEVELOPMENT PERMIT	KKM
01	2025-01-31	ISSUED FOR CLIENT REVIEW	KKM

PRINTED DATE: 10/31/2023 10:00:13 AM



CLIENT
ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

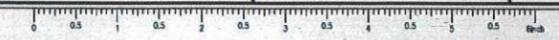
PROJECT TITLE
MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-2525-027-10

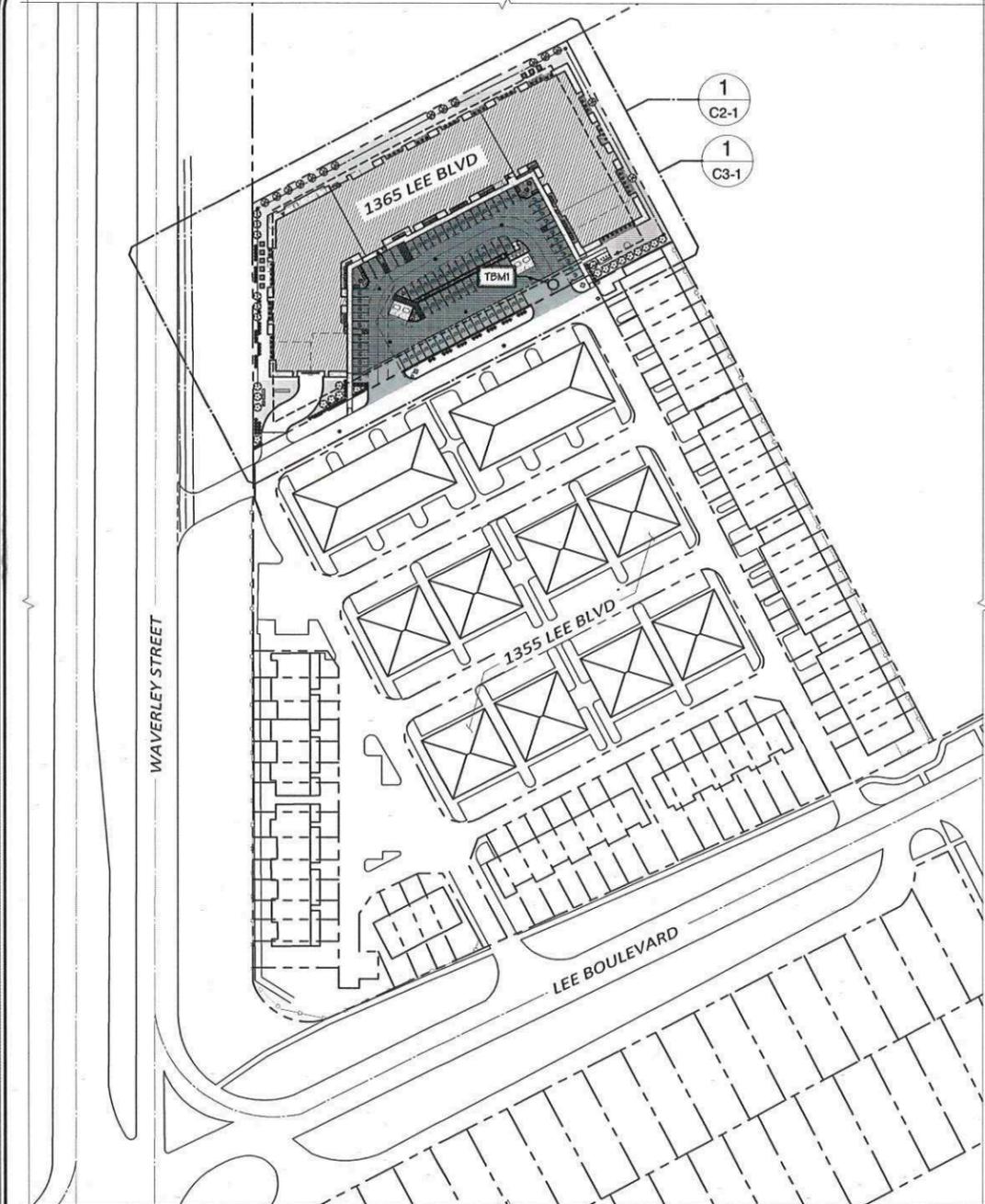
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DESIGNED JJC/RRK	DRAWN KKM	COORDINATOR GMF
DATE MAR/2023	SCALE AS NOTED	X'REF PATH(S)

SIXTH FLOOR PLAN
A1-6
REV. 01





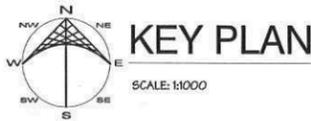
SITE DEVELOPMENT - GENERAL SITE	
ITEM	SYMBOL
PROPERTY LINE	---
LIMITING DISTANCE (PROPERTY SETBACK) LINE	---
PROPOSED SWALE	---
EXISTING FENCE LINE (WOOD POST & WOOD RAIL & BOARD TYPE)	---
EXISTING BUILDING	---
HEAVY DUTY ASPHALT AREA	---
HEAVY DUTY ASPHALT AREA (OVERTOP OF UNDERGROUND PARKING LOT)	---
NEW CONSTRUCTION	---
GRASS AREA	---
CONCRETE AREA	---
BLACK DYED WOOD CHIP MULCH	---
(AT BUILDING) MAN DOOR LOCATION	---
(AT BUILDING) OVERHEAD DOOR LOCATION	---
FIRE HYDRANT	---
CATCH BASIN (CB)	---
MANHOLE (MH)	---
TREE/ SHRUB	---

SITE DEVELOPMENT - GRADING	
ITEM	SYMBOL
EXISTING GRADE ELEVATION (m)	± XXX.XX
PROPOSED FINISHED GROUND ELEVATION (m)	XXX.XX
SWALE ELEVATION & DIRECTION (m)	① XXX.XX
PROPOSED ROAD ELEVATION (m)	XXX.XX
PROPOSED FINISHED FLOOR ELEVATION (m)	FF XXX.XX
EXISTING CONTOUR ELEVATION	---
PROPOSED DRAINAGE PATTERN	---

SITE DEVELOPMENT - SERVICES	
ITEM	SYMBOL
WASTE WATER SEWER LINE	---
WATER LINE	---
LAND DRAINAGE SEWER LINE	---
CURB STOP (TO BE INSTALLED WITHIN 0.3m OF PROPERTY LINE)	---
FITTING - GATE VALVE	---
FIRE DEPARTMENT CONNECTION	---

- Reference Standards
 - All construction shall be in accordance with the latest revision of the City of Winnipeg Standard Construction Specifications, unless otherwise noted.
- General Requirements
 - It is the intent of these drawings to provide for a complete and fully graded site in accordance with all applicable construction standards. Notwithstanding that the drawings may not cover each and every item required for the complete of the grading, the contractor shall supply all labor, materials, tools, equipment, and transportation necessary for the complete grading of the site. The Contractor is to ensure that delivery time of all fill does not cause a delay in the scheduling of this project. Notify the engineer if any problems arise.
 - Employ only tradespeople with proper licenses for the work.
 - Drawings are diagrammatic and approximate to scale. The contract documents establish scope, materials and quality and are not a comprehensive bill of materials, or detailed installation instructions.
 - Co-operate with other sections and trade disciplines as required for the completion of the total work. These drawings are to be read in conjunction with architecture, structural, electrical and landscaping drawings. Report any discrepancies to engineer.
 - When connecting to existing systems, the contractor is to immediately notify engineer of any deficiencies with the existing systems or any conditions with respect to the existing system that would impact the operation of the newly installed services or systems.
- General Site Information
 - The "North" orientation refers to nominal North rather than true or magnetic North.
 - This drawing has been prepared based on existing ground elevations information provided by Keystone Surveys M.L.S. Inc., DGH Engineering has not verified the accuracy and/or completeness of this information and is not responsible for any omissions that may be incorporated as a result of information provided by others, DGH Engineering makes no warranty of the accuracy or completeness of the provided ground elevation information.
 - Any dimensions that show the location of existing features are approximate only, and are to be confirmed before construction start as required by a certified Manitoba Land Surveyor.
 - All distances are in meters and may be converted to feet by multiplying by 3.28084.
- Equals for Equipment
 - Equals for all equipment and fixtures will be considered, with engineer's approval.
 - Submit request for equals to engineer with the following information
 - Names of items on drawings for which the equal is being requested
 - Make and Model of equal
- Shop Drawings
 - Submit 2 sets of shop drawings for review for the following items:
 - Underground Storage Chambers,
 - Pumps and Associated Controllers
 - The Engineer's review does not relieve the contractor from responsibility to provide and install materials and equipment in accordance with the design intent of the drawings. All dimensions and suitability for site conditions are the responsibility of the contractor. All electrical characteristics and requirements must be coordinated with the electrical contractor.
 - Equipment is not to be purchased prior to shop drawing approval.
- Permits, Certificates and Fees
 - It is the contractor's responsibility to obtain all required permits and pay all associated fees.
- Project Record Drawings
 - At the conclusion of the job, the contractor is to submit to the engineer a marked-up set of drawings including any changes to the initial design including revisions, site instructions, and accepted equals.
- Maintenance Manuals
 - Provide building owner with operation and maintenance manual for all equipment installed and a set of the record drawings.
- Site Inspections
 - Neither DGH Engineering Ltd. nor the Engineer who has sealed these drawings have been engaged for site inspections. Site inspections are to be provided by a qualified individual.
- Contractor Responsibilities
 - The General Contractor and all Sub-Contractors shall obtain all permits to carry out the work and shall strictly adhere to the conditions of each permit.
 - The Contractor shall verify and be responsible for all dimensions and grades, any errors and/or omissions must be reported to an Engineer at DGH Engineering Ltd. Any claims resulting from the Contractor's failure to do so shall be at the Contractor's expense.
 - The Contractor is to verify the depth of utilities prior to construction. The location of underground structures as shown are based on the best information available, but no guarantee is given that all existing utilities are shown or that the given locations are exact. Confirmation of existence and exact location of all services must be obtained from the individual utilities before proceeding with construction.
 - If the Contractor chooses to use powered equipment for excavation, the contractor is to notify all utility companies of the proposed location of work. In addition the contractor is to take precaution to avoid damage to all utilities in the area of work.
 - The Contractor is to verify the inverts and type of all existing buried utilities prior to construction and notify the Engineer of any discrepancies.

- No slope stability analysis was completed during the creation of this plan set. This plan is for grading purposes only. If a slope stability analysis is required by the permitting authority, please contact a Geotechnical Engineer for construction recommendations.
- Excavate native material to required depth to accommodate granular fill as indicated on the drawings.
- Backfill and compact all holes left by tree root removal with clay or granular materials up to sub-grade elevation.
- Proof roll sub-grade areas with loaded 20 tonne tandem axle. Excavate and soft areas and restore to level grade with clay, or granular material, compacted to 95% maximum dry density at optimum soil moisture. Place and compact all fill content in 0.15m (6") lifts.
- Provide specified geotextile material and install as per manufacturer's recommendations.
- Place granular sub-base in maximum 0.15m (6") lifts and compact to 95% maximum dry density at optimum soil moisture content. Apply water as required to achieve specified compacted density.
- Contractor to provide a minimum four (4) density testing results for each lift of fill. Submit compaction results to owner and engineering consultant for review and acceptance prior to commencement of any preparatory work for finish granular/asphalt surfacing.
- Construction cross-section details provided as part of this plan have been verified with the Eng-Tech Consulting limited Geotechnical report dated May 2022.
- All downspouts, rainwater leaders, and scuppers are to discharge onto a splash pad.
 - Splash pads are to be made of precast concrete, with a minimum width of 305 mm and a minimum length of 610 mm. WOW Rubber Rain Splash Pads may also be considered. Please submit all request to DGH Engineering and the permitting authority for approval prior to purchase and installation.
 - Splash pads are to be located so that they do not direct storm water onto an adjacent property. If not shown on the plan set, coordinate exact location with the Building Owner.
- Sump Pumps
 - Sump pump discharge is to be located such that storm water drains away from the building but does not discharge onto an adjacent property or roadway.
- Catch Basins
 - Storm water catch basins are to be constructed of precast concrete. Nyloplast drain basins by ADS Canada may be considered. Please submit all request to DGH Engineering and the permitting authority for approval prior to purchase and installation.
- Trenching and Backfilling
 - All trenches bedding for service piping shall be Type 2 or Type 3.
 - All backfill within a pavement structure shall be Class 2 or Class 3.
 - All backfill within 2.0 meters of a pavement structure shall be Class 2.
 - All backfill within a landscaped area shall be Class 4.
- Service Piping Materials
 - All metal water main piping shall be Copper Pipe - type K soft, conforming to current AWWA Standard C-900. If no specification have been provided in the current revision of the municipal standards, Certo Copper Products, Type K, is acceptable.
 - All polymer water main piping shall be PVC C-900 unless noted otherwise within the approved municipal standard. If no specifications have been provided in the current revision of the municipal standards, Iplex Inc, Blue Brute, is acceptable.
 - All waste water piping shall be PVC SDR-35 unless noted otherwise within the approved municipal standard. If no specifications have been provided in the current revision of the municipal standards, Iplex Inc, Ring-Tite/ Enviro-Tite/ Eco-Tube is acceptable.
 - All storm water piping shall be PVC SDR-35. HDPE/OSA piping will be considered for all on-site land drainage system works. The previously mentioned storm water piping shall be used unless noted otherwise within the approved municipal standard.
 - All new culvert invert elevations shown are relative to the new approach locations. If approach locations differ, culvert invert to be installed as per City of Winnipeg Design and Construction Standards. Notify the engineer if any problems arise.
- Finished Site
 - All surfaces are to be restored to equal or better conditions.
 - Provide a minimum of 5% slope away from new construction of buildings to grade, unless noted on the construction plans.
 - Minimum building elevation to be 0.15m above the road at the driveway.
 - All new finished grading is to be blended to match existing grade.
 - Grading along neighboring property lines are to remain as existing unless written approval has been provided.



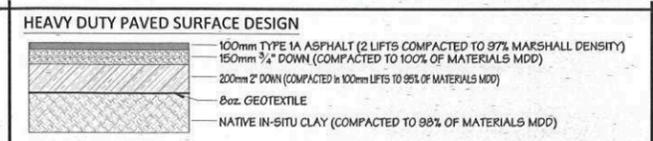
CIVIC ADDRESS:
1365 LEE BLVD, WINNIPEG, MB R2C 4K3

LEGAL DESCRIPTION:
LOT 1 PLAN NO 56635
IN RIVER LOT 2 PARISH OF ST. VITAL

SITE DRAINAGE NOTES:

- SURVEY WAS PROVIDED BY KEYSTONE SURVEYS M.L.S. INC. DATED JUNE 02, 2022 FILE NO: 2022.149
- BENCHMARK REFERENCE:

IDENTIFICATION	ELEVATION	DESCRIPTION
BMI	232.880	BENCHMARK 74M 575 REFERENCED TO CGVD25 DATUM USING GNSS
TBM1	233.625	TOP NUT OF EXISTING FIRE HYDRANT
- SUPPLEMENTAL SURVEY POINTS HAVE BEEN PROVIDED BY DGH ENGINEERING LTD, DATED 2023-06-22.



Pump Schedule	
Identification	P-1A/P-1B
Pump Type	Wastewater pump
Flow	600 US gpm (37.85 L/s)
Pressure	30 ft w.c.
Make and Model	Grundfos SL1
Electrical Requirements	7.5 HP, 208 V, 60 Hz, 3 Ph
Control	Multitronics Ranger
Notes	- Pump to be provided with slide rail system - NO CHECK Valves to be installed in pump system - Provide VFD. Limit max flow to specified flow - Max Allowable Flow with both pumps running to not exceed 1285 GPM (81.12 L/s) - To come with Soft Start and Final Balancing
Expected Pipe Length	49 Ft

DRAINAGE DESIGN CRITERIA (LDS COMPONENT):	
TIME OF CONCENTRATION:	15 minutes
STORM DURATION:	25 year
C-VALUE (PROVIDED BY WASTE AND WATER):	0.40
TOTAL PERVIOUS AREA:	1578.0 square meters
TOTAL IMPERVIOUS AREA:	6556.0 square meters
TOTAL AREA:	8234.0 square meters
TOTAL SITE CATCHMENT:	
ALLOWABLE RUNOFF (BASED ON ISOCHRONE METHOD):	81.12 Litres per second
TOTAL RUNOFF FROM SITE, FROM MH-1 (FLOW CONTROLLED THROUGH PUMP, MAX FLOW ALLOWABLE FROM BOTH PUMPS = 81.12 LPS)	37.85 Litres per second
REQUIRED SITE STORAGE FOR 37.85 LPS (BASED ON ISOCHRONE METHOD):	286.98 cubic meters
UNDERGROUND STORAGE PROVIDED:	434.60 cubic meters
TOTAL NET STORAGE:	147.62 cubic meters

CITY OF WINNIPEG ESTIMATED WASTEWATER FLOWS (POST-DEVELOPMENT)			
FLOW TYPE:		Residential	
SITE CLASSIFICATION:		Multi-Family	
LAND SURFACE AREA:	0.83 ha	8302.00 square meters	
NUMBER OF DWELLING UNITS:		217	
NUMBER OF OCCUPANTS PER UNIT:		2.30	
PEAKING FACTOR:		4.03	
ADWF:	103707 L/Day	1.20 L/s	
PDWF:	417987 L/Day	4.84 L/s	

Storage Tank	
Identification	ST-1, ST-2
Type	Underground Storage Tank
Total Volume Provided	214 m3 per tank
Approximate Dimensions	2.44 m in Height, 22.20 m long, 3.96 m wide
Make and Model	Cast-in-place, See Structural

ISSUED FOR DEVELOPMENT PERMIT			
NO.	DATE	DESCRIPTION	INITIALS
03	2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02	2023-03-09	ISSUED FOR DEVELOPMENT PERMIT	KEM
01	2023-01-31	ISSUED FOR CLIENT REVIEW	KEM

PRINTED DATE: 10/13/2023 11:08:06 AM

ENGINEER

R. L. GRANGER
Member 30863

APCGM
Certificate of Authorization
DGH Engineering Ltd.
No. 540 Date: 2023-10-13

NOTE TO CONTRACTOR:
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO DGH IN WRITING. DO NOT RELY ON SCALED DIMENSIONS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTACT THE ENGINEER FOR CLARIFICATIONS IF NECESSARY. THIS DRAWING SHALL NOT BE USED FOR BUILDING PERMIT OR CONSTRUCTION PURPOSES UNLESS IT IS SEALED AND SIGNED BY THE ENGINEER RESPONSIBLE FOR THE WORK.

DGH ENGINEERING LTD.
CIVIL | STRUCTURAL | MECHANICAL | ELECTRICAL | INDUSTRIAL

12 Aviation Boulevard St. Andrews MB R1A 3N5 Canada T: 204-334-8846 www.dghengineering.com

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CLIENT

ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

DESIGNED: JC
DRAWN: FK
COORDINATOR: GMF

DATE: JUNE/2022
SCALE: AS NOTED
X'REF PATH(S): FACILITY PROJECTING

PROJECT TITLE

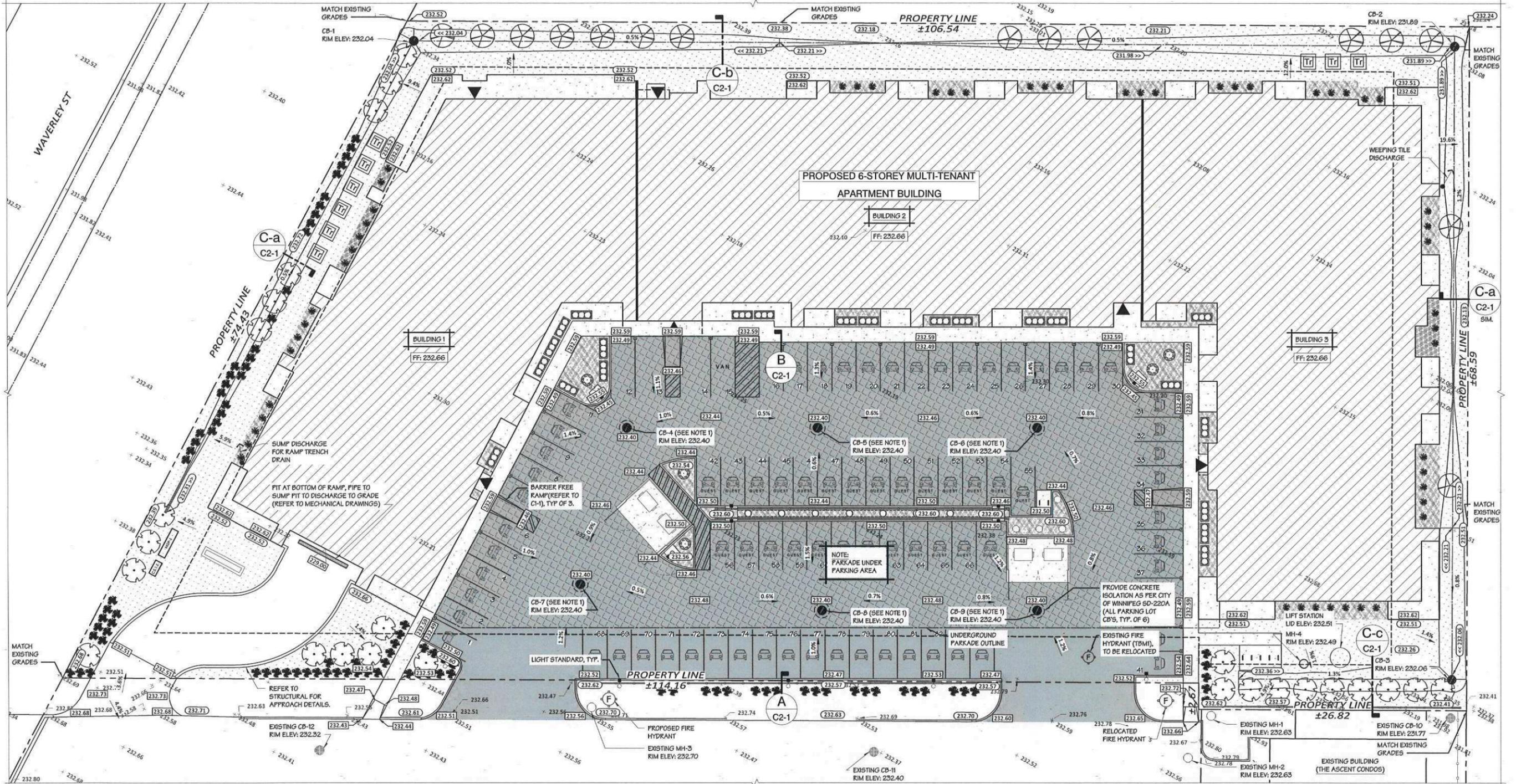
MULTI TENANT APARTMENT

PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.

PROJECT NUMBER: 22-1-2323-027-10

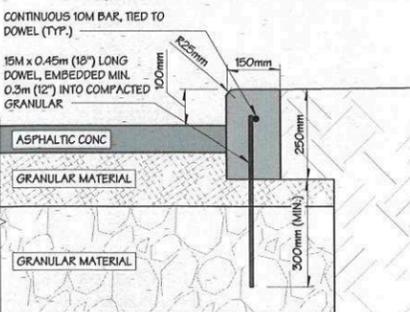
CIVIL SPECIFICATIONS, TABLES, KEY PLAN & LEGEND

C2-0
REV. 000



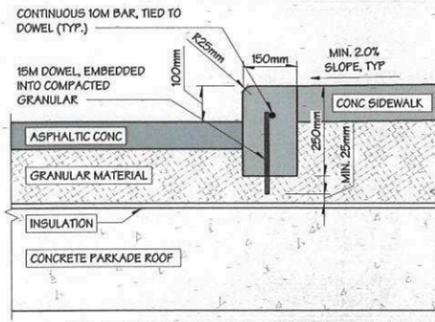
1 SITE DRAINAGE LAYOUT

SCALE: 1:200
SHEET REF. C2-0



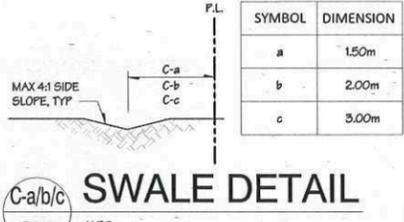
A TYP CURB DETAIL

SCALE: 1:10



B CURB DETAIL (OVERTOP OF U/G PARKADE)

SCALE: 1:10



C SWALE DETAIL

SYMBOL	DIMENSION
a	1.50m
b	2.00m
c	3.00m

- NOTE:**
- CATCH BASINS 4-9 TO BE Z535 HEAVY DUTY PARKING STRUCTURE DRAINS. DRAINS WILL FLOW THROUGH UNDERGROUND PARKADE DIRECTLY INTO UNDERGROUND STORAGE. REFER TO MECHANICAL DRAWINGS.
 - SITE WILL OVERFLOW TO STORAGE TANKS IN EVENT THAT STORM IS LARGER THEN DESIGN STORM.
 - APPROACHES TO BE TIED INTO EXISTING ROAD ELEVATION.

ISSUED FOR DEVELOPMENT PERMIT

NO.	REV.	DATE	DESCRIPTION	INITIALS
05	(R01)	2023-10-11	ISSUED FOR DEVELOPMENT PERMIT	JAB
02		2023-03-09	ISSUED FOR DEVELOPMENT PERMIT	KSM
01		2023-01-31	ISSUED FOR CLIENT REVIEW	KSM

PRINTED DATE: 10/13/2023 11:08:42 AM

ENGINEER

R. L. GRANGER
Member
30863

APEGN
Certificate of Authorization
DGH Engineering Ltd.
No. 540 Date: 2023-10-13

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CLIENT

ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

DESIGNED: JC
DRAWN: FK
DATE: JUNE/2022

COORDINATOR: GMF
SCALE: AS NOTED
X'REF PATH(S): PROJECT/ENGINEERING

PROJECT TITLE

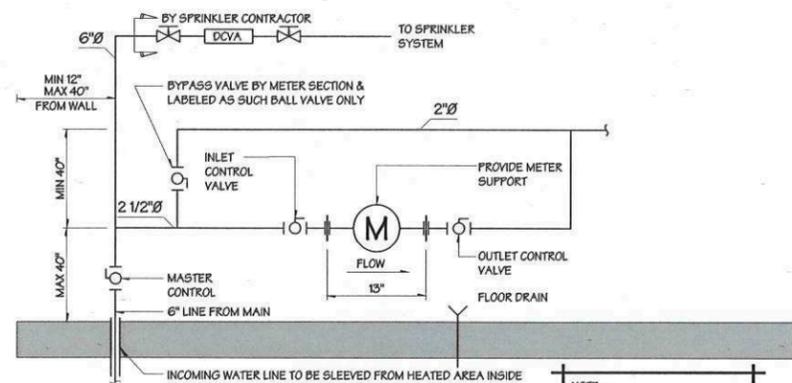
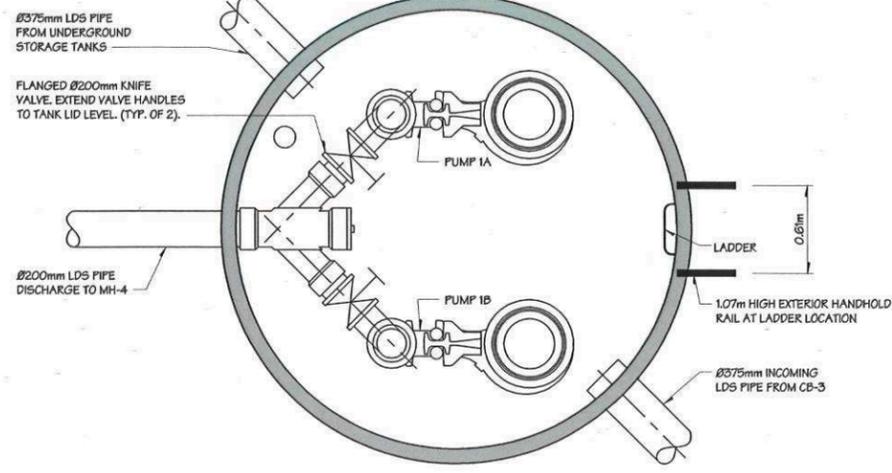
MULTI TENANT APARTMENT

PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.

PROJECT NUMBER: 22-1223-027-10

SITE DRAINAGE LAYOUT

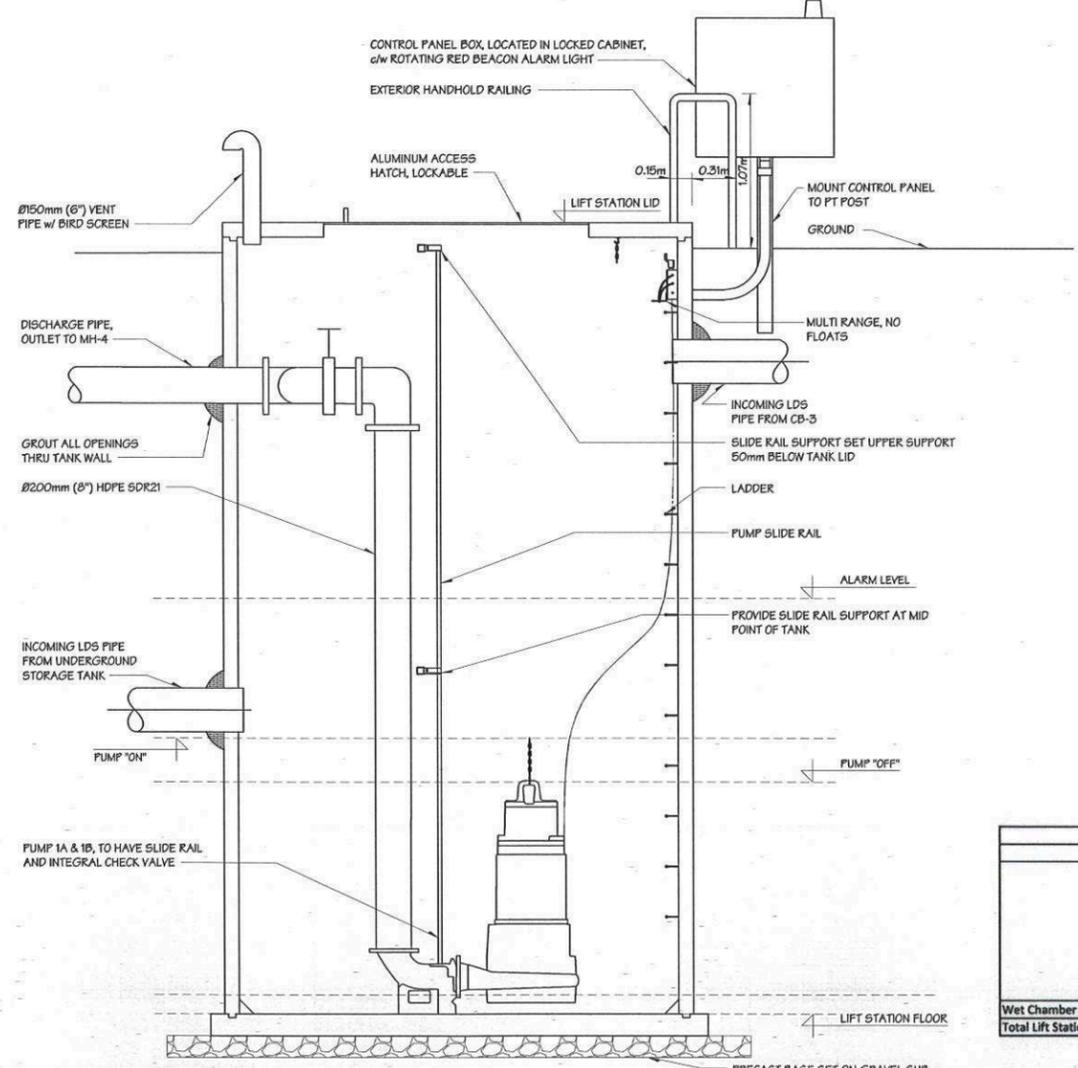
C2-1
REV. 0 R01



**(3"Ø - 8"Ø)
WATER METER DETAIL**

ENTIRE BUILDING - Demand of Fixtures in Fixture Units

Fixture Type	Weight In F.U.	No. of Fixtures	Count	
1 Water closet	a) Flush Valve	8	2	16
	b) Flush Tank	6	287	1722
2 Lavatory Sink		1	294	294
3 Bath Tub		3	169	507
4 Shower		2	118	236
5 Urinal	a) Large Valve	8		0
	b) Small Valve	6		0
	c) Tank	6		0
6 Kitchen Sink or Pot Sink		3	169	507
7 Bar Sink		2		0
8 Dish Washer (Domestic)		3	168	504
9 Dish Washer (Commercial)		4		0
10 Pet Wash Sink		3	3	9
11 Laundry & Mop Sinks or Janitors Sinks		3	6	18
12 Lawn Service		2		0
13 Laboratory Sinks		2		0
14 Soft Drink Machines		2		0
15 Coffee Maker		1		0
16 Ice Machine		1		0
17 Drinking Fountain		1	1	1
18 Bradley Wash Stall (Large Public Wash Basin)		4		0
19 Automatic Clothes Washer (Domestic)		3	167	501
Automatic Clothes Washer (Commercial See Guidelines)				0
20 Small Water Cooled Compressors		3		0
21 Commercial Food Waste Disposal Units		3		0
Total Count			4315	



Elevations	Meters	Feet
Ground Level	232.200	761.848
Lift Station Lid	232.516	762.848
Influent Invert	224.570	736.778
Pump 1A "On" Level	224.570	735.848
Pump 1A "Off" Level	223.677	733.848
Pump 2A "On" Level	224.885	737.848
Pump 2A "Off" Level	223.971	734.848
Alarm Level	227.944	747.848
Lift Station Floor	223.067	731.848
Wet Chamber Diameter	1.500	4.922
Total Lift Station Depth	223.666	733.848

LIFT STATION DETAIL

N.T.S.

PRECAST BASE SET ON GRAVEL SUB BASE 150MM THICK MIN EXTENDING 450MM OUTSIDE OF PRECAST BASE AT 97% STANDARD PROCTOR DENSITY

ISSUED FOR DEVELOPMENT PERMIT

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01		2023-01-31	ISSUED FOR CLIENT REVIEW	KSM

PRINTED DATE: 10/13/2023 11:09:35 AM

ENGINEER

R. L. GRANGER
Member 30863

APEGM
Certificate of Authorization
DGH Engineering Ltd.
2023-10-13
No. 540 Date:

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CLIENT

ROCKPORT COMMERCIAL INC.
UNIT #1
62 DON VALLEY PARKWAY
WINNIPEG, MB. R2C 5G5

PROJECT TITLE

MULTI TENANT APARTMENT
PROJECT LOCATION
1365 LEE BLVD, WINNIPEG, MB.
PROJECT NUMBER: 22-12223-027-10

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DESIGNED	DRAWN	COORDINATOR
JC	FK	GMF
DATE	SCALE	X'REF PATH(S)
MAR/2022	AS NOTED	FACILITY PRODUCTION

SITE SERVICES DETAILS

C3-2
REV. 0 R00