

ADMINISTRATIVE REPORT

Title: DAV 24-270283\C – 542 Sherbrook St

Issue: For consideration of a Variance associated with a new 11-unit single room occupancy residential building.

Critical Path: Director of Planning, Property, and Development

AUTHORIZATION

Author	Department Head	CFO	CAO
I. Stonehouse, MCP	n/a	n/a	

DECISION AND CONDITIONS

The Urban Planning and Design Division **approves** the application to vary the "RMF-M PDO-1 Mature Communities" development and design standards of Winnipeg Zoning By-Law No. 200/2006 as follows:

1. For the construction of a single room occupancy building to permit:
 - a. a front yard of 20 feet instead of 25 feet;
 - b. a north side yard of 4 feet instead of 8 feet;
 - c. a south side yard of 5 feet instead of 8 feet;
2. For the establishment of an accessory parking area to permit:
 - a. insufficient buffering of a parking or loading area located within 20 feet of a side or rear lot line adjacent to a residential zoning district;
 - b. parking spaces within 10 feet of a window to a habitable room where the sill is located 5 feet or less from grade.

Subject to the following condition(s):

1. That the development shall be constructed in substantial conformance with the plans submitted under File No. DAV 24-270283\C, dated November 26, 2024 and thereafter maintained to the satisfaction of the Director of Planning, Property and Development;
- OR

That the Owner must submit plans showing the location and design of any and all proposed:

- i. buildings;
- ii. accessory parking areas;
- iii. fencing; and
- iv. landscaping

on the Owner's Land ("Works") to the Director of Planning, Property and Development for approval prior to the issuance of any building or development permit, and thereafter must construct the Works in substantial conformance with the approved plans and maintain the Works to the satisfaction of the Director.

2. That, if any variance granted by this order is not established within 2 years of the date hereof, this order, in respect of that Variance shall terminate.

REASON FOR THE REPORT

- The applicant is proposing to build a new 11-unit single room occupancy residential building and requires variances for yard and parking requirements of the *Winnipeg Zoning By-Law*.
- This report provides information regarding the subject application's compliance with *The City of Winnipeg Charter*, section 249.

FILE/APPLICANT DETAILS

FILE: DAV 24-270283\C
RELATED FILES: N/A
COMMUNITY: City Centre Committee
NEIGHBOURHOOD #: 1.108 - (DANIEL McINTYRE)

SUBJECT: To vary the "RMF-M PDO Mature Communities" development and design standards of Winnipeg Zoning By-Law No. 200/2006 as follows:

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 - b. parking spaces within 10 feet of a window to a habitable room where the sill is located 5 feet or less from grade.

LOCATION: 542 Sherbrook St

LEGAL DESCRIPTION: EXC W 8F LOT 12 PLAN 201 72 ST JA

APPLICANT: Andre Silva (2 Architecture Inc.)
213 Notre Dame Ave Unit 1004
Winnipeg, MB R3B 1N3

OWNER: REAL ESTATE REVITALIZATION LTD.
(PO BOX 358)
MARCHAND, MB R0A 0Z0

HISTORY

N/A

DISCUSSION

CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a Variance with respect to a property may be approved if the Variance:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- (d) is compatible with the area in which the property to be affected is situated.

SITE DESCRIPTION

- The subject property is located on the west side of Sherbrook Street, in the Daniel McIntyre neighbourhood of the Daniel McIntyre ward.
- The subject site is 4,109 square feet in area. The site is currently occupied by a single-family home built in 1909.
- The subject site is accessed by a paved back lane (concrete).
- Under the *Complete Communities Direction Strategy 2.0*, the site is within the “Established Neighbourhoods – Mature Communities” policy area. The property is zoned “RMF-M” Residential - Multi-Family (Medium) District.



Figure 1: Aerial photo of subject site and surrounding area.

SURROUNDING LAND USE AND ZONING (See Figure 2)

North: Single-family, two-family, and multi-family dwellings zoned "RMF-M" Residential - Multi-Family (Medium) and "RMF-L" Residential - Multi-Family (Large).

South: Single-family, two-family, and multi-family dwellings zoned "RMF-M" Residential - Multi-Family (Medium).

East: Sherbrook Street, then single-family, two-family, and multi-family dwellings zoned "RMF-M" Residential - Multi-Family (Medium).

West: Rear lane, then single-family, two-family, and multi-family dwellings zoned "RMF-M" Residential - Multi-Family (Medium).

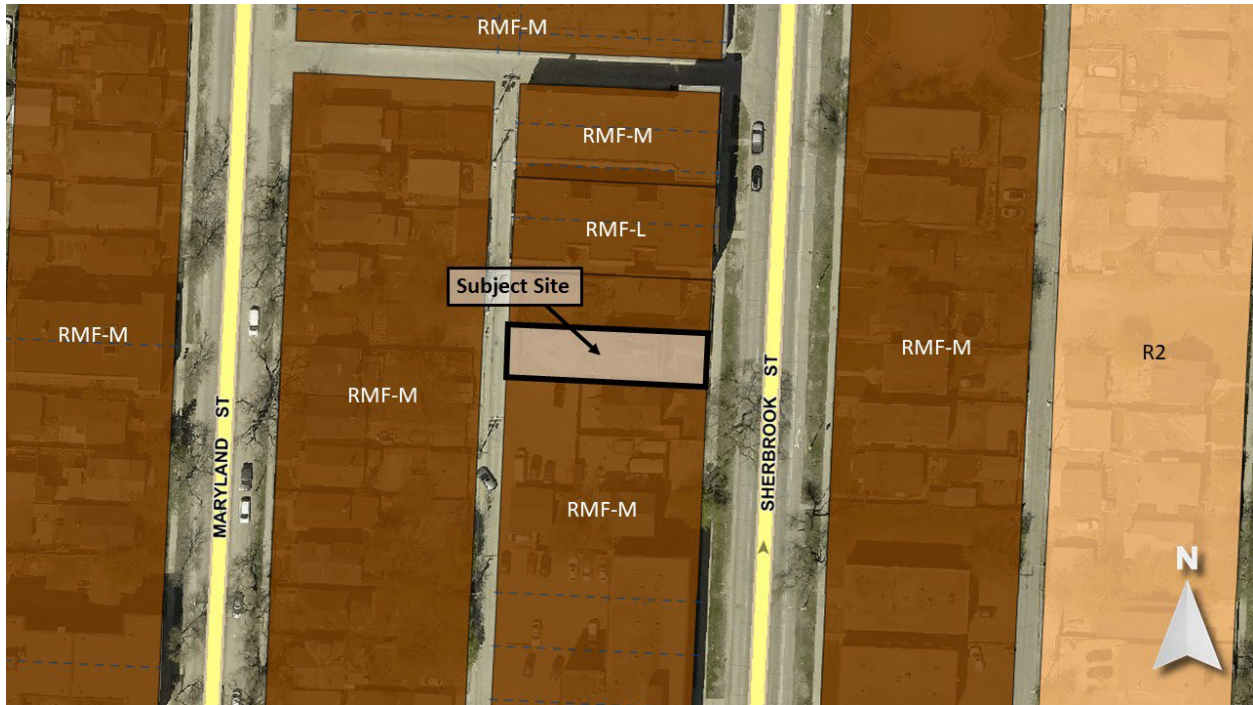


Figure 2: Zoning of the site and surrounding area.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

- The applicant intends to build an 11-unit single room occupancy residential building. The proposed building is 17.5 feet in height with a main entrance to the residential units on the front façade.
- The existing single-family dwelling on site will be demolished.
- The design of the building includes two primary cladding materials, with charcoal acrylic stucco and a pre-sealed wood finish on the front façade.
- The applicant is proposing 3 parking stalls located on the west side of the site, against the public lane.
- Vehicular access to the property is proposed via the public lane, which is accessed from Sherbrook Street, Maryland Street, and Ellice Avenue.

REASON FOR APPLICATION

- Front Yard

Properties zoned “RMF-M” have a minimum required front yard area of 25 feet. The applicant is proposing a front yard of 20 feet, therefore a variance is required.

- North Side Yard

One-storey buildings zoned “RMF-M” have a minimum required side yard area of 8 feet. The applicant is proposing a north side yard of 4 feet, therefore a variance is required.

- South Side Yard

One-storey buildings zoned “RMF-M” have a minimum required side yard area of 8 feet. The applicant is proposing a south side yard of 5 feet, therefore a variance is required.

- Parking Buffering

Per the Landscaping and Buffering Standards of the Winnipeg Zoning By-law, a landscaped buffer must be installed when a parking or loading area accessory to any use, other than a single- or two-family residential use, is located within 20 feet of a side or rear lot line abutting or adjacent to a residential zoning district. The applicant is proposing no buffering of a parking area located within 20 feet of a residential zoning district, therefore a variance is required.

- Parking Spaces Within 10 Feet of a Window to a Habitable Room

Per the Parking and Loading Standards of the Winnipeg Zoning By-law, where the sill of a window to a habitable room is located 5 feet or less from grade, no parking space may be permitted within 10 feet of the window. The applicant is proposing parking spaces within 7 feet of a window to a habitable room, therefore a variance is required.

COLLABORATIVE PLANNING AND CONSULTATION

The applicant engaged the Urban Planning and Design Division for preliminary discussions prior to making a formal application. The preliminary discussions resulted in a number of site plan changes per feedback from the Division, including increasing the length of parking stalls per requirements of the Winnipeg Zoning By-law, and adding a fence between the parking stalls and habitable rooms. Following these changes, the Division expressed their preliminary support and advised to proceeding with the variance.

ANALYSIS AND ISSUES

Complete Communities Direction Strategy 2.0 (CCDS 2.0)

CCDS 2.0 is one of four direction strategies supporting *OurWinnipeg*, the city’s long-range development plan, and has statutory authority as a secondary plan. The strategy guides land use and development in Winnipeg.

- The subject property is located in an Established Neighbourhood designated as a “Mature Community” as outlined in *CCDS 2.0*.
- The Vision for Established Neighbourhoods is for them to continue to evolve as complete communities, to increase the diversity of housing choices, improve housing affordability, and more efficiently use land, infrastructure and services.
- Goal 1 states “encourage compatible residential development within Established Neighbourhoods to build more *Complete Communities* and align with the City’s residential intensification target.”
- General policies for Established Neighbourhoods that relate to the subject proposal are as follows:

1.1 Encourage residential development that positively contributes to neighbourhood character while expanding housing options for residents in a manner that is sensitive and complementary to existing development.

1.2 Increase the population within Established Neighbourhoods to contribute to the physical renewal and revitalization of older neighbourhoods.

1.8 Low-rise residential uses will generally be encouraged on arterial roads and collector streets where compatible with adjacent land uses, where they can be conveniently served by transit and local commercial amenities, and in consideration of the factors listed in Policy section 1.6.

- CCDS 2.0 states Mature Communities “present some of the best opportunities to accommodate infill development, to increase housing choice and to maximize the use of existing infrastructure.”
- Goal 2 states “design new development in Established Neighbourhoods to a high standard of urban design and construction to ensure new development adds value to public and private urban spaces to create a sense of place and civic pride.”
- General policies for Established Neighbourhoods that relate to the subject proposal are as follows:

2.3 Encourage, where contextually suitable, the location of multi-family buildings at or near the front and corner side property lines to create a pedestrian orientation that is respectful of the area context. Use setbacks to provide landscaping, front courtyards for individual units or other amenities that support the pedestrian environment, building design and relationship to the street.

2.4 Encourage the use of high-quality, energy efficient, and durable exterior building façade materials.

2.11 Multi-family residential or mixed-use buildings that front public streets and contain internal parking areas should provide a main entrance facing the public street.

2.12 New development should respect and complement the existing character of the built form of surrounding properties.

- Goal 3 states “ensure all communities provide a diversity of housing options and meet resident life-cycle housing needs.”
- General policies for Established Neighbourhoods that relate to the subject proposal are as follows:

3.1 Encourage a variety of housing types and tenures within Established Neighbourhoods to meet life-cycle housing needs and affordability ranges.

- Goal 8 states “facilitate the redevelopment of Established Neighbourhoods that contributes to the further development of walkable, bikeable and transit-oriented communities in accordance with city pedestrian and cycling strategies”.
- General policies for Established Neighbourhoods that relate to the subject proposal are as follows:

8.4 For properties with public lane access, vehicular access should be taken from the public lane in order to reduce potential conflict between pedestrians using sidewalks and motor vehicles crossing the public right-of-way to access private property.

8.5 All developments should provide a private pedestrian pathway that connects to a public sidewalk or multi-use pathway where present.

The subject proposal aligns with the above applicable policies for Mature Communities for the following reasons:

- The development will help achieve residential intensification targets, including that a minimum of 50% of all new dwelling units be accommodated in the intensification target area of the City;
- The development will add to the mix of housing options for the neighbourhood by providing a unique housing option in the form of single room occupancy;
- The proposed development will utilize existing infrastructure including the street network, water and wastewater service capacity and city services such as library, recreation and education; and
- The building is oriented to the street, has a height and scale similar to surrounding buildings, uses a variety of building materials, and takes vehicular access from the rear laneway.

VARIANCES

Front Yard

In order to accommodate parking spaces at the rear of the property that meet length standards as set out in the Parking & Loading Standards of the *Winnipeg Zoning By-law*, the Division expressed support for a decreased front yard setback. The character of this specific block of Sherbrook Street includes many buildings with front yards of 20 feet or less, including the adjacent building to the north with a 20-foot front yard. The front yard is pedestrian-oriented with a 5-foot walkway and landscaping features, and meets *CCDS 2.0* policies, including Policy 2.3. For these reasons, the Urban Planning and Design Division supports this variance.

North and South Side Yard

The side yard variances for 4 feet instead of 8 feet (north side yard) and 5 feet instead of 8 feet (south side yard) do not appear to pose an adverse impact on the adjoining properties given the context of the block, which typically has side yards of 5 feet or less. For this reason, the Urban Planning and Design Division supports this variance.

Parking Buffering

A variance has been requested for a parking area located less than 20 feet from a side or rear lot line adjacent to a residential district. This variance is triggered by the presence of three parking stalls located directly off of the rear lane. Given the presence of the rear lane between these parking stalls and the residential properties to the west, a buffered parking area would create no greater privacy to the residential lots than what already exists with the rear lane adjacent to the rear lot lines. For this reason, the Urban Planning and Design Division supports this variance.

Parking Spaces Within 10 Feet of a Window to a Habitable Room

A variance has been requested for parking spaces located 7 feet from a window to a habitable room instead of the required 10 feet. This is a relatively minor variance, and given the site's constraints regarding its area and shape, this minor variance is reasonable and relieves the injurious effect of the zoning by-law on the applicant's property. As well, after initial feedback from the Division, the applicant added a 4-foot fence between the parking spaces and the

building in order to add a layer of privacy. For these reasons, the Urban Planning and Design Division supports this variance.

REASONS FOR DECISION

In the context of Section 247(3), the Urban Planning and Design Division **approves** the application for the following reasons:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
In that, the proposed variances will enable a development that increases neighbourhood population, provides a unique housing type, and contributes to the physical renewal and revitalization of an older neighbourhood.
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
In that, the site design and building design elements of the proposed development align with the surrounding context and help reduce any potential adverse effects on the neighbouring properties and surrounding area.
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
In that, the proposed variances would allow the applicant to introduce additional density on the site in a manner that is consistent with policies guiding development under the "Established Neighbourhoods - Mature Communities" policy area within the Complete Communities Direction Strategy 2.0.
- (d) is compatible with the area in which the property to be affected is situated.
In that, the proposed development is compatible with existing development on Sherbrook Street and in the Daniel McIntyre neighbourhood.

OURWINNIPEG 2045 POLICY ALIGNMENT

- City Building Objective 1: Responsibly plan, prioritize and accommodate growth in areas that best support *Complete Communities* principles, to achieve this Plan's sustainable development goals.
- City Building Objective 2: Integrate resilient land use, transportation and infrastructure planning, and investments.
- City Building Objective 3: Facilitate development opportunities that complete established communities, and plan new communities as complete and connected from the outset.

WINNIPEG CLIMATE ACTION PLAN ALIGNMENT

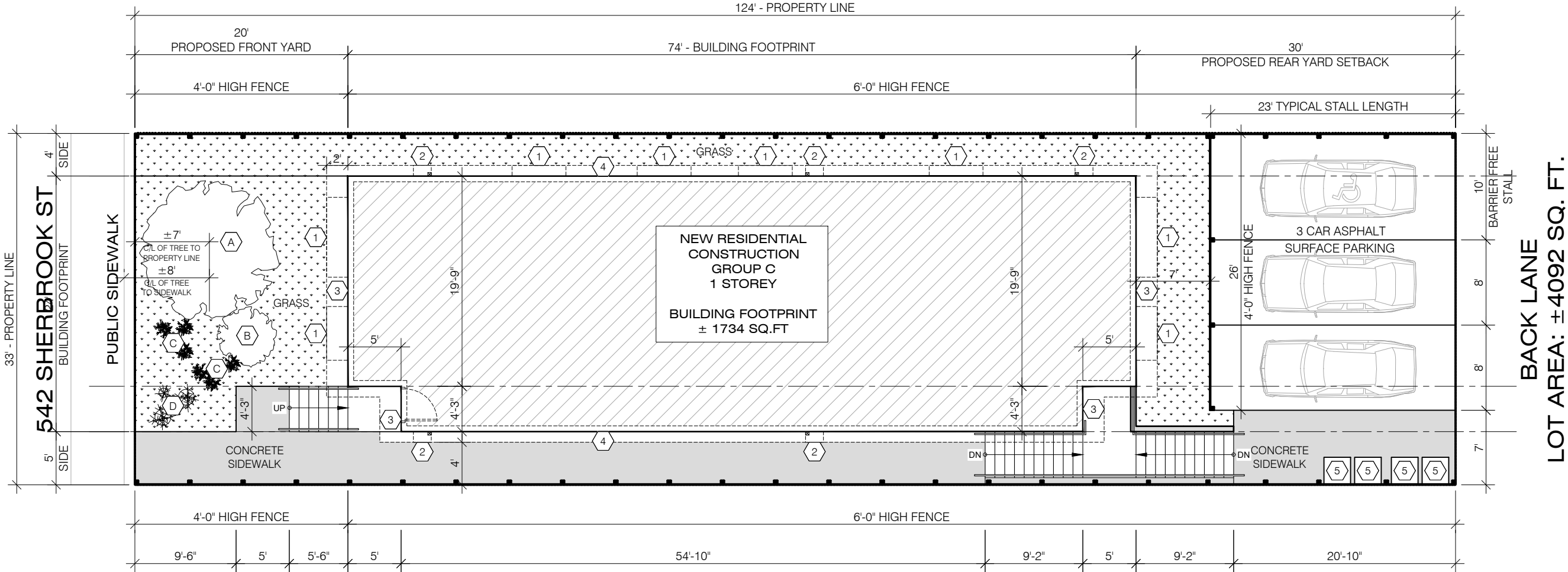
Strategic Opportunity 4: Facilitate Compact, Complete Development and Increase Density.

WINNIPEG POVERTY REDUCTION STRATEGY ALIGNMENT

Consideration was given to whether this report connects to any of the specific Goals and Objectives in the *PRS* and it was determined the *PRS* is not applicable to this specific report. Having said that, single room occupancy uses tend to have lower rents which can reduce the portion of a person's income spent on housing.

SUBMITTED BY

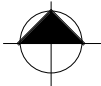
Department: Planning, Property and Development
Division: Urban Planning and Design
Prepared by: Isaiah Stonehouse
Date: Thursday, January 23, 2025
File No. DAV 24-270283\C



1
A0.1

SITE & PARKING PLAN

3/32" = 1'-0"



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ISSUED

ISSUED FOR PRELIMINARY ZONING
NOVEMBER 26, 2024

ADDRESS
542 SHERBROOK STREET
WINNIPEG, MB

PROJECT
NEW RESIDENTIAL BUILDING
1 STOREY

SHEET TITLE
SITE & PARKING PLAN

SCALE
AS NOTED

DESIGNER
AS

DRAWN BY
TL / KA

DATE
NOVEMBER 26, 2024

SHEET NUMBER

A0.1

ZONING SUMMARY

ZONED: CURRENTLY RESMC - MULTIFAMILY CONVERSION
RESIDENTIAL - 1 STOREY
LEGAL DESCRIPTION: LOT 12 PLAN 201 WLTO (W DIV)
EXC THE WLY 8 FEET
IN RL 72 PARISH OF ST JOHN

HOUSE LEVELS: 1 STOREY
LOT AREA: ± 380 SQ M (± 4092 SQ FT)
BUILDING FOOTPRINT AREA: ± 161 SQ M (± 1734 SQ FT)
BUILDING TOTAL FLOOR AREA: ± 322 SQ M (± 3468 SQ FT)

FRONT YARD (NORTH): 20'-0" FT PROVIDED
REAR YARD (SOUTH): 30'-0" FT PROVIDED
SIDE YARD (EAST): 4'-0" FT PROVIDED
SIDE YARD (WEST): 5'-0" FT PROVIDED

STREET EDGE AND BUILDING FOUNDATION LANDSCAPING
2 DECIDUOUS TREES PROVIDED
2 SHRUBS PROVIDED

SIDE AND REAR SITE EDGE BUFFERING
4' HIGH OPAQUE FENCE & 6' HIGH OPAQUE FENCE PROVIDED AS
BUFFER ON EAST AND WEST SIDE OF PROPERTY

PERCENT LOT COVERAGE CALCULATIONS:
(ENSURE PRINCIPAL BUILDING DOES NOT EXCEED 42% AND THAT
THERE IS A MINIMUM OF 20% SOFT LANDSCAPING)

PRINCIPAL BUILDING COVERAGE
- BUILDING FOOTPRINT AREA / LOT AREA:
- 1734 SQ.FT. / 4092 SQ.FT. = 42%

SOFT LANDSCAPE COVERAGE
- SOFT LANDSCAPING AREA / LOT AREA:
- 1000 SQ.FT. / 4092 SQ.FT. = 24%

PARKING STALLS - 3 PROVIDED

NOTES CONCERNING BUILDING LOCATION:

- THIS SITE PLAN IS BASED ON INFORMATION FROM THE SURVEYOR'S STAKING CERTIFICATE. 2 ARCHITECTURE IS TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UN-SHOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR DURING FUTURE USE.
- THE 'NORTH' ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
- ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED MANITOBA LAND SURVEYOR.
- THE CORNERS OF THE FOUNDATION FOOTPRINT ARE TO BE LOCATED ON SITE BEFORE CONSTRUCTION START BY A CERTIFIED MANITOBA LAND SURVEYOR.

LANDSCAPE PAVING AREA:
CONCRETE OR ASPHALT

ASPHALT SURFACE

GRASS

SITE DEVELOPMENT - GENERAL SITE & LANDSCAPING

ITEM	SYMBOL	REMARKS	ITEM	SYMBOL	REMARKS
MEDIUM SIZED DECIDUOUS TREE (LOCATED MIN. 6'-6" OF A PATH) PAPER BIRCH SPECIES: BETULA PAPYRIFERA SIZE AT PLANTING: ±8' - 10' TALL MATURE HEIGHT: ±60' LOWEST ACCEPTABLE BRANCH AT MATURITY: ±6' ACCEPTED CALIPER: ±2 1/2" REFER TO TREE NOTES			SHRUB #2 - SCHMIDT ALPINE CURRANT SPECIES: RIBES ALPINUM 'SCHMIDT' SIZE AT PLANTING: ±1'-0" X ±2'-0" 2 GALLONS AT TIME OF PLANTING MATURE HEIGHT SIZE: ±3'-0" MATURE SPREAD: ±3'-0"		
SMALL SIZED DECIDUOUS TREE (LOCATED MIN. 6'-6" OFF A PATH) SNOWBIRD HAWTHORN SPECIES: CRATAEGUS X MORDENENSIS SIZE AT PLANTING ± 6' - 8' TALL MATURE HEIGHT: ±20' LOWEST ACCEPTABLE BRANCH AT MATURITY: ±4' ACCEPTED CALIPER: ±2 1/2" REFER TO TREE NOTES			<u>TREE NOTES:</u> * TREES MUST BE PLANTED NOT LESS THAN 6.56 FT (2.0 M) FROM A PUBLIC SIDEWALK, A MINIMUM OF 3.28 FT (1.0 M) FROM A PROPERTY LINE, AND SHOULD BE LOCATED AT SUFFICIENT DISTANCE FROM THE DWELLING TO ALLOW FOR FULL CANOPY AND ROOT SYSTEM DEVELOPMENT. * NOTE ALL SHRUBS TO BE OF SPECIES THAT CAN REMAIN HEALTHY WHEN TRIMMED SO AS TO MAINTAIN A HEIGHT OF NOT MORE THAN 30 INCHES AT MATURITY * NOTE PLANTING SHOWN ON SITE PLAN IS DIAGRAMMATIC. FINAL PLANTING TO BE CONFIRMED WITH OWNER.		
SHRUB #1 - DANICA ARBORVITAE SPECIES: THUJA OCCIDENTALIS SIZE AT PLANTING: ± 1'-0" X ± 2'-0" 2 GALLONS AT TIME OF PLANTING MATURE HEIGHT SIZE: ±1'-8" MATURE SPREAD: ±1'-8"					

SITE PLAN KEYNOTES

- LANDSCAPE DRAINAGE AREA. (GRAVEL) PROVIDE DRAIN TO WEEPING TILE
- DOWNSPOUT / SCUPPER LOCATIONS W/ SPLASH PAD (DIAGRAMMATIC ONLY)
- 2'-0" ROOF OVERHANG (O.H.) ABOVE (DASHED)
- 1'-0" ROOF OVERHANG (O.H.) ABOVE (DASHED)
- GARBAGE / RECYCLING BINS

2 a r c h i t e c t u r e

DO NOT SCALE THE DRAWINGS. NO REPRODUCTION MAY BE MADE WITHOUT THE PERMISSION OF 2 ARCHITECTURE INC. THE GENERAL CONTRACTOR AND ALL SUB-TRADES SHALL CHECK AND VERIFY ALL DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS OF THE SITE AND SHALL BE HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ARCHITECT. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL APPROVED, SIGNED, AND SEALED IF REQUIRED.

ISSUED

ISSUED FOR PRELIMINARY ZONING
NOVEMBER 26, 2024

ADDRESS
542 SHERBROOK STREET
WINNIPEG, MB

PROJECT
NEW RESIDENTIAL BUILDING
1 STOREY

SHEET TITLE
BUILDING ELEVATIONS

SCALE
AS NOTED

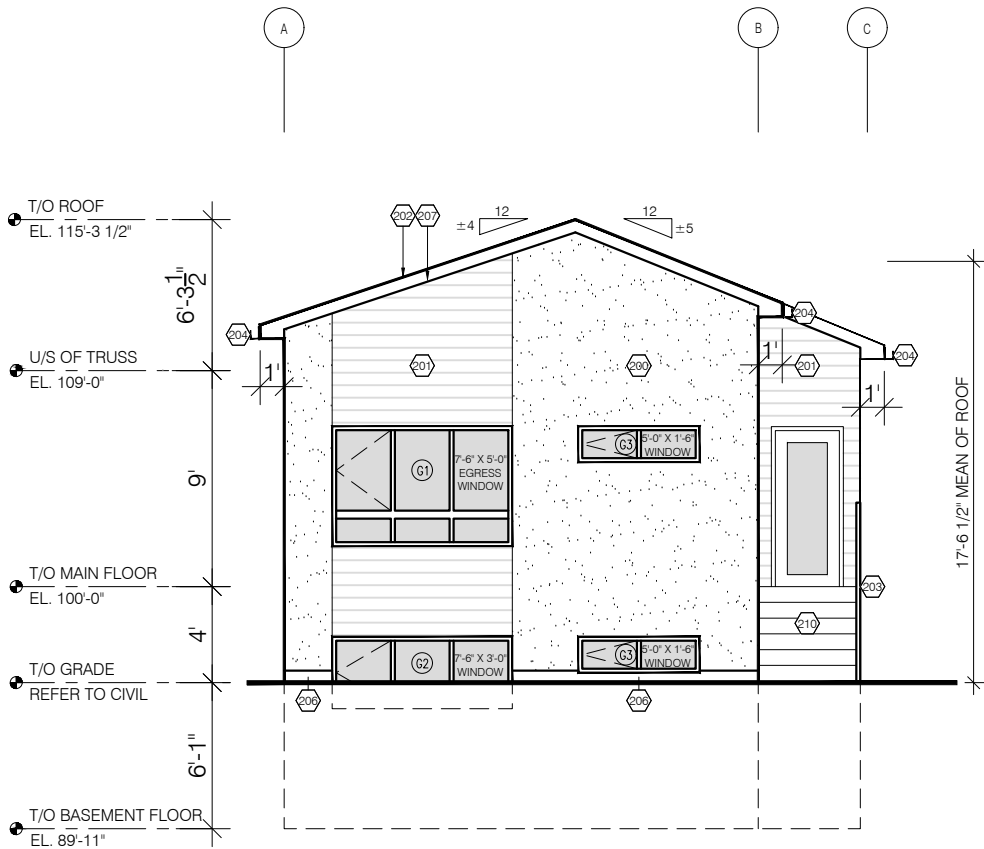
DESIGNER
AS

DRAWN BY
TL / KA

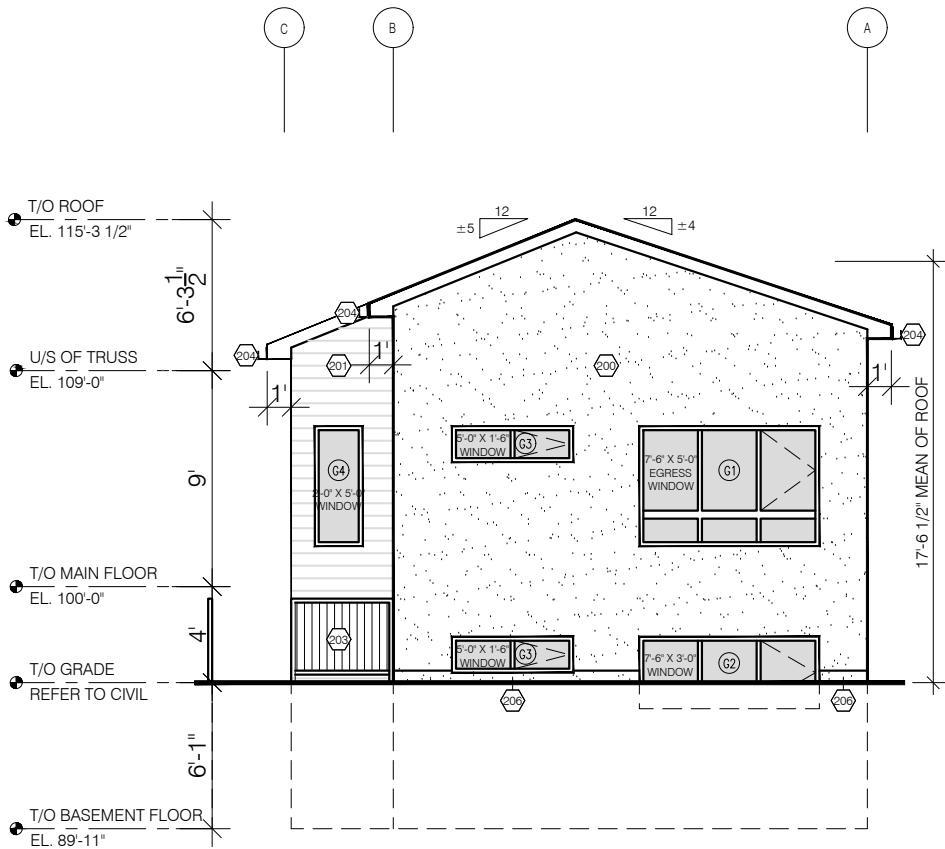
DATE
NOVEMBER 26, 2024

SHEET NUMBER
A2.0

2 a r c h i t e c t u r e



1 WEST ELEVATION (FRONT)
A2.0 1/8" = 1'-0"



2 EAST ELEVATION (BACK)
A2.0 1/8" = 1'-0"

ELEVATION KEYNOTES

- | | |
|---|---|
| 200 ACRYLIC STUCCO CLADDING - CHARCOAL (OWNER TO CONFIRM COLOUR) | 205 DOWNSPOUT / SCUPPER - SIZE TO BE DETERMINED - BLACK (OWNER TO CONFIRM COLOUR) |
| 201 PRE-SEALED WOOD FINISH OR FAUX WOOD CLADDING | 206 CEMENT PARGING OR PROTECTION BOARD |
| 202 ROOF - ASPHALT SHINGLES - BLACK (OWNER TO CONFIRM COLOUR) | 207 ALUMINUM FLASHING / PRE-FINISHED - BLACK (OWNER TO CONFIRM COLOUR) |
| 203 42" HIGH PRE-ENGINEERED GUARD RAIL - TO BE POWDER COATED BLACK ALUMINUM POST GUARD RAIL SYSTEM WITH WOOD PICKETS PAINTED BLACK - (OWNER TO CONFIRM) | 208 PRESSURE TREATED WOOD STEPS |
| 204 ALUMINUM GUTTER - BLACK (OWNER TO CONFIRM COLOUR) | 209 CONCRETE STEPS - REFER TO STRUCTURAL |
| | 210 LANDSCAPE DRAINAGE AREA. PROVIDE DRAIN TO WEEPING TILE |
| | 211 ROOF VENT G.C. TO COORDINATE ON SITE |

GENERAL NOTES REGARDING:

THE CITY OF WINNIPEG DESIGN GUIDELINES FOR "SMALL-SCALE AND LOW-RISE RESIDENTIAL DEVELOPMENT GUIDELINES FOR MATURE COMMUNITIES"

"THE DESIGN OF THE BUILDING SHALL INCLUDES AT LEAST TWO PROMINENT BUILDING FACADE MATERIALS. A PROMINENT BUILDING MATERIAL SHALL COVER AT MINIMUM 20% OF THE FRONT FACADE OF THE BUILDING"

"THE SURFACE AREA OF ANY FRONT FACADE FACING A PRIMARY STREET TO WHICH THE BUILDING IS ORIENTED SHALL PROVIDE A MINIMUM 20% AS WINDOW AREA..."

PERCENT COVERAGE (FRONT ELEVATION ONLY) FRONT ELEVATION AREA: 370.3 SQ.FT.

STUCCO CLADDING AREA: 188.2 SQ.FT.
188.2 SQ.FT. / 370.3 SQ.FT. = 51% (MIN. 25%)

PRE-SEALED WOOD FINISH CLADDING AREA: 98.6 SQ.FT.
98.6 SQ.FT. / 370.3 SQ.FT. = 26.6% (MIN. 25%)

TOTAL WINDOW AREA: 75 SQ.FT.
75 SQ.FT. / 370.3 SQ.FT. = 20.2% (MIN. 20%)

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ISSUED

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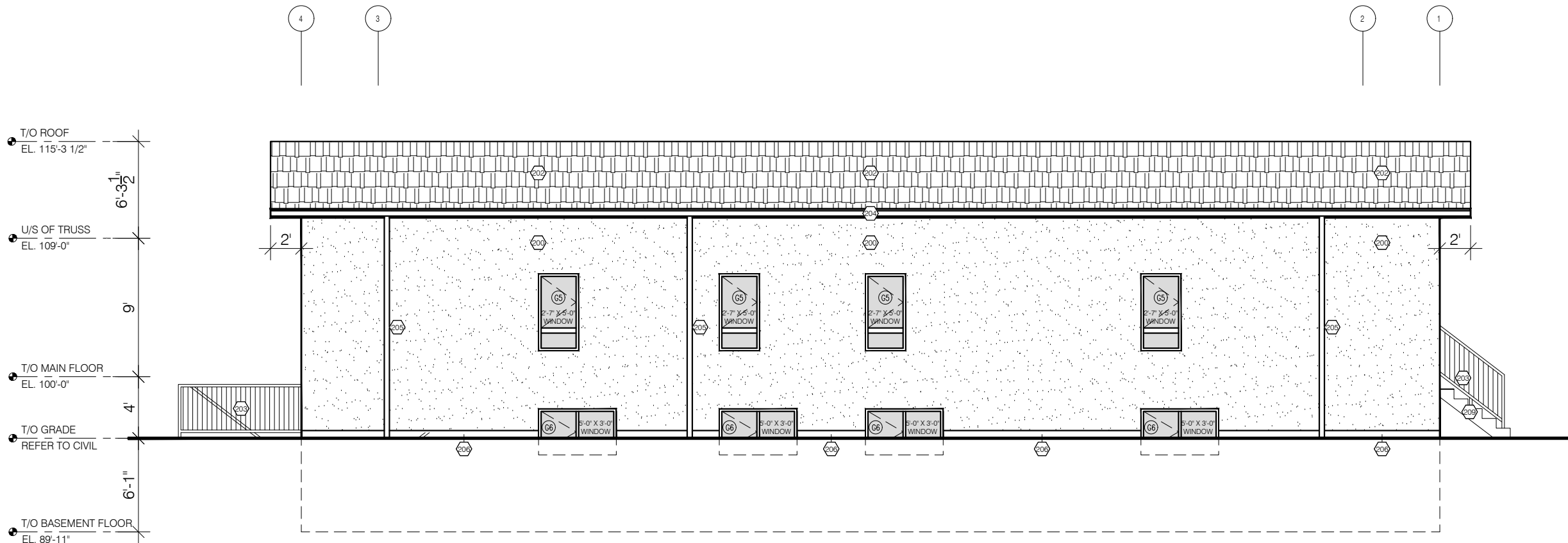
DESIGNER
AS

DRAWN BY
TL / KA

DATE
NOVEMBER 26, 2024

SHEET NUMBER

A2.1



1 NORTH ELEVATION (SIDE)
A2.1 1/8" = 1'-0"

ELEVATION KEYNOTES

- 200 ACRYLIC STUCCO CLADDING - CHARCOAL (OWNER TO CONFIRM COLOUR)
- 201 PRE-SEALED WOOD FINISH OR FAUX WOOD CLADDING
- 202 ROOF - ASPHALT SHINGLES - BLACK (OWNER TO CONFIRM COLOUR)
- 203 42" HIGH PRE-ENGINEERED GUARD RAIL - TO BE POWDER COATED BLACK ALUMINUM POST GUARD RAIL SYSTEM WITH WOOD PICKETS PAINTED BLACK - (OWNER TO CONFIRM)
- 204 ALUMINUM GUTTER - BLACK (OWNER TO CONFIRM COLOUR)

- 205 DOWNSPOUT / SCUPPER - SIZE TO BE DETERMINED - BLACK (OWNER TO CONFIRM COLOUR)
- 206 CEMENT PARGING OR PROTECTION BOARD
- 207 ALUMINUM FLASHING / PRE-FINISHED - BLACK (OWNER TO CONFIRM COLOUR)
- 208 PRESSURE TREATED WOOD STEPS
- 209 CONCRETE STEPS - REFER TO STRUCTURAL
- 210 LANDSCAPE DRAINAGE AREA. PROVIDE DRAIN TO WEEPING TILE
- 211 ROOF VENT G.C. TO COORDINATE ON SITE

GENERAL NOTES REGARDING:

THE CITY OF WINNIPEG DESIGN GUIDELINES FOR "SMALL-SCALE AND LOW-RISE RESIDENTIAL DEVELOPMENT GUIDELINES FOR MATURE COMMUNITIES"

"THE DESIGN OF THE BUILDING SHALL INCLUDES AT LEAST TWO PROMINENT BUILDING FACADE MATERIALS. A PROMINENT BUILDING MATERIAL SHALL COVER AT MINIMUM 20% OF THE FRONT FACADE OF THE BUILDING"

"THE SURFACE AREA OF ANY FRONT FACADE FACING A PRIMARY STREET TO WHICH THE BUILDING IS ORIENTED SHALL PROVIDE A MINIMUM 20% AS WINDOW AREA..."

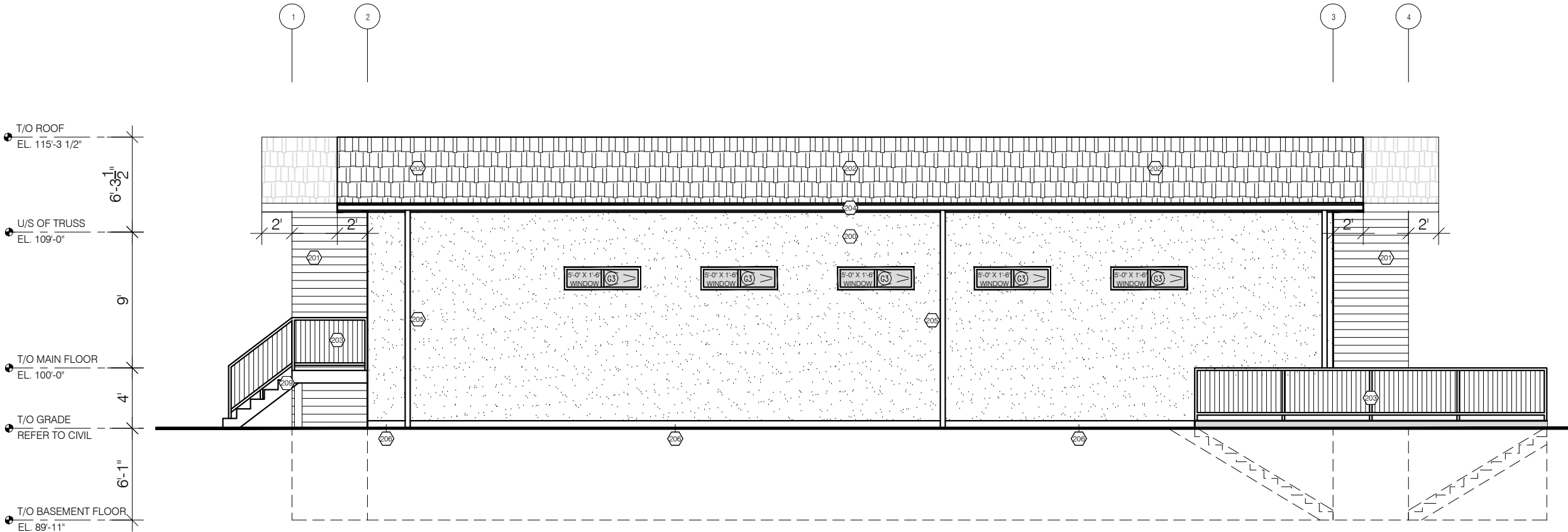
PERCENT COVERAGE (FRONT ELEVATION ONLY)

FRONT ELEVATION AREA: 370.3 SQ.FT.

STUCCO CLADDING AREA: 188.2 SQ.FT.
188.2 SQ.FT. / 370.3 SQ.FT. = 51% (MIN. 25%)

PRE-SEALED WOOD FINISH CLADDING AREA: 98.6 SQ.FT.
98.6 SQ.FT. / 370.3 SQ.FT. = 26.6% (MIN. 25%)

TOTAL WINDOW AREA: 75 SQ.FT.
75 SQ.FT. / 370.3 SQ.FT. = 20.2% (MIN. 20%)



1 NORTH ELEVATION (SIDE)
A2.2 1/8" = 1'-0"

ELEVATION KEYNOTES

- 200 ACRYLIC STUCCO CLADDING - CHARCOAL (OWNER TO CONFIRM COLOUR)
- 201 PRE-SEALED WOOD FINISH OR FAUX WOOD CLADDING
- 202 ROOF - ASPHALT SHINGLES - BLACK (OWNER TO CONFIRM COLOUR)
- 203 42" HIGH PRE-ENGINEERED GUARD RAIL - TO BE POWDER COATED BLACK ALUMINUM POST GUARD RAIL SYSTEM WITH WOOD PICKETS PAINTED BLACK - (OWNER TO CONFIRM)
- 204 ALUMINUM GUTTER - BLACK (OWNER TO CONFIRM COLOUR)

- 205 DOWNSPOUT / SCUPPER - SIZE TO BE DETERMINED - BLACK (OWNER TO CONFIRM COLOUR)
- 206 CEMENT PARGING OR PROTECTION BOARD
- 207 ALUMINUM FLASHING / PRE-FINISHED - BLACK (OWNER TO CONFIRM COLOUR)
- 208 PRESSURE TREATED WOOD STEPS
- 209 CONCRETE STEPS - REFER TO STRUCTURAL
- 210 LANDSCAPE DRAINAGE AREA. PROVIDE DRAIN TO WEEPING TILE
- 211 ROOF VENT G.C. TO COORDINATE ON SITE

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DO NOT SCALE THE DRAWINGS. NO REPRODUCTION MAY BE MADE WITHOUT THE PERMISSION OF 2 ARCHITECTURE INC. THE GENERAL CONTRACTOR AND ALL SUB-TRADES SHALL CHECK AND VERIFY ALL DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS OF THE SITE AND SHALL BE HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ARCHITECT. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL APPROVED, SIGNED, AND SEALED IF REQUIRED.

ISSUED

ISSUED FOR PRELIMINARY ZONING
NOVEMBER 26, 2024

ADDRESS
542 SHERBROOK STREET
WINNIPEG, MB

PROJECT
NEW RESIDENTIAL BUILDING
1 STOREY

SHEET TITLE
BUILDING ELEVATION

SCALE
AS NOTED

DESIGNER
AS

DRAWN BY
TL / KA

DATE
NOVEMBER 26, 2024

SHEET NUMBER
A2.2

2 architecture