



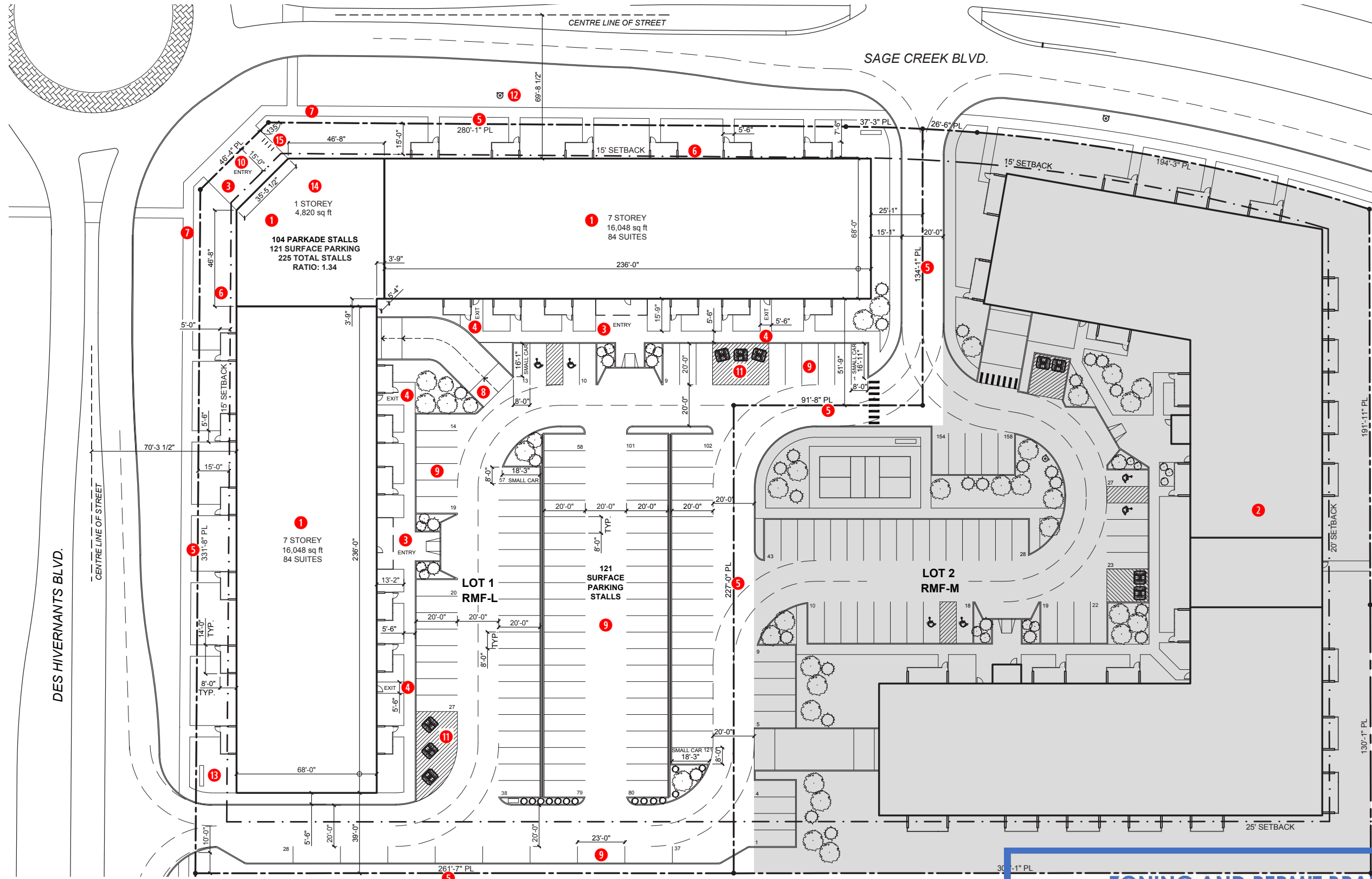
**SAGE CREEK
CONDOMINIUMS**

**PLAN APPROVAL
SUBMISSION CONTENT**

1. Site Plan & Zoning Analysis
2. Landscape Plan
3. Parkade Plan
4. Main Floor Plan
5. 2nd Floor Plan
6. 3rd to 7th Floor Plans
7. Exterior Elevations
8. Colored Elevations
9. Street Level Visualization
10. Sun Shadow Study

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SITE DEVELOPMENT PLAN
SCALE : 1"=50'

SAGE CREEK CONDOMINIUMS
SITE PLAN
PLAN APPROVAL PACKAGE
 APRIL 29 , 2026
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Site Plan Keynotes

- | | | |
|--------------------------------------|---------------------|-----------------------------|
| 1 Proposed Multi-family Condominium | 5 Property Line | 9 Surface Parking |
| 2 Future Development | 6 15' Setback | 10 Exterior Bicycle Storage |
| 3 Primary Entrance | 7 Existing Sidewalk | 11 Earth Bins |
| 4 Secondary Entrance / Building Exit | 8 Ramp to Parkade | 12 Existing Fire Hydrant |

Property Details

Address: ? Sage Creek Boulevard
Zoning: RMF-L-Residential Multi-Family (Large)
Assessed Subdivided Land Area: 106,297 sq. ft.

Proposed Development

Proposal:
 168 unit multi-family condominium development
Building Size & Construction:
 MBC 3.2.2.47. Group C, Any Height, Any Area, Sprinklered
Building Area: 36,916 sq. ft. (3,429 sq. m.)
Proposed Principal Uses: Dwelling, multi-family residential (Permitted)

Winnipeg Zoning By-Law 200/2006
 Part 5 Development & Design Standards

Dimensional Standards: RMF-L

Minimum Lot Area
 20,000 sq.ft. (106,297 sq.ft. total provided)
Min. Lot Area / Dwelling Unit:
 400 sq.ft. (633 sq.ft. provided - 168 units total)
Min / Max Front Yard (Sage Creek Blvd.):
 25 ft. / NA (15 ft. provided - variance proposed)

Minimum Rear Yard:
 25 ft. (38.5 ft. provided)
Minimum Interior Side Yard:
 20 ft. (30 ft. provided)
Min / Max Corner Side Yard (Des Hivernants Blvd.):
 20 ft. / NA (15 ft. provided - variance proposed)

Principal Building Separation: NA
Min / Max Building Height:
 NA / 150 ft. (+/- 67.5 ft. to be confirmed)
Permitted Balcony Projections: 5 ft. maximum
 (7'-6" provided north yard - variance proposed)

Parking and Loading
Parking Category: 3
 1.5 stalls per dwelling unit: 168 x 1.5 = 252 stalls
 (225 provided, ratio = 1.34 - variance proposed)
Guest Parking:
 10% of required stalls = 26 stalls required
 (10% of units = 17 provided - variance proposed)
Accessible Parking:
 7 Accessible stall
 2 van accessible stalls required & provided

Bicycle Parking:
 1 lockable space per 10 required parking stalls =
 252/10=26 spaces required and provided
Landscaping: Refer to landscape plan

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN

CONNECTION WITH: DAV:26-114730/D

SHEET # 1 OF 6

DATE: May 11, 2026





LEGEND:

- SOD
- ROCK MULCH PLANTING BED
- ROCK GARDEN
- DECORATIVE BOULDERS
- PROPERTY LINE
- 15' SETBACK LINE
- EXISTING TREE

PLANTING SCHEDULE

KEY	QTY.	COMMON NAME / SCIENTIFIC NAME	LOCATION
DECIDUOUS TREES			
T_Ac	7	Amur Cherry / Prunus Maackii	Des Hivernants Blvd, Sage Creek Blvd
T_Ae	5	American Elm	Parking
T_Gc	1	Guardian Columnar Aspen / Populus 'Jefguard'	South of building
T_Hw	13	Hot Wings Tatarian Maple/ Acer Tataricum 'Garanin'	Des Hivernants Blvd, Sage Creek Blvd, Parking
T_Ma	2	Ming Cherry / Prunus Maackii 'Ming'	Des Hivernants Blvd, Sage Creek Blvd (Main Entrance)
T_Pb	2	Paper Birch	Des Hivernants Blvd, Parking
T_Sn	2	Spring Snow Flowering Crabapple/ Malus 'Spring Snow'	Parking
CONIFEROUS TREES			
T_Bh	1	Black Hills Spruce / Picea Glauca	Sage Creek Blvd
DECIDUOUS SHRUBS			
S_Bm	34	Blue Muffin Arrowwood/ Viburnum dentatum 'Christom'	Des Hivernants Blvd, Sage Creek Blvd, Parking
S_Gp	79	Goldfinger Potentilla/ Potentilla fruticosa 'Goldfinger'	Des Hivernants Blvd, Sage Creek Blvd, Parking
S_Gs	59	Goldmound Spirea/ Spirea japonica 'Goldmound'	Parking
S_Hc	40	Hedge Cotoneaster/ Cotoneaster lucidus	Des Hivernants Blvd, Sage Creek Blvd, Parking
S_Lc	8	Little Lady Lilac/ Syringa x 'Jeflady'	Des Hivernants Blvd, Sage Creek Blvd (Main Entrance)
S_Tw	23	Tiny Wine Ninebark/ Physocarpus opulifolius 'SMPOTW'	Des Hivernants Blvd, Sage Creek Blvd, Parking

GENERAL NOTES:

- 168 UNITS MULTI FAMILY CONDOMINIUM DEVELOPMENT
- CITY OF WINNIPEG LANDSCAPE REQUIREMENTS:
TOTAL AREA:
• 106,297 SQ FT (2.44 ACRE)
- STREET EDGE LANDSCAPING (DES HIVERNANTS BLVD.):
• 332 FT. STREET FRONTAGE
• TREES REQUIRED: 11 ; PROVIDED: 11
• SHRUBS REQUIRED: 51; PROVIDED: 52
- STREET EDGE LANDSCAPING (SAGE CREEK BLVD.):
• 363-8' STREET FRONTAGE
• TREES REQUIRED: 12; PROVIDED: 12
• SHRUBS REQUIRED: 56; PROVIDED: 56
- PARKING LANDSCAPING:
• TREES REQUIRED: 10; PROVIDED: 10
• SHRUBS REQUIRED: 28; PROVIDED: 28
- BUILDING FOUNDATION LANDSCAPING
• 60' ALONG FACADE FACING PUBLIC RIGHT OF WAY
SHRUBS REQUIRED: 60; PROVIDED: 60
- 472 ALONG FACADE CONTAINING THE MAIN ENTRANCE
SHRUBS REQUIRED: 47; PROVIDED: 47
- TOTAL TREES REQUIRED FOR THIS DEVELOPMENT: 33
TREES (33 TREES PROVIDED)
TOTAL SHRUBS REQUIRED FOR THIS DEVELOPMENT: 240
SHRUBS (243 PROVIDED)
- WHERE STANDARDS FOR LANDSCAPING OF TWO AREAS OVERLAP, OR ARE INCONSISTENT, THE STANDARD REQUIRING MORE LANDSCAPING GOVERNS. C.O.W. BYLAW 200.2006 190(1)
- DRAWING NOTES:
MINIMUM PLANT SIZES:
DECIDUOUS TREES: 1-1/2" DBH @ 4.5 FT. CALIPER, 5 FEET OF WALKWAY, PATH, OR PATHWAY: 2-1/2" INCH CALIPER, AND
- OF SPECIES THAT NORMALLY HAVE LOWER BRANCHES AT LEAST 6 FEET ABOVE GRADE AT MATURITY.
- DECIDUOUS TREES NOT LOCATED WITHIN 5 FEET OF WALKWAY, PATH OR PATHWAY: 1-3/4 INCH CALIPER.
- CONIFEROUS TREES: 6 FEET HIGH AT THE TIME OF PLANTING.
- ALL SHRUBS: 2 GALLON CONTAINER, AND OF SPECIES THAT CAN REMAIN HEALTHY WHEN TRIMMED SO GROUND COVER, ANNUALS, AND PERENNIALS: NO MINIMUM SIZE.
- PLANTING BEDS:
• MINIMUM SOIL DEPTH TO BE 450mm. PLANTING BEDS WITH TREES MINIMUM DEPTH TO BE 900 mm.
- BLACK PLASTIC EDGER ALONG ALL SODDED EDGES.
- 100mm DEPTH STONE BED ON FILTER FABRIC.
- PLANT SELECTIONS TO BE CONFIRMED BY CONTRACTOR TO MEET ALL CITY OF WINNIPEG REQUIREMENTS.
- CONTRACTOR TO SUPPLY AND INSTALL SOD IN ALL AREAS INDICATED ON PLANTING PLAN TO CITY OF WINNIPEG SPECIFICATIONS ALONG BOULEVARD.
- SOD MAINTENANCE:
• SUBSEQUENT TO INSTALLATION, AN INSPECTION SHALL BE MADE BY THE ADMINISTRATOR WHO WILL VERIFY SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL MAINTAIN THE SOD FOR 30 DAYS.
- THE CONTRACTOR SHALL MOW THE TURF AREA AT REGULAR INTERVALS TO A HEIGHT OF 50-60mm. NOT MORE THAN 30% OF THE GRASS HEIGHT TO BE CUT AT ANY ONE MOWING.
- THE CONTRACTOR SHALL WATER SODDED AREAS IN SUFFICIENT QUANTITIES AND FREQUENCY TO MAINTAIN SOIL CONTINUOUSLY MOIST TO MIN DEPTH OF 100mm.

PROJECT TITLE: SAGE COLLECTIVE --- SAGE CREEK BLVD.
SHEET TITLE: LANDSCAPE PLAN

ZONING AND PERMIT BRANCH

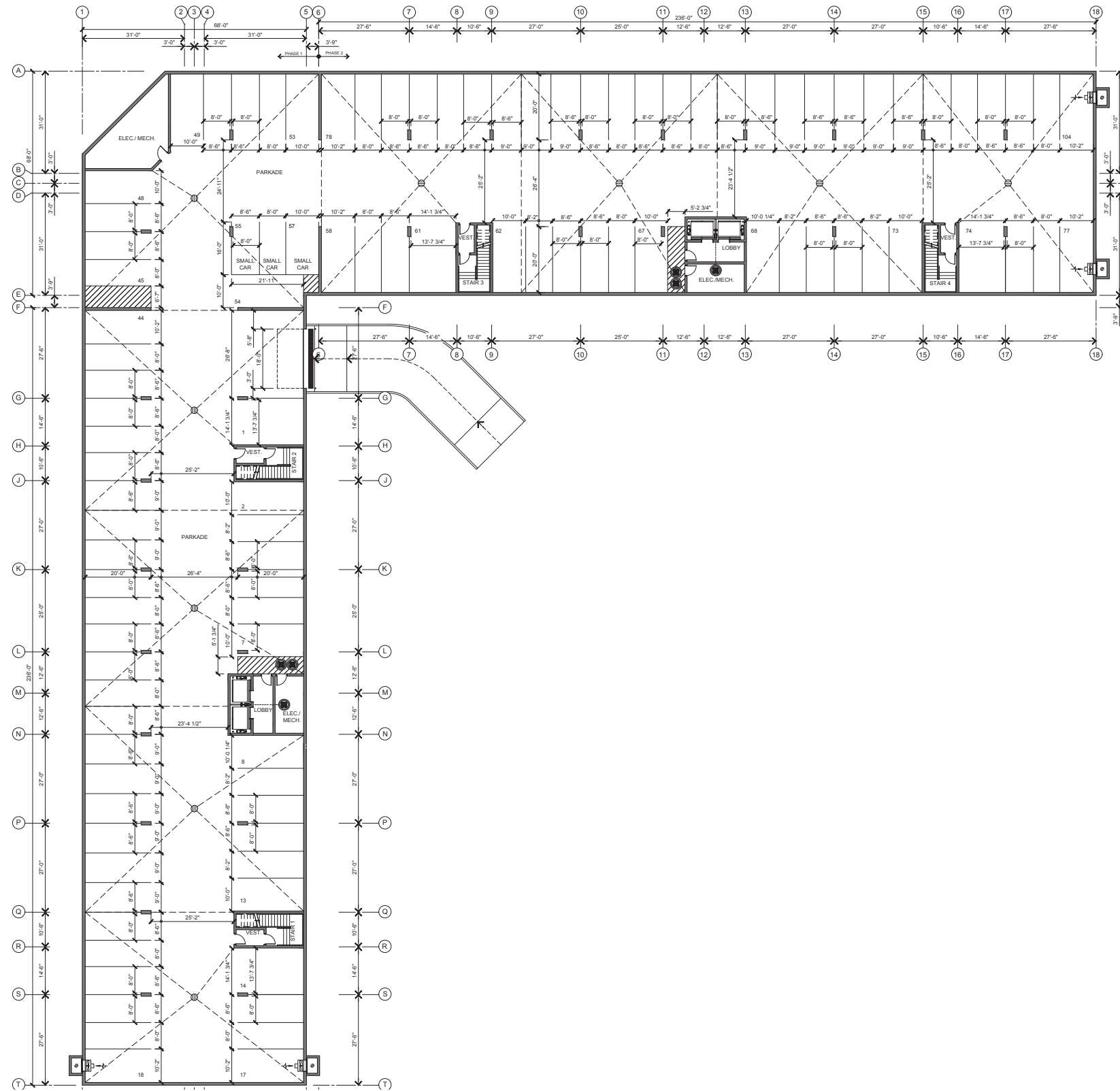
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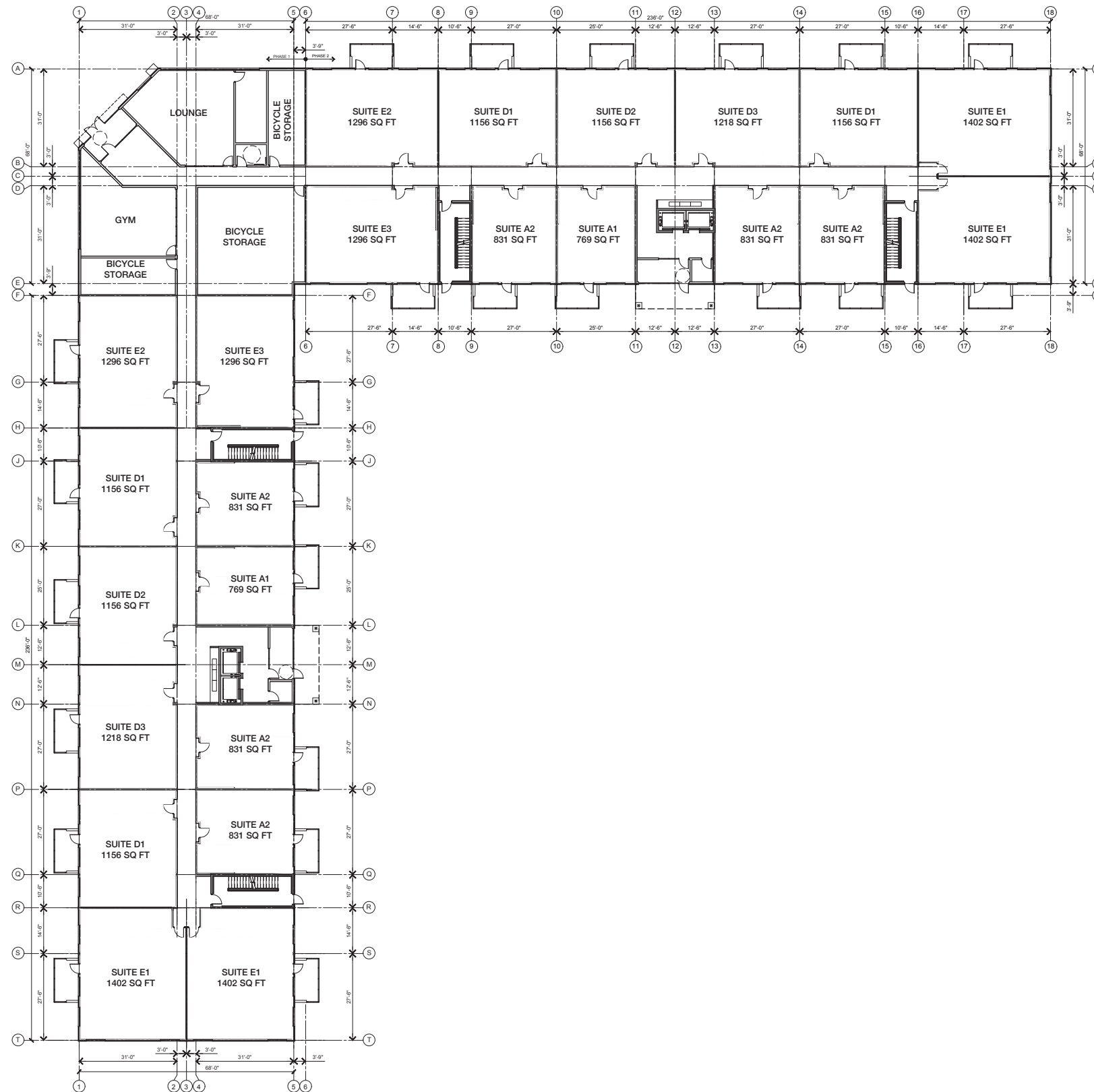
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SHEET # 2 OF 6

DATE: May 11, 2026

01 FOR REVIEW	02 FOR REVIEW	03 FOR REVIEW	04 FOR REVIEW	05 FOR REVIEW	06 FOR REVIEW	07 FOR REVIEW	08 FOR REVIEW	09 FOR REVIEW	10 FOR REVIEW
11 FOR REVIEW	12 FOR REVIEW	13 FOR REVIEW	14 FOR REVIEW	15 FOR REVIEW	16 FOR REVIEW	17 FOR REVIEW	18 FOR REVIEW	19 FOR REVIEW	20 FOR REVIEW





MAIN FLOOR PLAN
SCALE : 1" = 40'



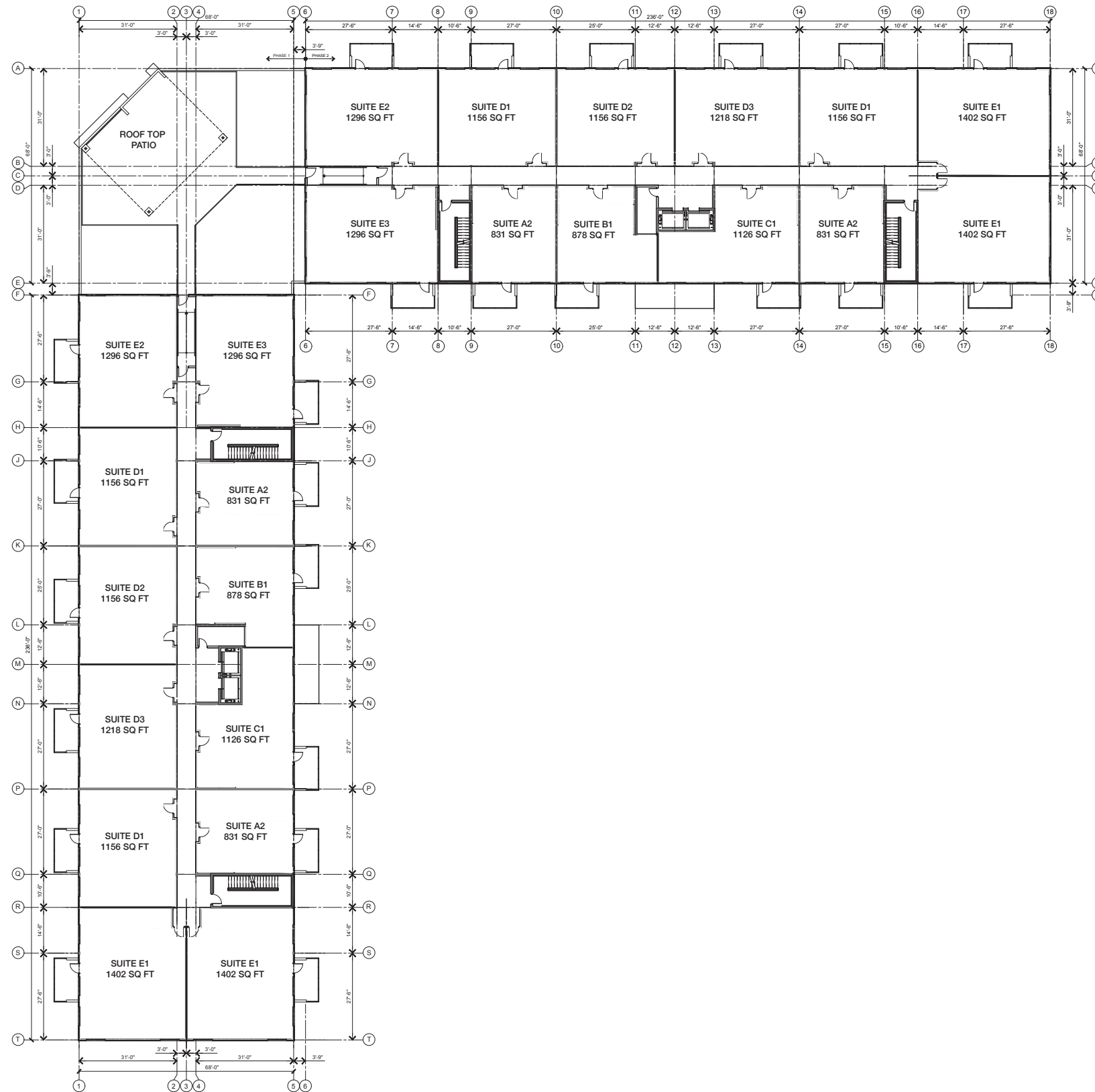
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MAIN FLOOR PLAN

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SECOND FLOOR PLAN
SCALE : 1" = 40'



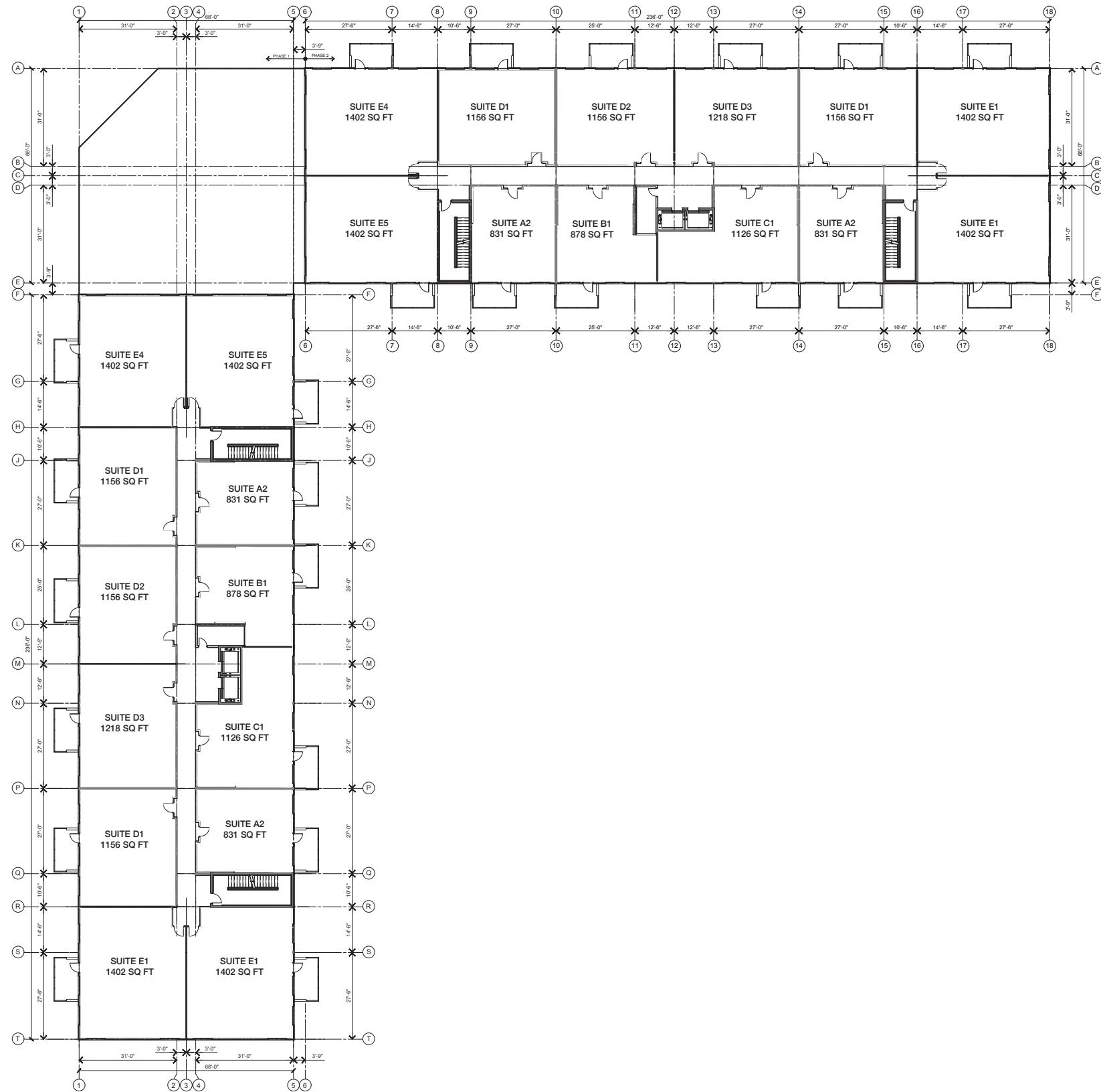
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SECOND FLOOR PLAN

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3RD TO 7TH FLOOR PLAN
 SCALE : 1" = 40'



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3RD TO 7TH FLOOR PLAN

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NORTH ELEVATION SCALE: 3/16" = 1'-0"



WEST ELEVATION SCALE: 3/16" = 1'-0"

SAGE CREEK CONDOMINIUMS
EXTERIOR ELEVATIONS
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 SHEET # 3 OF 6
 DATE: May 11, 2026





EAST ELEVATION SCALE: 3/16" = 1'-0"



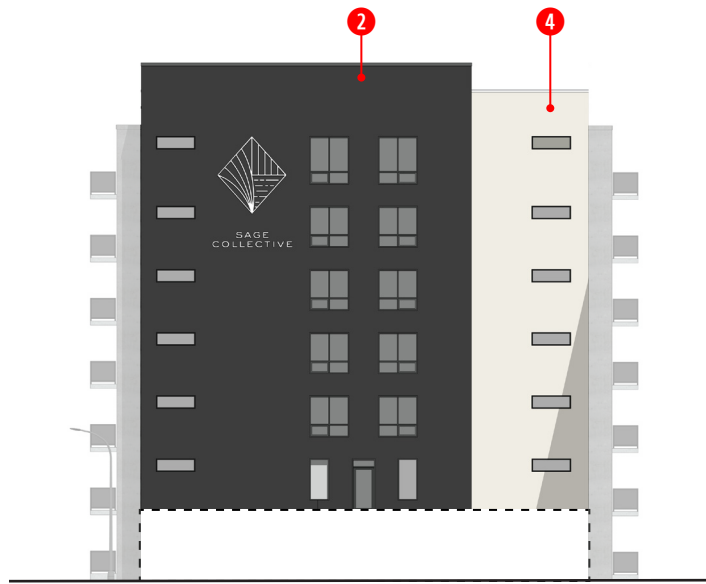
SOUTH ELEVATION SCALE: 3/16" = 1'-0"

SAGE CREEK CONDOMINIUMS
EXTERIOR ELEVATIONS
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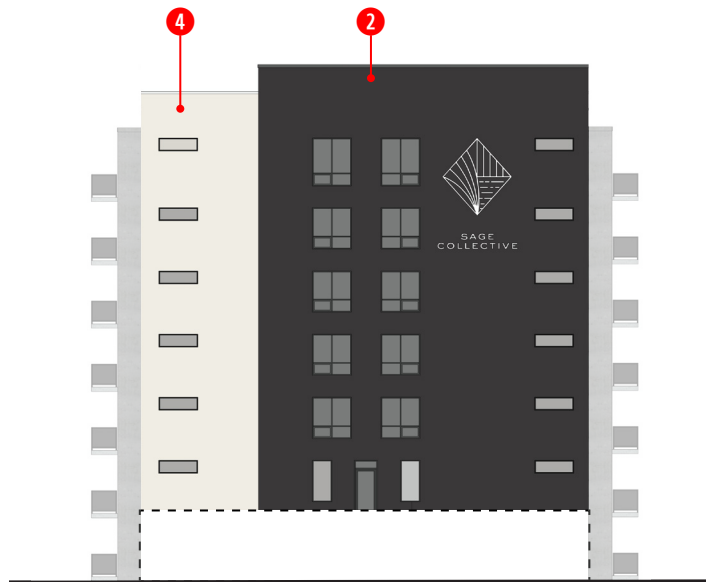




WEST ELEVATION 1



WEST ELEVATION 2



NORTH ELEVATION 1



NORTH ELEVATION 2

PROPOSED MATERIALS:

- 1 Metal Panel Cladding - Sandstone
- 2 Metal Panel Cladding - Charcoal
- 3 Metal Panel Cladding - Pewter
- 4 Metal Panel Cladding - Bone White
- 5 Aluminum Panel Cladding - Deep Black
- 6 Modular Face Brick - Black
- 7 Limestone Cladding
- 8 Spandrel Panel

SAGE CREEK CONDOMINIUMS

COLORED ELEVATIONS

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SHEET # 5 OF 6

DATE: May 11, 2026

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EAST ELEVATION



SOUTH ELEVATION

PROPOSED MATERIALS:

- 1 Metal Panel Cladding - Sandstone
- 2 Metal Panel Cladding - Charcoal
- 3 Metal Panel Cladding - Pewter
- 4 Metal Panel Cladding - Bone White
- 5 Aluminum Panel Cladding - Deep Black

SAGE CREEK CONDOMINIUMS

COLORED ELEVATIONS

PLAN APPROVAL PACKAGE

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ZONING AND PERMIT BRANCH

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SHEET # 6 OF 6

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SAGE CREEK CONDOMINIUMS

STREET LEVEL VISUALIZATION - NORTHWEST CORNER

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SAGE CREEK CONDOMINIUMS

STREET LEVEL VISUALIZATION - AT SAGE CREEK BLVD.

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SAGE CREEK CONDOMINIUMS

STREET LEVEL VISUALIZATION - NORTHEAST CORNER

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SAGE CREEK CONDOMINIUMS

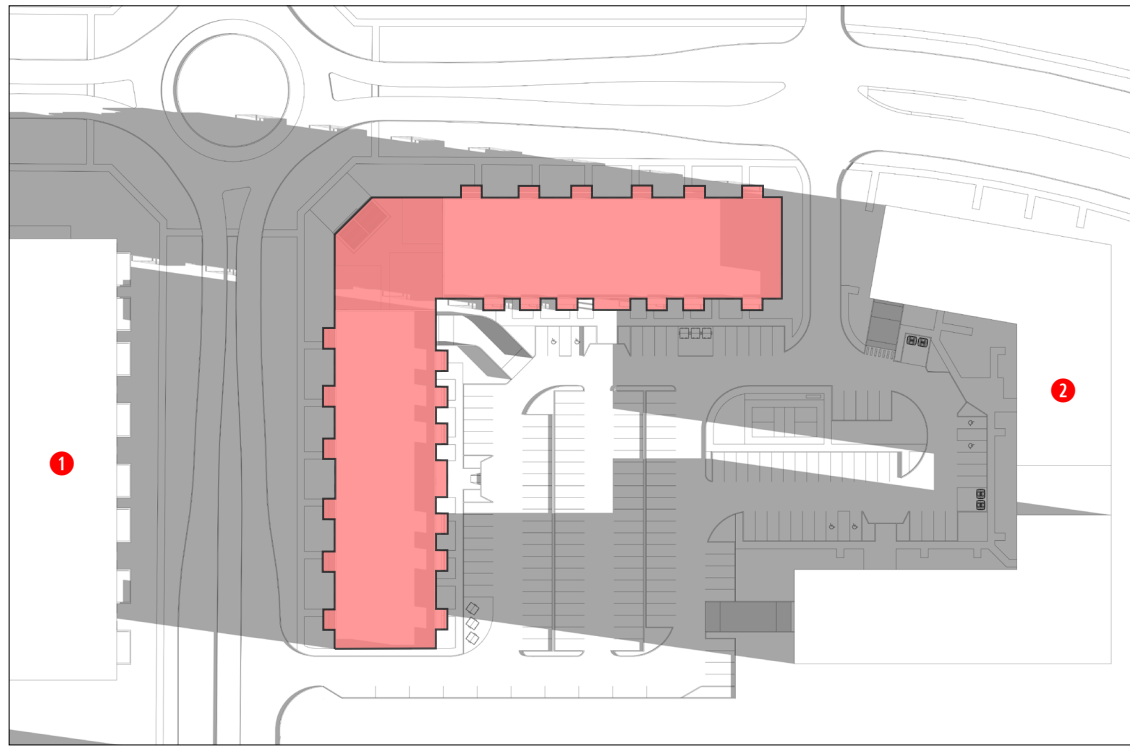
STREET LEVEL VISUALIZATION - SOUTH OF PROPERTY

PLAN APPROVAL PACKAGE

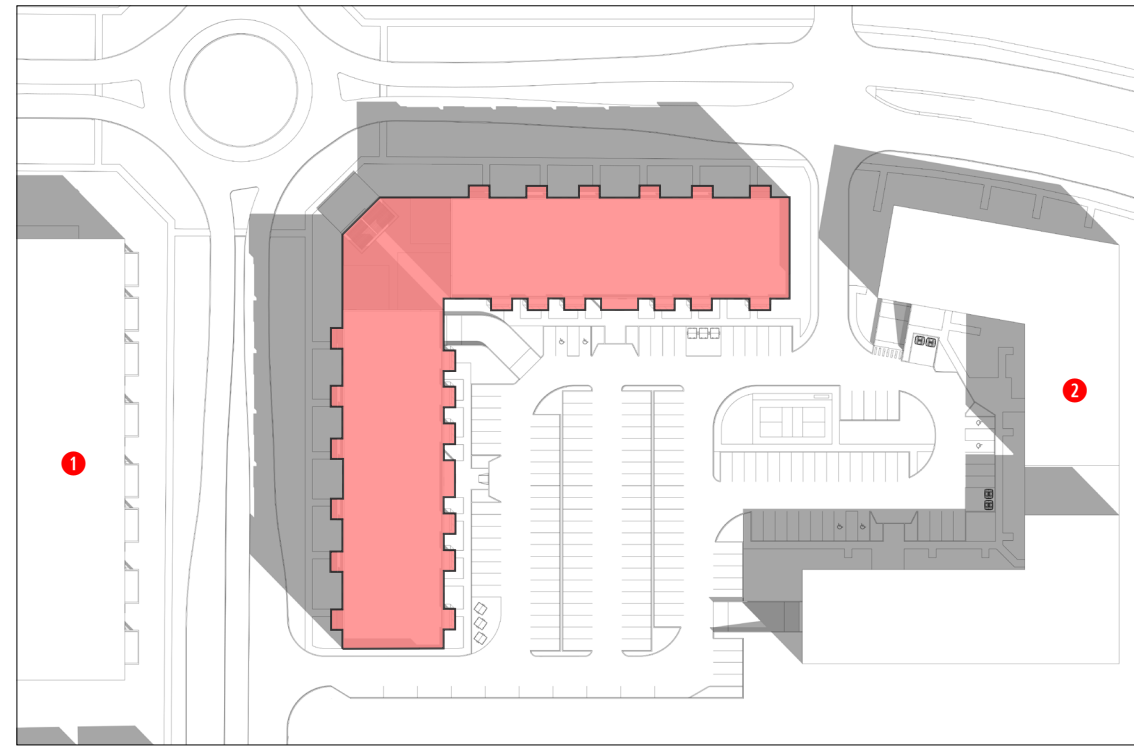
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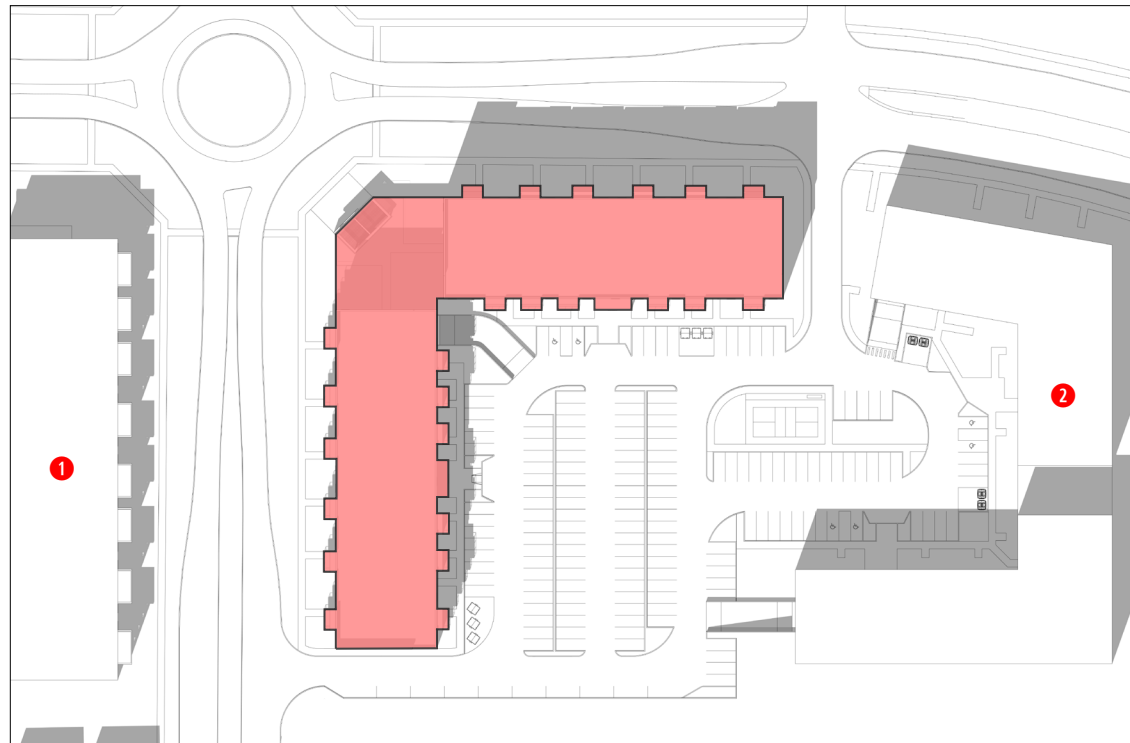
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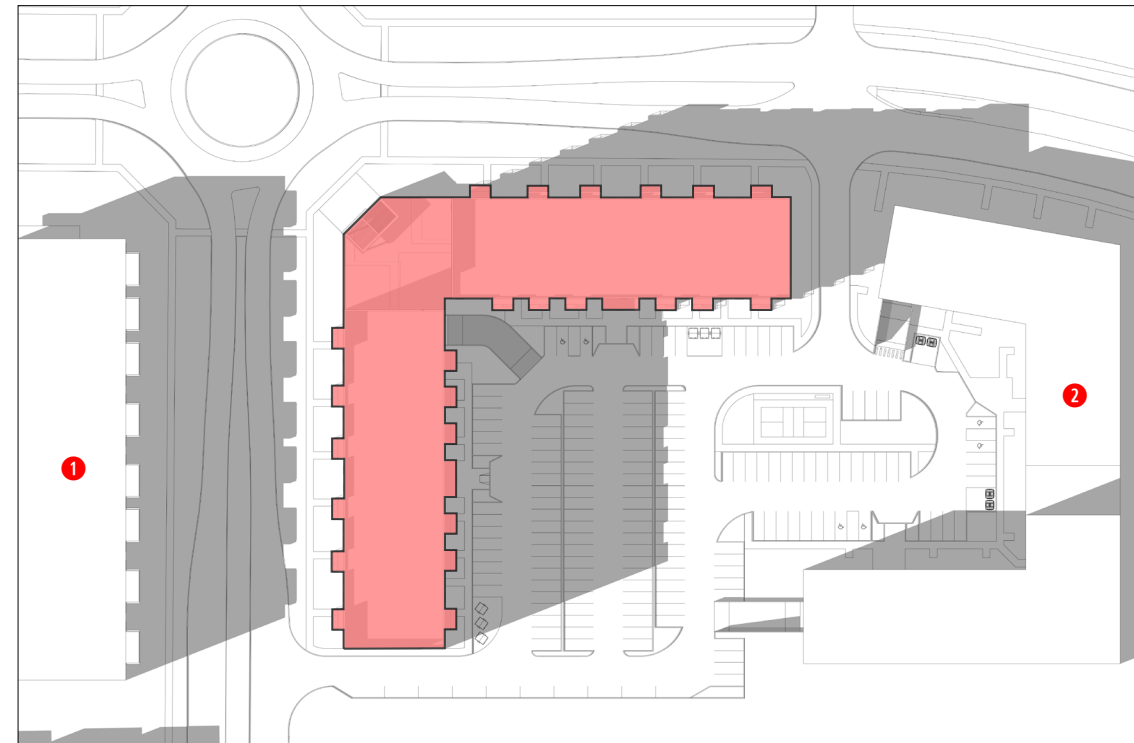
MAR 21 9AM



MAR 21 12PM



MAR 21 3PM



MAR 21 6PM

- 1 Existing Building
- 2 Future Development

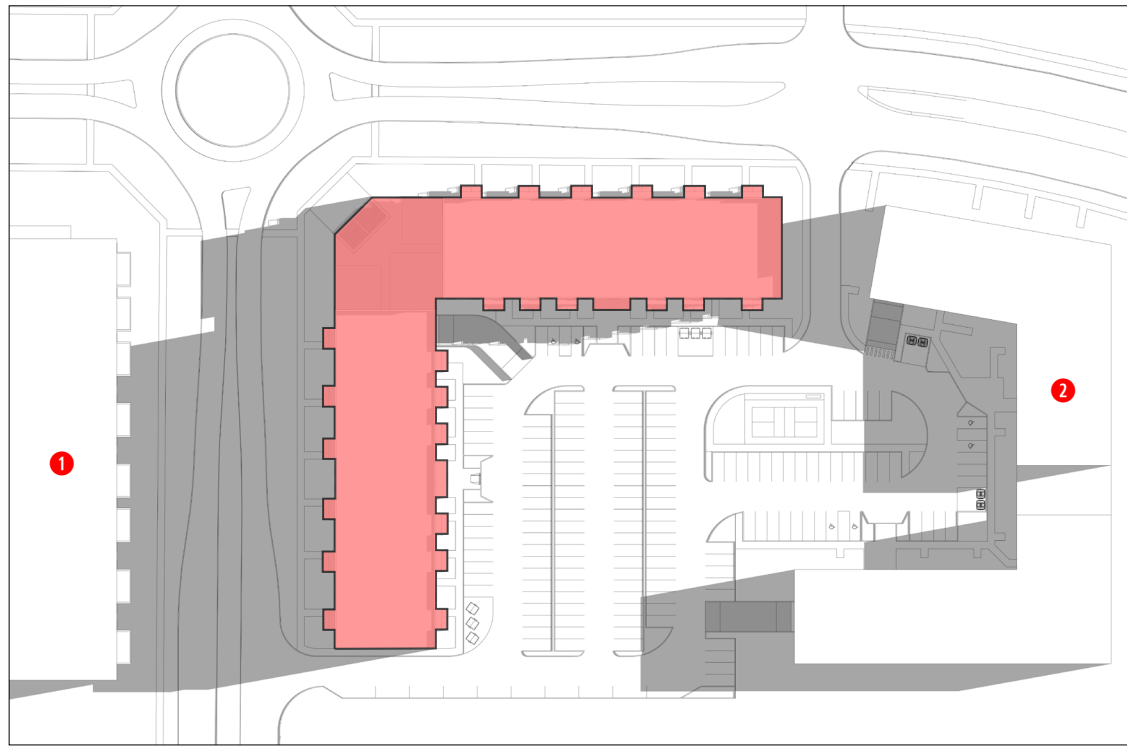
SAGE CREEK CONDOMINIUMS

SUN SHADOW STUDY

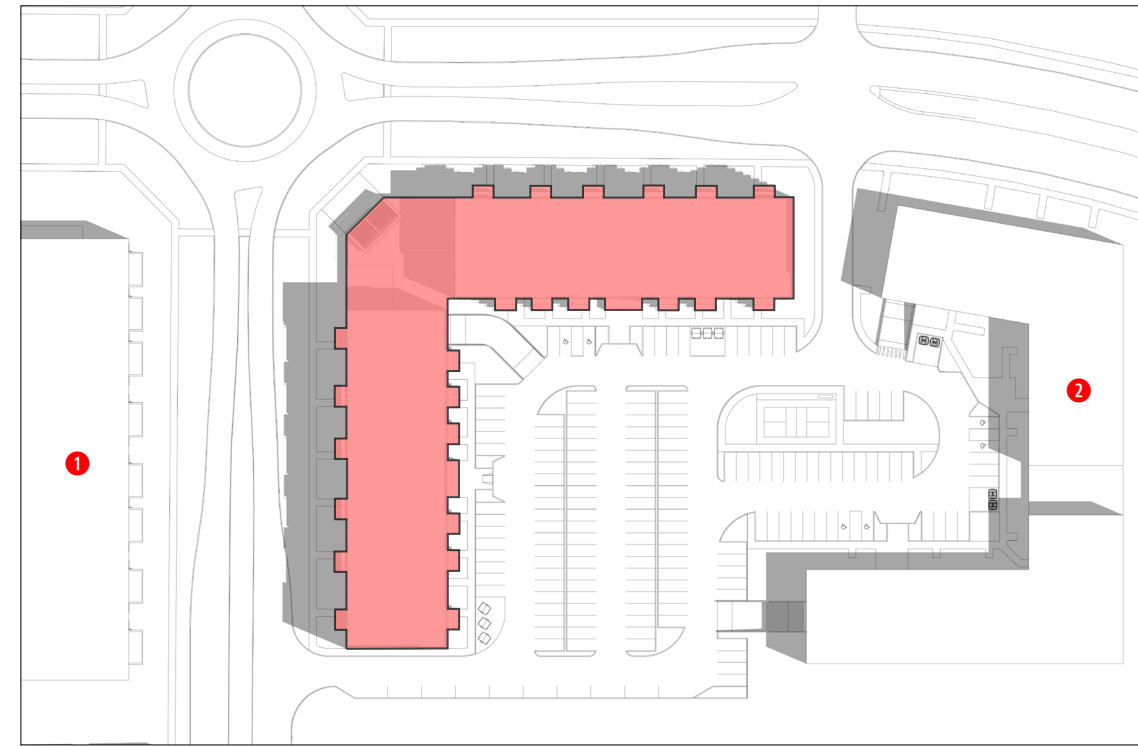
PLAN APPROVAL PACKAGE

APRIL 29 , 2026

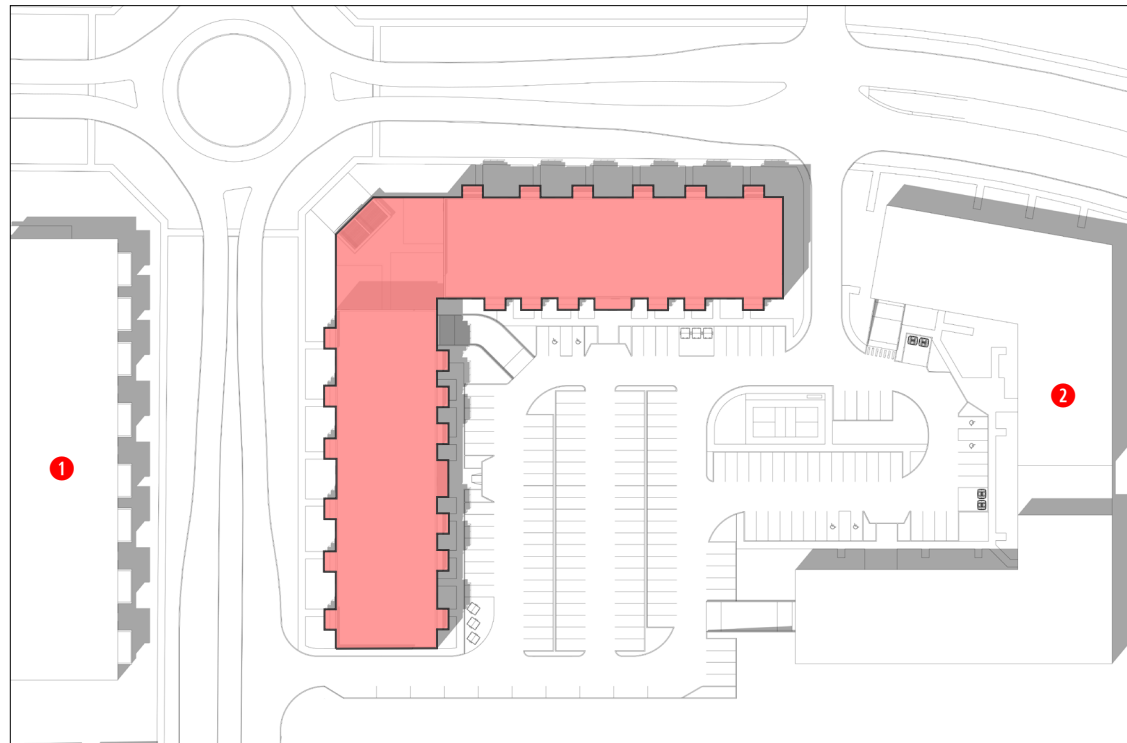
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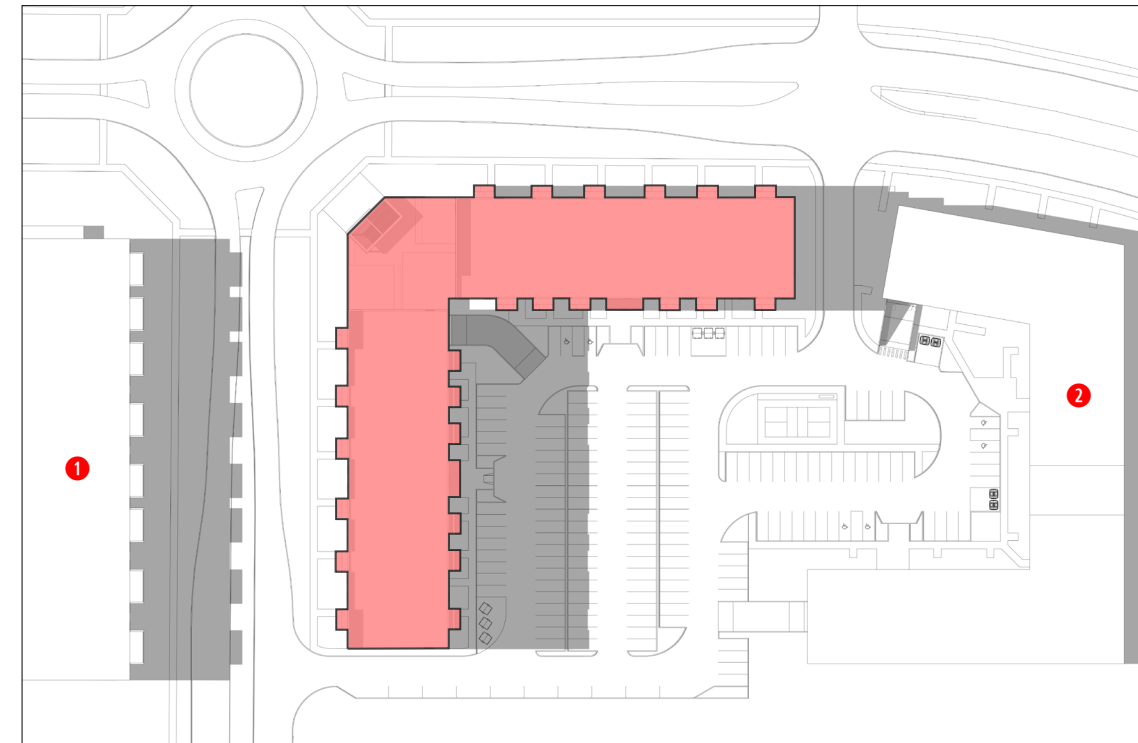
JUN 21 9AM ☰



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JUN 21 3PM ☰



JUN 21 6PM ☰

- ① Existing Building
- ② Future Development

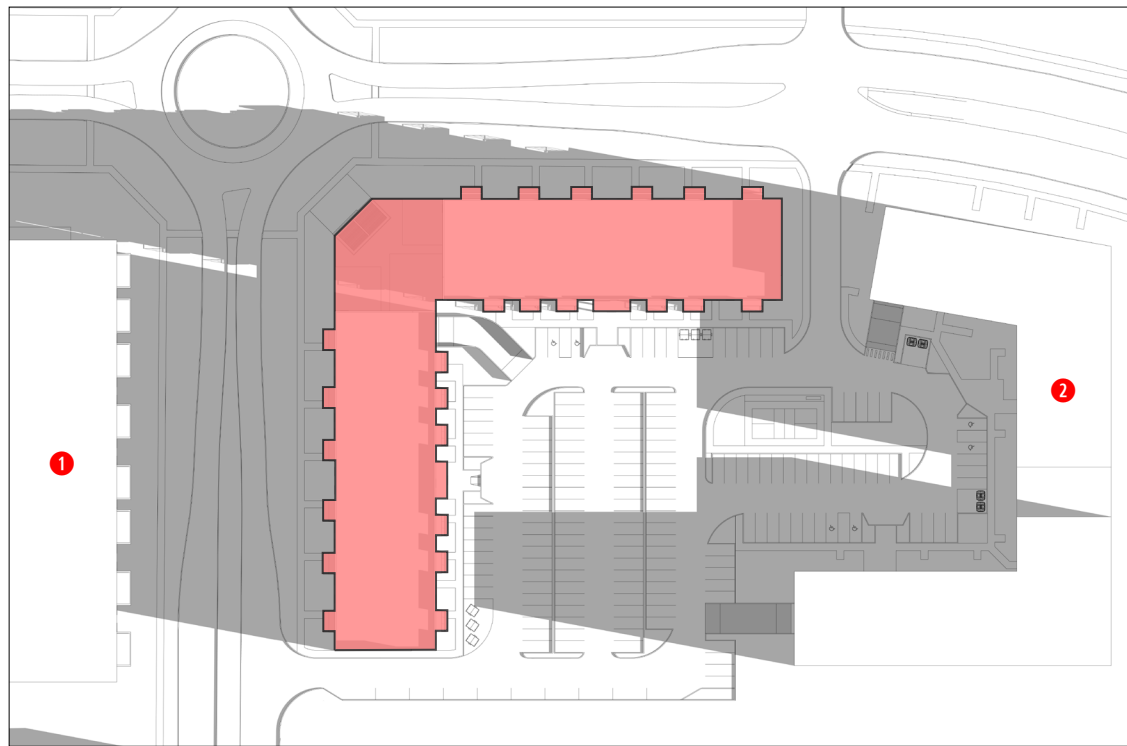
SAGE CREEK CONDOMINIUMS

SUN SHADOW STUDY

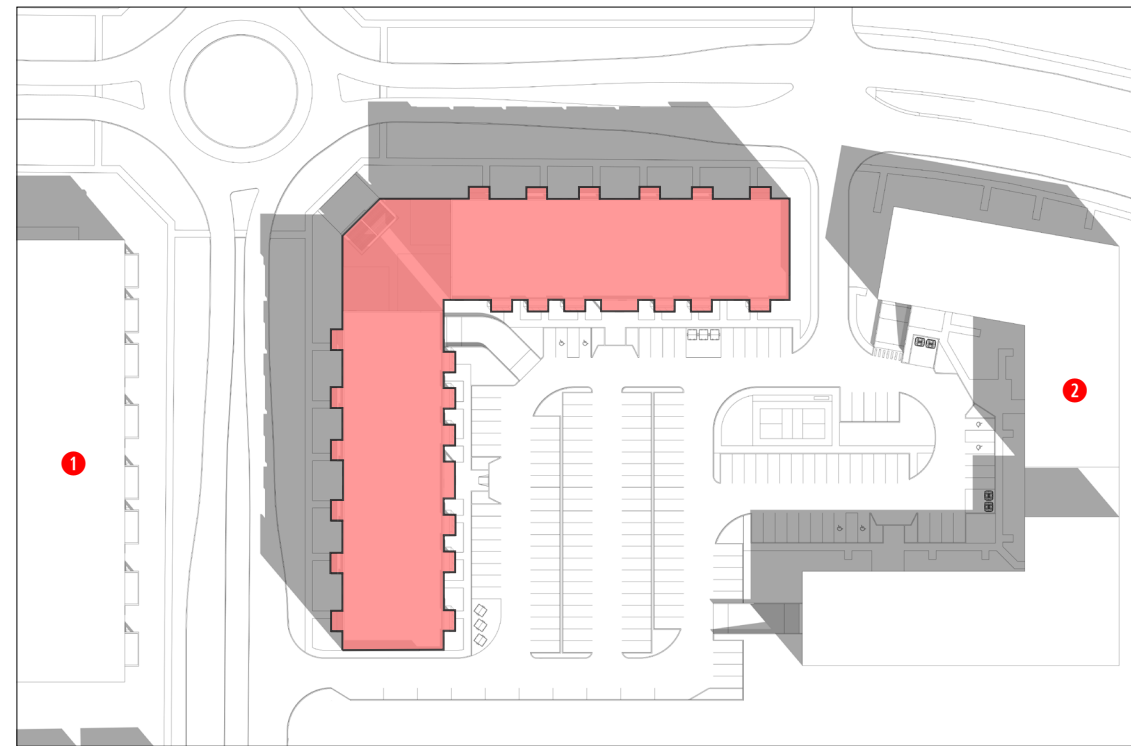
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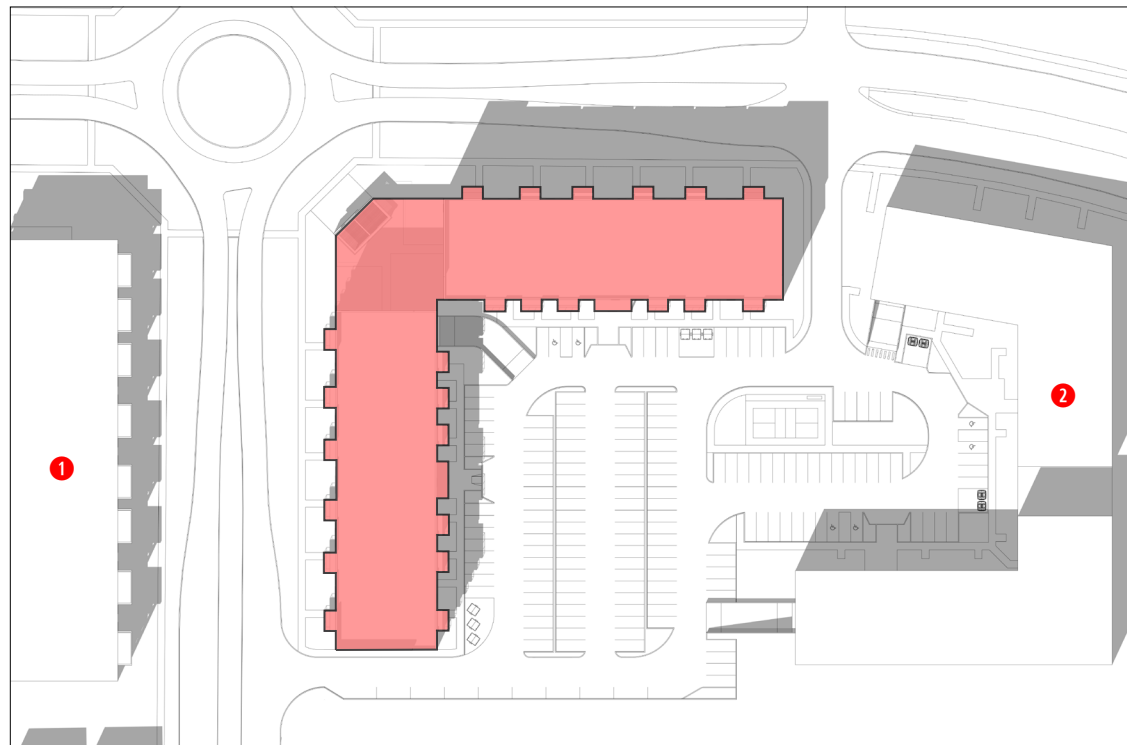
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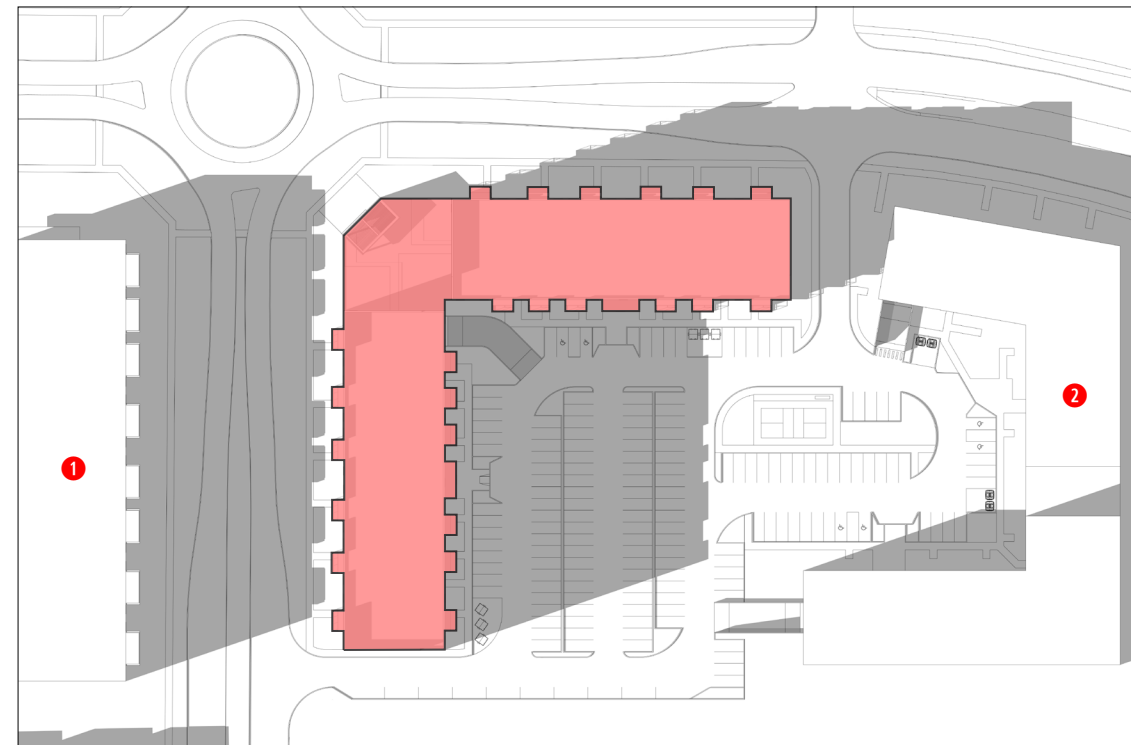
SEP 21 9AM 






SEP 21 12PM 



SEP 21 3PM 



SEP 21 6PM 

-  Existing Building
-  Future Development

SAGE CREEK CONDOMINIUMS

SUN SHADOW STUDY

PLAN APPROVAL PACKAGE

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