

ADMINISTRATIVE REPORT

Title: DAV 26-115294\C – 1110 Taylor Ave

Issue: For Variances to allow for the construction of a commercial building.

Critical Path: Director of Planning, Property, and Development

AUTHORIZATION

Author	Department Head	CFO	CAO
Dylan Chyz-Lund, RPP, MCIP	n/a	n/a	

DECISION AND CONDITIONS

The Urban Planning and Design Division **approves** the application to vary the "C3 PDO-2 - Taylor Redevelopment Area and Mature Communities PDO-1" Development and Design Standards of Winnipeg Zoning By-Law No. 200/2006 to permit as follow:

- 1) for construction of a commercial building to permit no onsite garbage enclosure (cross-access agreement required to share waste disposal with the adjacent property).
- 2) for establishment of an accessory parking area to permit parking stalls having no access to an aisle, (access to be shared via a cross-access agreement with adjacent buildings)
- 3) insufficient street edge landscaping.

Subject to the following condition(s):

1. That, if any Variance granted by this order is not established within two (2) years of the date hereof, this order, in respect of that Variance shall terminate.
2. That the Owner and all successors in title to the lots shall maintain in perpetuity by way of instrument (right-of-way agreement, easement agreement, or declaration) against the titles to the lots a private cross access agreement with the owners of the other lots so as to ensure access to every lot at all times, via streets or internal roads.

REASON FOR THE REPORT

- The applicant is proposing to build one commercial building and requires Variances for no onsite garbage enclosure, an accessory parking area with no access to a drive aisle, and insufficient street edge landscaping. The Variances are the result of the building being located on one lot within a broader three-lot development, where the three lots together function as a single site plan.
- This report provides information regarding the subject application's compliance with *The City of Winnipeg Charter*, section 249.

FILE/APPLICANT DETAILS

FILE: DAV 26-115294\C
RELATED FILES: N/A
COMMUNITY: City Centre Committee
NEIGHBOURHOOD #: 1.604 - (GRANT PARK)

SUBJECT: To vary the "C3 PDO-2 -Taylor Redevelopment Area and Mature Communities PDO-1" Development and Design Standards of Winnipeg Zoning By-Law No. 200/2006 to permit as follow:
 1) for construction of a commercial building to permit no onsite garbage enclosure (cross-access agreement required to share waste disposal with the adjacent property).
 2) for establishment of an accessory parking area to permit parking stalls having no access to an aisle, (access to be shared via a cross-access agreement with adjacent buildings)
 3) insufficient street edge landscaping.

LOCATION: 1110 Taylor Ave
LEGAL DESCRIPTION: LOT 11 PLAN 61064 19/24 ST B

APPLICANT: Justin Zarnowski (Shindico Realty Inc.)
 1355 Taylor Ave Unit 200
 Winnipeg, MB R3M 3Y9

OWNER: 3346234 MANITOBA LIMITED
 1355 Taylor Ave 200 (C/O SHINDICO REALTY INC)
 Winnipeg, MB R3M 3Y9

HISTORY

N/A

DISCUSSION

CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a Variance with respect to a property may be approved if the Variance:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- (d) is compatible with the area in which the property to be affected is situated.

SITE DESCRIPTION

- The subject property is located on the south side of Taylor Ave, in the Grant Park neighbourhood of the River Heights - Fort Garry ward.
- The subject site is 188,134 square feet in area. The west side of the site is occupied by an existing multi-family building, which is intended to remain. The site to the east is occupied by two commercial buildings which are intended to remain.
- The subject site is accessed by a private road which itself takes access from Taylor Avenue.
- The property is located in a “Major Redevelopment Site” policy area as identified in *Complete Communities 2.0*, and in the “Grant Park Row” area of the *Taylor Redevelopment Master Plan*.
- Development of this parcel is subject to Zone 1 of The Taylor Redevelopment Area PDO-2 of the *Winnipeg Zoning By-Law*.

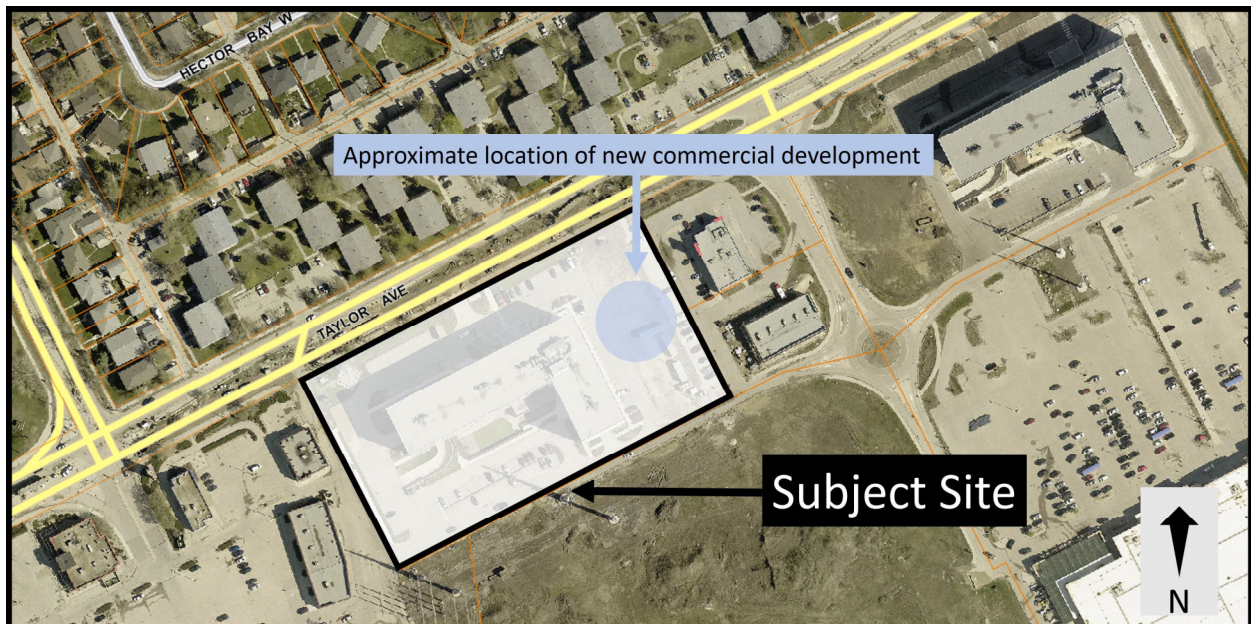


Figure 1: Aerial photo of subject site and surrounding area (flown 2024).

North: Taylor Avenue, then multi-family buildings zoned “RMF-M” Residential Multi-Family (Medium) District.

South: Parking area, then commercial buildings zoned “C3” Commercial – Corridor District.

East: An existing multi-family development zoned “C3” Commercial – Corridor District.

West: Multi-family buildings zoned “C3” Commercial – Corridor District.

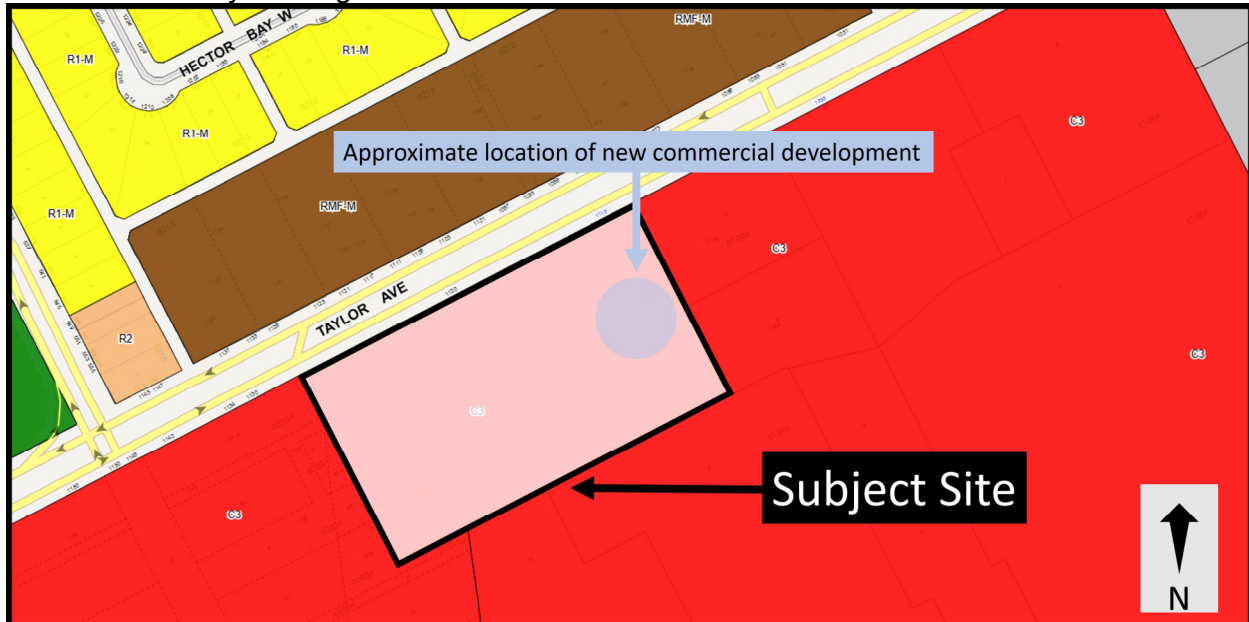


Figure 2: Zoning of site and surrounding area.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

- The applicant is proposing a one-storey commercial building. The building will:
 - Be clad with a mixture of masonry and EIFS, with the north façade almost entirely comprised of limestone.
 - Include significant window coverage along the north, east, and south elevations, with individual unit entrances along the east façade.
 - Include a direct pedestrian connection to the sidewalk on Taylor Avenue.
 - Include one new tree and 40 shrubs along the north and south elevations.
- The site plan also includes:
 - A total of 49 parking stalls, including two accessible spaces and one van-accessible space.
 - A direct pedestrian connection to Taylor Avenue.

ANALYSIS AND ISSUES

COMPLETE COMMUNITIES DIRECTION STRATEGY 2.0

The *Complete Communities Direction Strategy 2.0 (CCDS 2.0)* is one of four direction strategies supporting *OurWinnipeg*, the city’s long-range development plan, and has statutory authority as a secondary plan. The strategy guides land use and development in Winnipeg.

The subject site is located in a “Major Redevelopment Site” policy area of CCDS 2.0. Major Redevelopment Sites contain relatively few design-related policies, with the majority of design-related policies contained in the applicable secondary plan instead. In this case, the applicable secondary plan is the *Taylor Redevelopment Master Plan*. The following goals and policies of CCDS 2.0 apply to the proposal:

- Goal 2 - *Design Major Redevelopment Sites as Complete Communities that embody principles of sustainability within a well-designed, walkable, and active transportation friendly environment.*

Mixed Use

- 3.1 *Provide a mix of employment, high-density housing, retail and service uses within Major Redevelopment Sites in a way that complements the needs of adjacent communities.*

The proposed development includes space for multiple ground-floor retail and service uses, and is located between several multi-family buildings. Further, the direct pedestrian connection to Taylor Avenue provides access off the site for pedestrians. Together, these features enable the overall Major Redevelopment Site to function as a more complete community by providing opportunities for work, living, and commercial uses.

TAYLOR REDEVELOPMENT MASTER PLAN

The proposal meets all applicable policies of the *Taylor Redevelopment Master Plan*.

- C - iii. *Site layout will provide clear obvious, direct and convenient linkages to site destinations (building entrances, etc.).*

The proposed site layout includes a direct pedestrian connection from the primary entrance of the building to the active transportation path on Taylor Avenue.

- C - vii. *Provide spatial definition by orienting buildings to the street to support walking, pedestrian accessibility, active transportation and social contact.*

The north façade of the building – facing Taylor Avenue – is proposed to include large windows oriented towards Taylor Avenue.

- C - x. *Make main entrances on the primary street visible and highly identifiable with landscaping features, signage, public art and/or architectural features.*

While the primary entrance faces east, the north façade facing Taylor Avenue includes prominent signage and window coverage.

TAYLOR REDEVELOPMENT AREA PDO-2

The property falls within Zone 1 of The Taylor Redevelopment Area PDO-2.

Zone 1 requires a minimum front yard of 15’ to Taylor Avenue, while all other minimum yard requirements are 0’. The maximum building height is 90’. The proposal complies with all of the dimensional standards of the PDO.

CITY OF WINNIPEG ZONING BY-LAW 200/2006

Reason for the Variances

No onsite garbage storage

There is no garbage enclosure located on the site, which is a requirement for commercial developments. For this reason, a Variance is needed.

No access to a drive aisle

The proposed parking area does not have access to a drive aisle located on the property. For this reason, a Variance is needed.

Insufficient street edge landscaping.

A total of four trees and 18 shrubs are required – however only one tree is being provided along with 40 shrubs. For this reason, a Variance is needed.

Analysis of the Variances

No onsite garbage storage

The property is part of a larger site, with development spread across three individual lots. The development on the subject property will share access with the garbage enclosure of another property, thereby ensuring there is access to onsite garbage. For these reasons, the Variance is supportable.

No access to a drive aisle

The property is part of a larger site, with development spread across three individual lots. Due to the configuration of the lot lines, the parking stalls on the subject site technically don't have access to the drive aisle. However, given that the property functions as part of a larger whole, the parking stalls do have access to a drive aisle on the neighbouring property. For these reasons, the Variance is supportable.

Insufficient street edge landscaping.

The overall site – including all three properties – includes a well landscaped site plan with trees and shrubs spread across the parking areas, building foundations, and street edges. Together, these ensure the site is well landscaped. In addition, accommodating the full number of required trees within the subject site presents practical challenges due to existing site constraints. The presence of drive aisles on both sides of the building significantly limits the availability of viable planting areas, particularly those that would support healthy tree growth without compromising site functionality, safety, or circulation. For these reasons, the Variance is supportable.

CONDITIONS OF APPROVAL

A condition requiring a cross access agreement has been included, to ensure that the parking stalls maintain access to the drive aisle needed to access the public street.

REASONS FOR DECISION

In the context of Section 247(3), the Urban Planning and Design Division **approves** the application for the following reasons:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
In that, the proposed Variances will enable the establishment of a commercial development in alignment with the policies of OurWinnipeg 2045 and Complete Communities 2.0.
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
In that, the proposed development – while located on one lot – is part of a larger functional site plan that includes adequate setbacks, landscaping, and garbage collection for all properties.
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
In that, the proposed Variances enable the establishment of a contextually-sensitive development.
- (d) is compatible with the area in which the property to be affected is situated.
In that, the proposed building is only one storey in height, includes high-quality materials and window coverage along three of its four facades, and is adequately setback from adjacent buildings.

CONSULTATION

In preparing this report there was internal consultation with: N/A

OURWINNIPEG 2045 POLICY ALIGNMENT

OurWinnipeg is the City of Winnipeg's long-range development plan. Applicable Policies include the following:

OurWinnipeg Goal: City Building

Objective 1: Responsibly plan, prioritize and accommodate growth in areas that best support Complete Communities principles, to achieve this Plan's sustainable development goals.

- Facilitate growth and change strategically within Winnipeg's unique Transformative Areas and Established Neighbourhoods, to enhance the ability of the urban environment to contribute towards this Plan's goals.

Objective 2: Integrate resilient land use, transportation and infrastructure planning, and investments.

Objective 3: Facilitate development opportunities that complete established communities, and plan new communities as complete and connected from the outset.

WINNIPEG CLIMATE ACTION PLAN ALIGNMENT

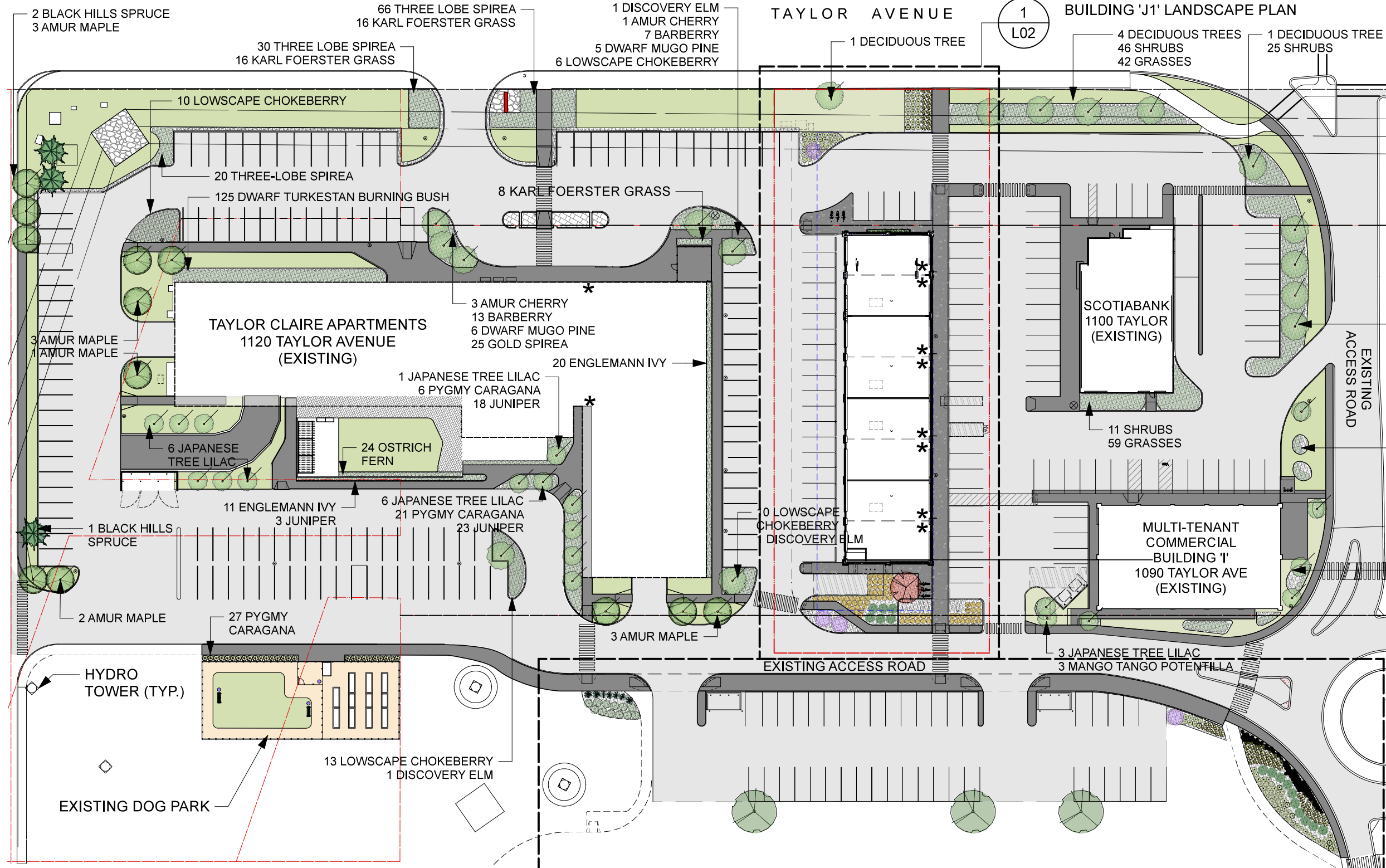
Consideration was given as to whether this report connects to any of the specific Goals and Objectives in the *Winnipeg Climate Action Plan (WCAP)* and it was determined that the *WCAP* is not applicable to this specific report.

WINNIPEG POVERTY REDUCTION STRATEGY ALIGNMENT

Consideration was given to whether this report connects to any of the specific Goals and Objectives in the *PRS* and it was determined the *PRS* is not applicable to this specific report.

SUBMITTED BY

Department: Planning, Property and Development
Division: Urban Planning and Design
Prepared by: Dylan Chyz-Lund, RPP, MCIP
Date: Wednesday, April 1, 2026
File No. DAV 26-115294\C



- LEGEND:**
- ASPHALT PAVING
 - CONCRETE PAVING
 - TOPSOIL & SOD
 - SHRUB BED WITH MULCH
 - 24" WIDE MULCH STRIP
 - BIKE PARKING
 - PROPERTY LINE
 - 25' SETBACK LINE
 - CONCRETE CURB
 - PRINCIPAL BUILDING ENTRY
 - EXISTING TREE TO REMAIN
 - EXISTING PLANTING BED C/W SHRUBS

2
L02
SOUTH PARKING LOT LANDSCAPE PLAN

ZONING AND PERMIT BRANCH
THIS PLAN IS SUBMITTED FOR APPROVAL IN
CONNECTION WITH: DAV 115294/2026C
SHEET # 1 OF 5
DATE: Feb. 27, 2026



NO.	ISSUE NOTES	DATE
3	ISSUED FOR PLAN APPROVAL	2026-02-05
2	ISSUED FOR PLAN APPROVAL	2025-12-23
1	ISSUED FOR DRAFT REVIEW	2025-11-07

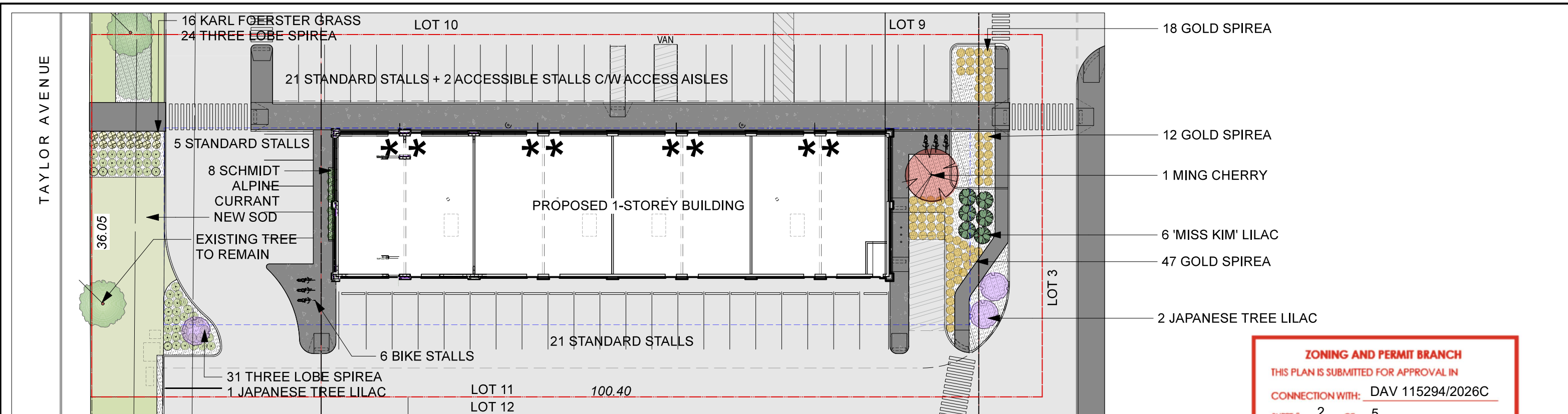
THIS DRAWING MUST NOT BE SCALED.
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
VARIATIONS & MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE LANDSCAPE ARCHITECTS AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE LANDSCAPE ARCHITECTS, IN WHICH CASE THE REPRODUCTION MUST BEAR THEIR NAME AS LANDSCAPE ARCHITECTS.



PROFESSIONAL SEAL

PROJECT TITLE
BUILDING J1 - CRU
1110 TAYLOR AVENUE
SHEET TITLE
ADJACENT LOTS LANDSCAPE PLAN

DRAWN	MB
REVIEWED	
SCALE	1:750
PROJECT NO.	25-064
DRAWING NO.	L01



ZONING AND PERMIT BRANCH

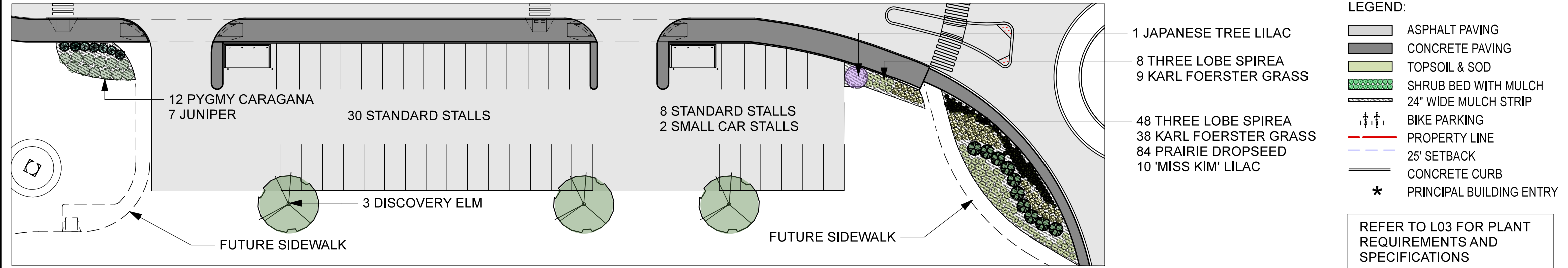
THIS PLAN IS SUBMITTED FOR APPROVAL IN

CONNECTION WITH: DAV 115294/2026C

SHEET # 2 OF 5

DATE: Feb. 27, 2026

1 BUILDING 'J1' LANDSCAPE PLAN
L02 Scale: 1:400



2 SOUTH PARKING LOT LANDSCAPE PLAN
L02 Scale: 1:500

NO.	ISSUE NOTES	DATE
3	ISSUED FOR PLAN APPROVAL	2026-02-05
2	ISSUED FOR PLAN APPROVAL	2025-12-23
1	ISSUED FOR DRAFT REVIEW	2025-11-07

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PROFESSIONAL SEAL



HTFC
PLANNING & DESIGN

500-115 Bannatyne Avenue East Winnipeg, MB R3B 0R3
PHONE 204 944 9907 WEB htfc.ca

PROJECT TITLE
BUILDING J1 - CRU

1110 TAYLOR AVENUE

SHEET TITLE
BUILDING J1 LANDSCAPE PLAN

DRAWN	MB
REVIEWED	
SCALE	1:400
PROJECT NO.	25-064
DRAWING NO.	L02

2026-01-29



ZONING AND PERMIT BRANCH
 THIS PLAN IS SUBMITTED FOR APPROVAL IN
 CONNECTION WITH: DAV 115294/2026C
 SHEET # 3 OF 5
 DATE: Feb. 27, 2026

**1110 TAYLOR AVE,
 WINNIPEG MB.
 NEW MULTI-TENANT BUILDING
 BUILDING J1 SHELL**

BLDG
 architecture office inc.
 3-692 Osborne Street
 Winnipeg, Manitoba
 Canada, R3L 2B9
 T: 1 204 417 6884
 E: info@bldgoffice.com

CONSULTANT

OWNER
Shindico

ARCHITECTURAL

- G001 COVER SHEET, OVERALL SITE PLAN
- A001 GENERAL NOTES AND LEGENDS
- A002 ASSEMBLIES,
- A003 WINDOW & DOOR SCHEDULE
- A100 SITE PLAN
- A101 MAIN FLOOR PLAN
- A102 ROOF PLAN AND DETAILS
- A200 EXTERIOR ELEVATIONS
- A300 BUILDING SECTIONS
- A301 WALL SECTIONS
- A302 WALL SECTIONS
- A500 PLAN DETAILS
- A511 DETAIL SECTIONS
- A512 DETAIL SECTIONS
- A513 DETAIL SECTIONS
- A514 DETAIL SECTIONS

ISSUED FOR COORDINATION

DESCRIPTION: NEW CONSTRUCTION
 DATE: DEC. 05, 2025
 LOCATION: 1110 TAYLOR AVENUE
 WINNIPEG, MB

APPLICANT / GENERAL CONTRACTOR:

SNR CONSTRUCTION
 #200 - 1355 TAYLOR AVENUE
 WINNIPEG, MANITOBA
 R3M 3Y9 CANADA
 204.928.8229

**ARCHITECT:
 BLDG ARCHITECTURE OFFICE INC.**

3-692 OSBORNE STREET
 WINNIPEG, MB R3L 2B9
 204.417.6884
 www.bldgoffice.com

**STRUCTURAL:
 TOWER ENGINEERING**

UNIT 1 - 1140 WAVERLEY STREET
 Winnipeg, MB R3T 0P4
 204.925.1155
 www.towereng.ca

**MECHANICAL:
 G MECH ENGINEERING**

29 OAKMONT CRESCENT
 Headingley, MB R4H 1J4
 204.888.8992
 info@g-mechengineering.com

**ELECTRICAL:
 MCW CONSULTANTS LTD.**

210 - 1821 WELLINGTON AVENUE
 Winnipeg, MB R3H 0G4
 204.779.7900
 www.mcw.ca

**CIVIL:
 STANTEC**

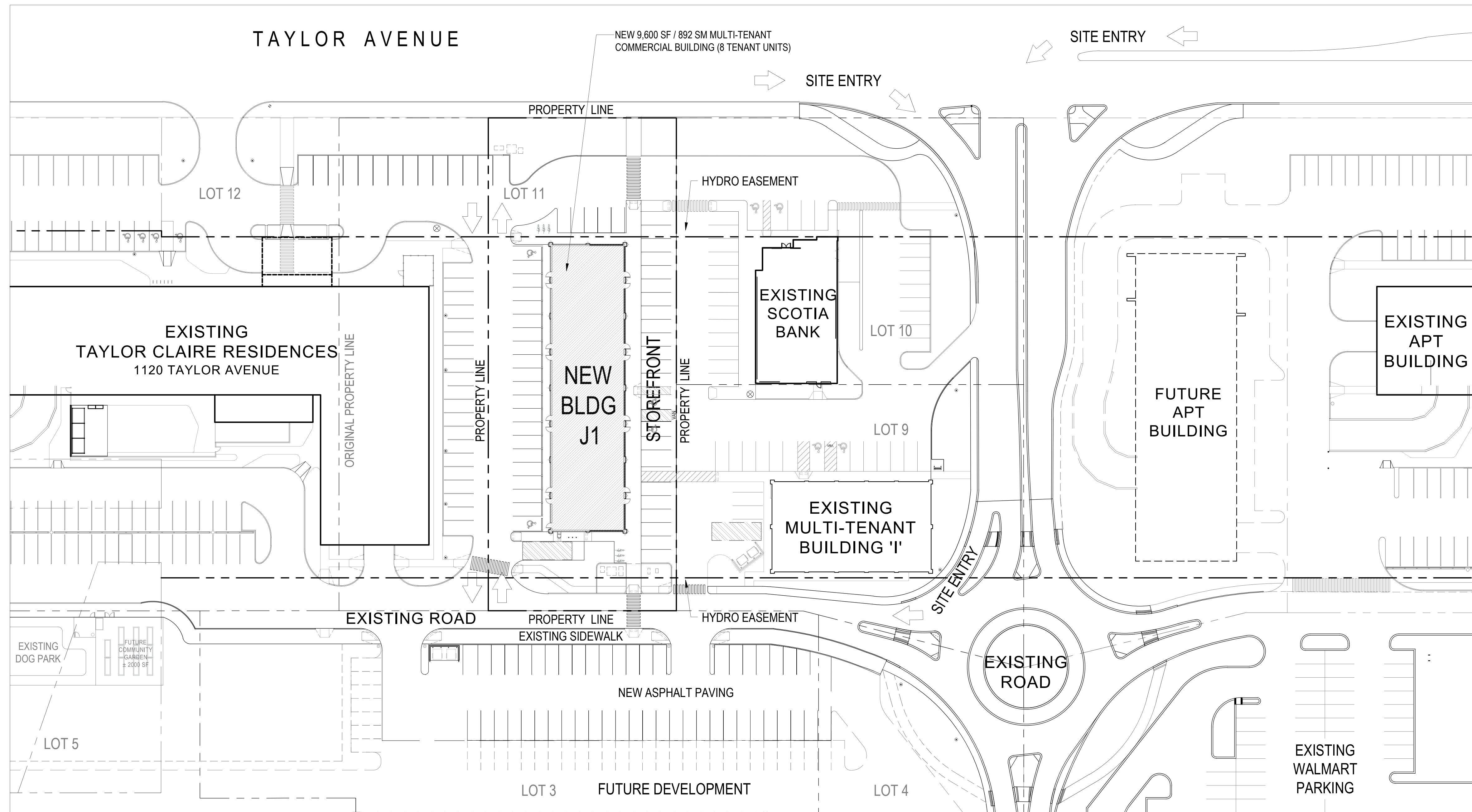
SUITE 500 - 311 PORTAGE AVENUE
 Winnipeg, MB R3B 2B9
 204.489.5900
 www.stantec.com

**LANDSCAPE:
 HTFC PLANNING & DESIGN**

SUITE 500 - 115 BANNATYNE AVENUE
 Winnipeg, MB R3B 0B3
 204.944.9907
 info@htfc.ca

REVISIONS/ISSUANCE

NO.	Date	Description
01	11 JUL 2025	ISSUED FOR REVIEW
02	06 AUG 2025	ISSUED FOR REVIEW
03	22 AUG 2025	ISSUED FOR REVIEW
04	14 OCT 2025	ISSUED FOR REVIEW
05	20 OCT 2025	ISSUED FOR COORDINATION
06	02 DEC 2025	ISSUED FOR COORDINATION
07	26 JAN 2026	ISSUED FOR COORDINATION



1
 BUILDING J1 - CRU
 OVERALL SITE PLAN
 G001 G001 1" = 40.0'

**PRELIMINARY
 DRAWING ONLY
 NOT TO BE USED FOR CONSTRUCTION**
 (REMOVE WHEN DRAWING IS FINAL)

This drawing must not be scaled. The contractor shall verify all dimensions and other data on site prior to commencement of work. All discrepancies, errors, and omissions are to be reported to the Architect.
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PROJECT
 BUILDING J1 - CRU
 1110 TAYLOR AVE

DRAWING
 OVERALL BUILDING SITE

DRAWN BY
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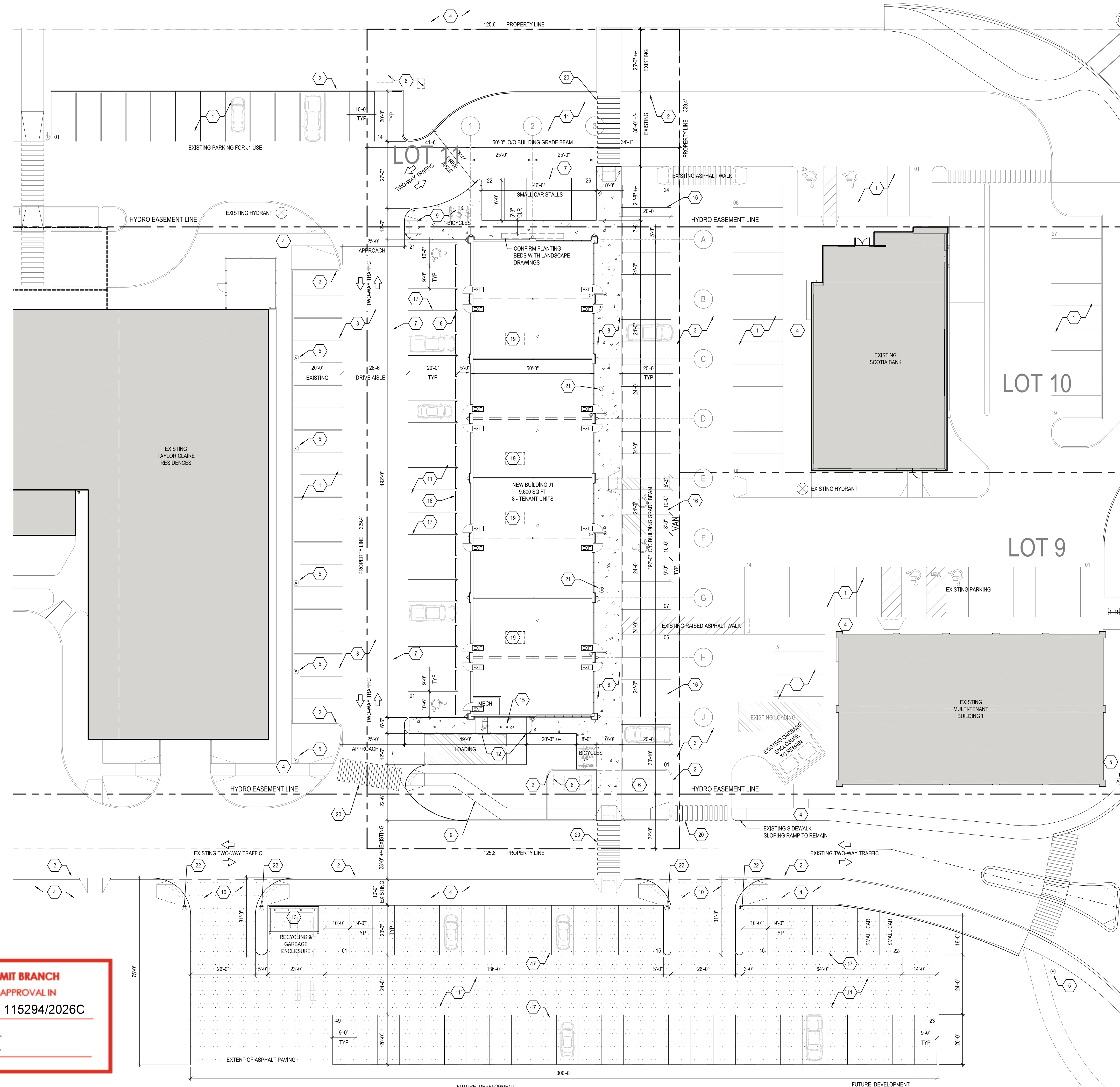
REVIEWED BY
 KS

SCALE
 AS NOTED

DATE
 11 JULY 2025

PROJECT NO.
 2025_09

DRAWING NO.
 G001



SITE PLAN KEYNOTES:

- EXISTING ADJACENT PROPERTY PARKING STALLS TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN. REPAIR / REFINISH DAMAGED AREAS THAT MAY OCCUR DURING CONSTRUCTION.
- EXISTING CONCRETE SIDEWALK TO REMAIN. MODIFY WHERE NEW TERMINATION OCCURS FOR NEW APPROACH OR CONNECTION TO NEW WALKWAY. PROVIDE CURB RAMP WITH TACTILE SURFACE TO MBC, CSA-B651 AND COW REQUIREMENTS.
- EXISTING LAMP POST TO REMAIN.
- EXISTING ELECTRICAL UTILITIES: SERVICE CABINET / METER TO REMAIN.
- LINE OF EXISTING CONCRETE CURB AND EXTENT OF ADJACENT PROPERTY ASPHALT PAVING; REMOVE CONCRETE CURB TO PREPARE FOR NEW PAVING WORK.
- EXISTING ASPHALT / CONCRETE SIDEWALK AND CURB TO BE REMOVED FOR NEW CONCRETE SIDEWALK AND CURB. REFER TO STRUCTURAL.
- NEW CIP CONCRETE SIDEWALK; PROVIDE CURB RAMP WITH TACTILE SURFACE TO MBC, CSA-B651 AND COW REQUIREMENTS. ALIGN NEW SIDEWALK WITH EXISTING WHERE APPLICABLE.
- NEW APPROACH. COORDINATE WITH EXISTING CURBS AND SIDEWALKS.
- NEW ASPHALT PAVING TO JOIN WITH EXISTING FINISHED SURFACES.
- PROVIDE SIDEWALK RAMP AT UTILITY METERS / BOLLARDS FOR CONTINUOUS BARRIER-FREE PATH OF TRAVEL WITH TACTILE SURFACE TO MBC, CSA-B651 AND COW REQUIREMENTS.
- MASONRY WALL GARBAGE ENCLOSURE. REFER TO DETAIL / MATCH EXISTING.
- STEEL / CONCRETE BOLLARD WITH YELLOW POLY SLEEVE. REFER TO STRUCTURAL AND COORDINATE WITH OWNER.
- APPROX LOCATION OF GAS METERS. REFER TO MECHANICAL.
- NEW PAINTED PARKING STALL LINES WITHIN PREVIOUS EXISTING PARKING AREA; ADJUST EXISTING STALLS TO ALLOW FOR NEW ACCESSIBLE STALLS WITH VAN AS SHOWN. ONE EXISTING STALL TO BE REMOVED TO ALLOW FOR THE NEW LAYOUT.
- PAINTED PARKING LINES.
- PRECAST CONCRETE CURB. PINNED.
- OUTLINE OF ROOFTOP MECHANICAL EQUIPMENT; REFER TO MECHANICAL.
- PEDESTRIAN CROSSING PAINTED LINES.
- EXISTING LAMP POST TO BE REMOVED FOR FUTURE USE. GC TO STORE FOR OWNER.
- NEW LAMP POST. REFER TO ELECTRICAL / COORDINATE WITH STRUCTURAL.
- LANDSCAPE PLANTING; REFER TO LANDSCAPE PLAN FOR LANDSCAPE DETAILS AND SPECIFICATIONS.



NO.	Date	Description
01	11 JUL 2025	ISSUED FOR REVIEW
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07	26 JAN 2026	ISSUED FOR COORDINATION

SITE INFORMATION

LOCATION	1110 TAYLOR AVENUE, BUILDING 'J1' WINNIPEG, MB
LEGAL DESCRIPTION	
ZONING DISTRICT	C3. COMMERCIAL CORRIDOR
PROPERTY AREA	41,394 SF / 3,845.6 SM / 0.95 ACRE
BUILDING AREA	9,600 SF / 892 SM
SITE COVERAGE / F.A.R.	0.23 F.A.R. / 23% COVERAGE

2020 N.B.C.C. & MANITOBA BUILDING CODE

BUILDING DESIGN SUMMARY

CONSTRUCTION TYPE	NEW CONSTRUCTION (SHELL ONLY)
MAJOR OCCUPANCY CLASSIFICATIONS	1 STOREY - GROUP A2 3.2.2.25 (ASSEMBLY OCCUPANCY) 1 STOREY - GROUP D 3.2.2.64 (BUSINESS & PERSONAL SERVICES OCCUPANCY) 1 STOREY - GROUP E 3.2.2.70 (MERCANTILE OCCUPANCY)
BUILDING FOOTPRINT	9,600 SF
BUILDING DIMENSIONS	192' X 50'
FACING NUMBER OF STREETS	1
BUILDING HEIGHT	1 STOREY - UIS STEEL DECK 117'-0"
SPRINKLER SYSTEM	NOT SPRINKLERED
SEPARATION OF UNITS	2 HR
OCCUPANT LOAD	TO BE CALCULATED BY FUTURE TENANT IMPROVEMENTS
WATER CLOSETS / BARRIER FREE WASHROOMS	TO BE CALCULATED / PROVIDED BY FUTURE TENANT IMPROVEMENTS
NUMBER OF EXITS REQUIRED	(MIN 2 PER DEMISED COMPARTMENT) 4 REQUIRED / 4 PROVIDED.
PROVISIONS FOR FIREFIGHTING	ACCESS FIRE ROUTES FOR FIRE DEPARTMENT VEHICLES IS REQUIRED AND PROVIDED.
BARRIER FREE ACCESS	BARRIER FREE ACCESS TO FRONT ENTRANCES ARE PROVIDED. FUTURE TENANT IMPROVEMENTS TO PROVIDE BARRIER FREE WASHROOMS.

ZONING BY-LAW: C3 - COMMERCIAL CORRIDOR

MIN. FRONT YARD REQ:	MIN. REAR YARD REQ:	MIN. INT. SIDE YARDS REQ:	MAX. BUILDING HEIGHT	MAX. FLOOR AREA RATIO
25'-0"	25'-0"	0'-0"	49'-0"	1.5
FRONT YARD PROVIDED:	REAR YARD PROVIDED:	SIDE YARDS PROVIDED:	BUILDING HEIGHT:	FLOOR AREA RATIO
81'-0"	55'-6"	N/A	22'-0"	0.25

PARKING INFORMATION:

PARKING CATEGORY 24 (SHOPPING CENTRE) = 1 STALL / 250 SF			
PARKING STALLS:	REQUIRED: 38	PROVIDED: 89 TOTAL (26 x 14 + 49) (8' x 20' / 10' x 20')	
ACCESSIBLE:	REQUIRED: 2	PROVIDED: 2 (10' x 20')	
VAN ACCESS:	REQUIRED: 1	PROVIDED: 1	
BICYCLES:	REQUIRED: 4	PROVIDED: 6	
LOADING:	REQUIRED: 1	PROVIDED: 1 (12' x 33' MINIMUM)	
DRIVE AISLE:	REQUIRED: 20'-0"	PROVIDED: 20'-0" MIN	

REFER TO LANDSCAPE DRAWINGS FOR COMPLETE PLANTING / LANDSCAPE REQUIREMENTS AND CIVIL DRAWINGS FOR SITE DEVELOPMENT INFO INCLUDING GRADING AND SURFACING

PRELIMINARY DRAWING ONLY
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PROJECT
BUILDING J1 - CRU
1110 TAYLOR AVE

DRAWING
SITE PLAN

DRAWN BY
TT

REVIEWED BY
KS

SCALE
AS NOTED

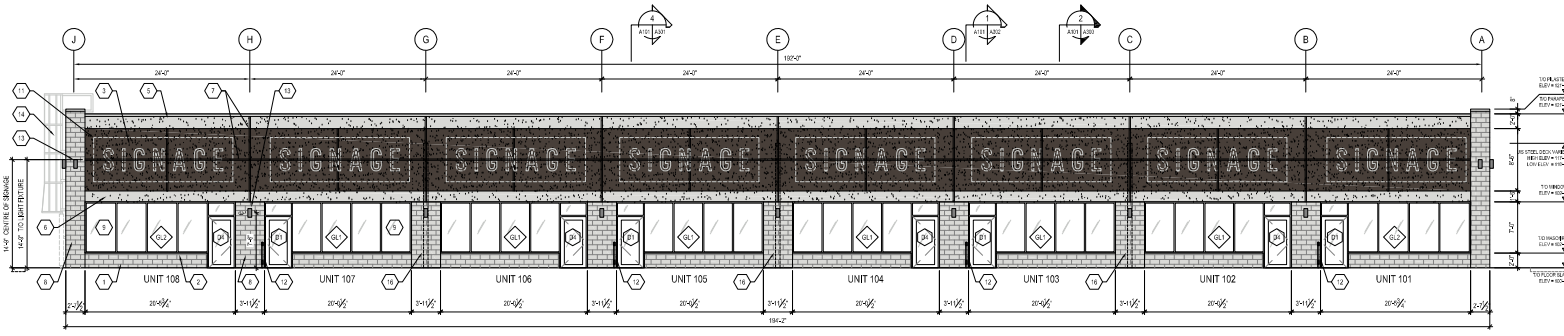
DATE
11 JULY 2025

PROJECT NO.
2025_09

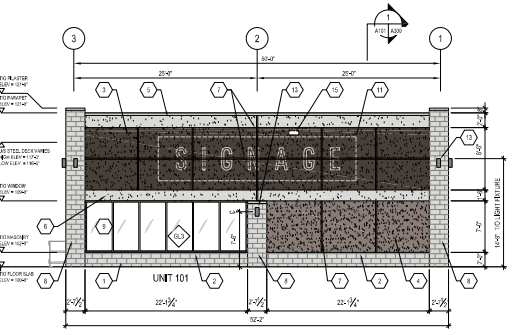
DRAWING NO.

ZONING AND PERMIT BRANCH
THIS PLAN IS SUBMITTED FOR APPROVAL IN
CONNECTION WITH: DAV 115294/2026C
SHEET # 4 OF 5
DATE: Feb. 27, 2026

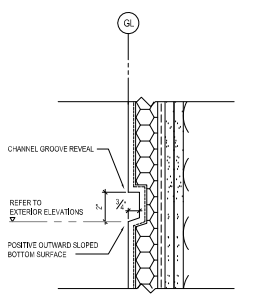
REV	DATE	DESCRIPTION
01	11 JUL 2023	ISSUED FOR PERMIT
02	11 JUL 2023	ISSUED FOR PERMIT
03	20 AUGUST 2023	ISSUED FOR PERMIT
04	13 OCT 2023	ISSUED FOR PERMIT
05	13 OCT 2023	ISSUED FOR PERMIT
06	08 NOV 2023	ISSUED FOR CONSTRUCTION
07	22 FEB 2024	ISSUED FOR CONSTRUCTION



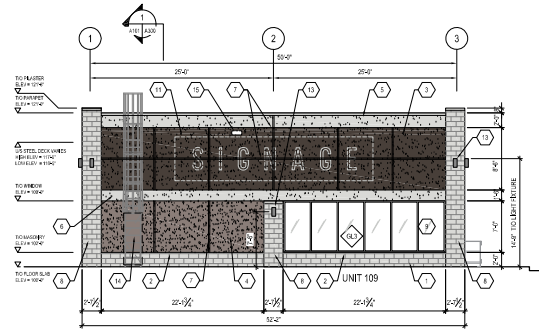
1 FRONT ELEVATION - EAST STOREFRONT
A101 A102 1/8" = 1'-0"



2 SIDE ELEVATION - NORTH
A101 A102 1/8" = 1'-0"



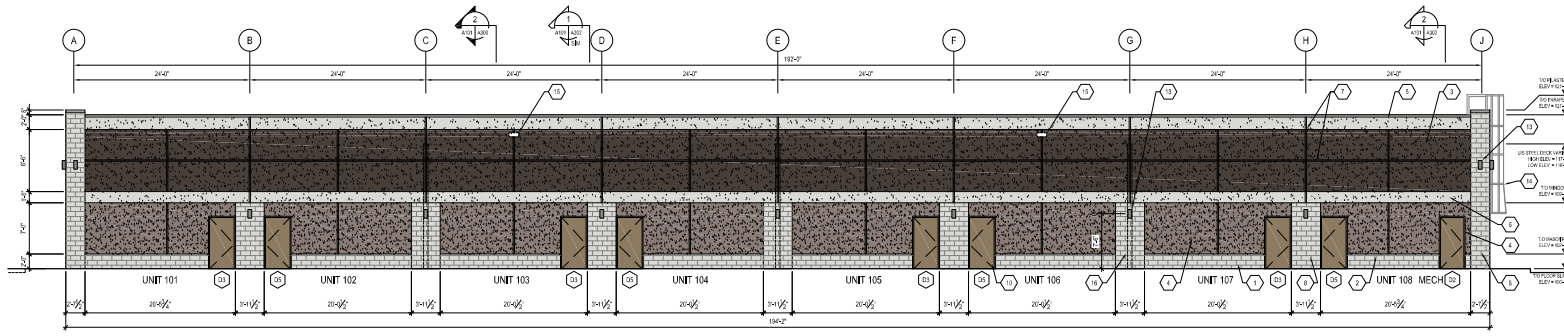
**5 SECTION DETAIL
TYPICAL EIFS HORIZONTAL REVEAL**
A101 A102 3" = 1'-0"
VERTICAL REVEAL SHIMLAR - WITH SQUARED EDGES



4 SIDE ELEVATION - SOUTH
A101 A102 1/8" = 1'-0"

BUILDING ELEVATION KEYNOTES:

1. MASONRY - LIMESTONE CLADDING.
2. MASONRY - LIMESTONE SILL CAP.
3. EIFS WALL CLADDING, COLOUR - 1. REFER TO SCHEDULE.
4. EIFS WALL CLADDING, COLOUR - 2. REFER TO SCHEDULE.
5. EIFS FINISHED PARAPET (CANOPY COLOUR - 3) WITH PREFIN METAL CAP FLASHING (COLOUR - WHITE). REFER TO WALL SECTIONS AND SCHEDULE.
6. EIFS ACCENT COLOUR BUILT-OUT PANEL (COLOUR - 3). REFER TO WALL SECTIONS AND SCHEDULE.
7. EIFS VERT. FINE REVEALS CONTROLLED ON PLASTERERS AND EQUALLY SPACED. REFER TO DETAIL.
8. MASONRY - LIMESTONE BRICKER CLADDING. REFER TO WALL SECTIONS AND PLAN DETAILS.
9. ALUMINUM STOREFRONT CLADDING. CO-MATCHING TRIMS AND FLASHINGS. REFER TO WINDOW SCHEDULE.
10. INSULATED STEEL DOOR AND FRAME. PAINT COLOUR - 5. REFER TO SCHEDULE.
11. FUTURE TENANT STORAGE LOCATIONS. CONTINUOUS RIV-BACKING. REFER TO WALL SECTIONS. REFER TO STRUCTURAL AND ELECTRICAL.
12. DOOR GUARD RAIL WITH 750MM RFT ON POWER DOOR ACTUATORS. REFER TO DOOR SCHEDULE.
13. WALL MOUNTED LIGHTING FEATURE - CONFIRM ALL TYPES AND LOCATIONS INDICATED ON ELECTRICAL DRAWINGS. COORDINATE FOR REQUIRED BACKING/SUPPORT FOR SECURE INSTALLATION. CONFIRM STILES WITH OWNER.
14. ROOF ACCESS - EXTERIOR WALL MOUNTED STEEL LADDER (ON SAFETY CANE, FALL ARREST SYSTEM AND SECURITY DOOR PANEL AT BASE). REFER TO FLOOR/PLANNING FOR COMPLETE REQUIREMENTS.
15. THROUGH-WALL OVERFLOW SUPPER. REFER TO ROOF PLAN DETAILS.
16. OUTLINE EXTERIOR ZIMMERING WALL LOCATION.
17. OUTLINE OF INTERIOR DIAGONAL STEEL FRAMING FROM ROOF BEAM DOWN TO FLOOR LEVEL. REFER TO STRUCTURAL DRAWINGS AND CONFIRM LOCATIONS TO ALLOW FOR ALL REQUIRED CLEARANCES.



3 REAR ELEVATION - WEST
A101 A102 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND:

- EIFS CLADDING COLOUR 1: FINISH - SAND COLOUR - CLASSIC
- EIFS CLADDING COLOUR 2: FINISH - SAND COLOUR - BR CLASSIC 1610 FRENCH BESET
- EIFS CLADDING COLOUR 3: FINISH - SAND COLOUR - BR OFF WHITE GC-152 SUPER WHITE
- MASONRY CLADDING: FINISH - CASTLE LIMESTONE MASONRY COLOUR - MARCHMENT
- PREFINISHED METAL CAP FLASHING COLOUR 4: MC-WEST #56065 BRIGHT WHITE PROFILE - FLAT
- PREFINISHED METAL BASE + SILL FLASHING AND EXIF DOORS COLOUR 5: MC-WEST #56074 TAN PROFILE - FLAT
- SILL FLASHING AT ALUMINUM STOREFRONT TO MATCH FRAMES

PRELIMINARY DRAWING ONLY
NOT TO BE USED FOR CONSTRUCTION
(This drawing is not to be used for construction.)

This drawing is not to be used for construction. The contractor is responsible for verifying all dimensions and details on site. The contractor is responsible for obtaining all necessary permits and approvals. The contractor is responsible for ensuring that the work is completed in accordance with the approved drawings and specifications. The contractor is responsible for ensuring that the work is completed in accordance with the approved drawings and specifications.

PROJECT:
BUILDING J1 - CRU
1110 TAYLOR AVE

DATE:
BUILDING ELEVATIONS

DESIGN BY:
TT
SCALE:
AS NOTED
DATE:
11 JULY 2025

PROJECT NO:
A200

ZONING AND PERMIT BRANCH
THIS PLAN IS SUBMITTED FOR APPROVAL IN
CONNECTION WITH: DAV 115294/2026C
SHEET # 5 OF 5
DATE: Feb, 27, 2026

NOTE: ALL FINISHES & COLOURS TO MATCH EXISTING ADJACENT BUILDING AT 1090 TAYLOR