

ADMINISTRATIVE REPORT

Title: DAV 26-146628\C – Frontier Trail

Issue: For consideration of Variances associated with a south side yard balcony projection of 6 feet instead of 3 feet, 50 parking spaces instead of 75 spaces, no visitor parking instead of 8 spaces, and no buffering of a parking area located within 20 feet of a side or rear lot line abutting or adjacent to a residential zoning district.

Critical Path: Director of Planning, Property, and Development

AUTHORIZATION

Author	Department Head	CFO	CAO
Sawyer Klassen, MCP	n/a	n/a	

DECISION AND CONDITIONS

The Urban Planning and Design Division **approves** the application to vary the "RMU" development and design standards of the Winnipeg Zoning By-Law No. 200/2006 as follows:

1) for the construction of a multi-family dwelling to permit:

a) a front yard of 3 feet (0.92 metres) instead of 5 feet (1.53 metres) as approved under DAV 216033/2019D;

b) a south side yard balcony projection of 6 feet (1.83 metres) instead of 3 feet (0.92 metres);

c) 50 parking spaces instead of 75 spaces;

2) for the establishment of an accessory parking area to permit:

b) no visitor parking space instead of 8 spaces;

c) no buffering of parking area located within 20 feet of a side or rear lot line abutting or adjacent to a residential zoning district.

Subject to the following condition(s):

1. That, if any variance granted by this order is not established within two (2) years of the date hereof, this order, in respect of that Variance shall terminate.

REASON FOR THE REPORT

- The applicant is proposing to build three multi-family buildings and requires Variances for projection, parking, and buffering requirements of the *Winnipeg Zoning By-Law*.
- This report provides information regarding the subject application’s compliance with *The City of Winnipeg Charter*, section 249.

FILE/APPLICANT DETAILS

FILE: DAV 26-146628\IC
RELATED FILES: DAV 216033/2019D
COMMUNITY: Assiniboia Committee
NEIGHBOURHOOD #: 2.681 - (WAVERLEY WEST B)

SUBJECT: To vary the "RMU" development and design standards of the Winnipeg Zoning By-Law No. 200/2006 as follows:
 1) for the construction of a multi-family dwelling to permit:
 a) a front yard of 3 feet (0.92 metres) instead of 5 feet (1.53 metres) as approved under DAV 216033/2019D;
 b) a south side yard balcony projection of 6 feet (1.83 metres) instead of 3 feet (0.92 metres);
 c) 50 parking spaces instead of 75 spaces;
 2) for the establishment of an accessory parking area to permit:
 a) no visitor parking space instead of 8 spaces;
 b) no buffering of parking area located within 20 feet of a side or rear lot line abutting or adjacent to a residential zoning district.

LOCATION: Frontier Trail
LEGAL DESCRIPTION: LOT 1 BLOCK 11 PLAN 70195 1/7 ST V OTM

APPLICANT: David Hill (Streetside Development Corporation)
 1 Dr. David Friesen Dr
 Winnipeg, MB R3X 0G8

OWNER: SOUTHEAST LANDS CORP.
 1 Dr. David Friesen Dr
 Winnipeg, MB R3X 0G8

HISTORY

A previous Variance for a front yard of 3 feet instead of 5 feet was previously approved under DAV 216033/2019D.

DISCUSSION

CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a Variance with respect to a property may be approved if the Variance:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- (d) is compatible with the area in which the property to be affected is situated.

SITE DESCRIPTION

- The subject property is located on Frontier Trail, in the Waverley West B neighbourhood of the Waverley West ward.
- The subject site is 40,531 square feet (3765 square metres) in area. The site is currently vacant.
- The subject site is accessed by a paved back lane.
- Under the *Complete Communities Direction Strategy 2.0*, the site is within the Recent Community policy area. The property is zoned "RMU" Residential Mixed-Use District.



Figure 1: Aerial photo of subject site and surrounding area (flown 2024)

SURROUNDING LAND USE AND ZONING (See Figure 2)

North: Albright Road, then vacant land zoned “RMF-M” Residential Multi-Family Medium.

South: Greenspace Zoned “PR1” Parks and Recreation Passive Neighbourhood/Community.

East: A paved rear lane, then vacant land zoned “RMF-S” Residential Multi-Family Small.

West: Frontier Trail, then vacant land zoned “RMF-M” Residential Multi-Family Medium.



Figure 2: Zoning of the site and surrounding area.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

- The applicant intends to construct three multi-unit residential stacked townhouse buildings, with a total of 50 units.
- The applicant is proposing a 1:1 parking ratio with 50 parking stalls.
- The parking stalls are accessed by the rear lane.
- There are two fully enclosed bike storage locations with capacity for 13 bikes each.
- The proposed buildings are three stories (38 feet) tall.
- The property is located within the *Waverley West Neighbourhood “B” Secondary Plan*.

ANALYSIS AND ISSUES

COMPLETE COMMUNITIES DIRECTION STRATEGY 2.0

CCDS 2.0 is one of four direction strategies supporting OurWinnipeg, the city's long-range development plan, and has statutory authority as a secondary plan. The strategy guides land use and development in Winnipeg.

The subject property is located in an Established Neighbourhood designated as a "Recent Community" as outlined in CCDS 2.0.

- 1.0 Encourage compatible residential development within Established Neighbourhoods to build more Complete Communities and align with the City's residential intensification target.
- 1.1 Encourage residential development that positively contributes to neighbourhood character while expanding housing options for residents in a manner that is sensitive and complementary to existing development.
- 1.2 Increase the population within Established Neighbourhoods to contribute to the physical renewal and revitalization of older neighbourhoods.
- 1.5 Support up to mid-rise residential development in Established Neighbourhoods that is compatible with neighbourhood context
- 1.15 Low-rise residential uses will generally be encouraged to locate on arterial roads and collector roads where compatible with adjacent land uses and where they can be conveniently served with transit and local commercial amenities, and in consideration of the factors listed in Policy section 1.6.

WAVERLEY WEST NEIGHBOURHOOD "B" SECONDARY PLAN

- 3.2.2.1 Multi-family dwellings such as row dwellings, townhomes and multi-storey residential buildings, shall be the predominant style of development in the Medium Density Residential areas.
- 3.2.2.7 Ground entry and street oriented multi-family dwellings should take exclusive access from a back lane, unless a design solution can be provided, to the satisfaction of the Director of Public Works, that can address the following design considerations:
 - a. the availability of front yard areas for landscaping and tree growth;
 - b. adequate snow storage areas;
 - c. on-street parking capacity; and
 - d. street lighting.

ANALYSIS OF THE VARIANCES

1) A south side yard balcony projection of 6 feet (1.83 metres) instead of 3 feet (0.92 metres).

The proposed balconies project 3 feet over the permitted distance, leaving a separation of just over 3 feet to the property line. This line is adjacent to public reserve land, which will not be developed. The public reserve is approximately 65 feet wide, providing a large buffer between the projecting balconies and the next residential uses. This buffer is significantly larger than the required side yard, which also serves as a buffer. Balconies of 6 feet provide additional outdoor space over balconies of 3 feet, which improves the livability of the attached suites. As the public

reserve provides a more than adequate buffer for these balconies from the nearby residential uses, this Variance is supportable.

2) 50 parking spaces instead of 75 spaces.

The applicant submitted a parking analysis study conducted by a registered professional engineer. The study highlighted several key points. These points included:

- Peak parking demand is expected to be 64 units, leading to a shortfall of 14 stalls
- The highest recorded parking observation for on-street parking used approximately 31% of the available supply.
- Under a worst-case scenario where the adjacent sites are fully developed and there is a combined shortfall of 37 spaces, only 50% of the available on-street parking would be required.
- The location is in close proximity to Bridgwater Centre and the University of Manitoba, and there are existing and planned active transportation networks and supports for alternative means of transportation, which reduce the need for parking further.
- These points ensure the development will integrate into the neighbourhood without causing significant parking disruptions.

Given the provided study, a parking reduction from 75 to 50 spaces (a ratio of 1:1 parking stall per unit) is supportable.

3) For the establishment of an accessory parking area to permit no visitor parking spaces instead of 8 spaces.

The same study as above applies to guest parking. As there is ample on-street parking available, this Variance is supportable.

4) For the establishment of an accessory parking area to permit no buffering of parking area located within 20 feet of a side or rear lot line abutting or adjacent to a residential zoning district.

The *Waverley West Neighbourhood "B" Secondary Plan* directs access to be taken from the back lane. As the proposal has all parking taking access directly from the back lane, as recommended, it is impossible to provide a buffer. For this reason, the Variance is supportable.

CONDITIONS OF APPROVAL

- 1) That, if any variance granted by this order is not established within two (2) years of the date hereof, this order, in respect of that Variance shall terminate.

REASONS FOR DECISION

In the context of Section 247(3), the Urban Planning and Design Division **approves** the application for the following reasons:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;

In that it is consistent with Complete Communities 2.0. and the Waverley West Neighbourhood “B” Secondary Plan.

- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;

In that it will not have a noticeable impact on the neighbouring properties.

- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and

In that it allows for a use supported by Complete Communities 2.0.

- (d) is compatible with the area in which the property to be affected is situated.

In that it conforms to the envisioned development of the surrounding area.

OURWINNIPEG 2045 POLICY ALIGNMENT

City Building Objectives

1. Responsibly plan, prioritize and accommodate growth in areas that best support Complete Communities principles, to achieve this Plan’s sustainable development goals Facilitate growth and change strategically within Winnipeg’s unique Transformative Areas and Established Neighbourhoods, to enhance the ability of the urban environment to contribute towards this Plan’s goals.
2. Facilitate development opportunities that complete established communities, and plan new communities as complete and connected from the outset. New and existing communities are complete when they demonstrate: universally designed environments; mixed-income neighbourhoods; a continuum of housing types; multi-modal connections within and to elsewhere in the city; heritage conservation; opportunities for physical activity, social interaction, and access to healthy food, daily needs, employment, education, recreation, and green infrastructure.

WINNIPEG CLIMATE ACTION PLAN ALIGNMENT

Consideration was given to whether this report connects to any of the specific Goals and Objectives in the *WCAP* and it was determined the *WCAP* is not applicable to this specific report.

WINNIPEG POVERTY REDUCTION STRATEGY ALIGNMENT

Consideration was given to whether this report connects to any of the specific Goals and Objectives in the *PRS* and it was determined the *PRS* is not applicable to this specific report.

SUBMITTED BY

Department: Planning, Property and Development
Division: Urban Planning and Design
Prepared by: Sawyer Klassen, MCP
Date: Tuesday, May 12, 2026
File No. DAV 26-146628\C



PROPOSED STACKED TOWNHOMES
185 Frontier Trail

LIST OF DRAWINGS:

- A-01 COVER
- A-02 SITE PLAN
- A-03 LANDSCAPE PLAN
- A-04 PLANTING REFERENCE
- A-05 PROPOSED FRONT ELEVATION
- A-06 PROPOSED REAR ELEVATION
- A-07 PROPOSED SIDE ELEVATIONS
- A-08 FLOOR PLANS (BLDG. 100)
- A-09 FLOOR PLANS (BLDG. 200 & 300)
- A-10 TYPICAL FLOOR PLAN

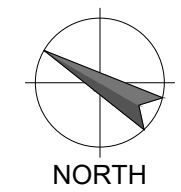
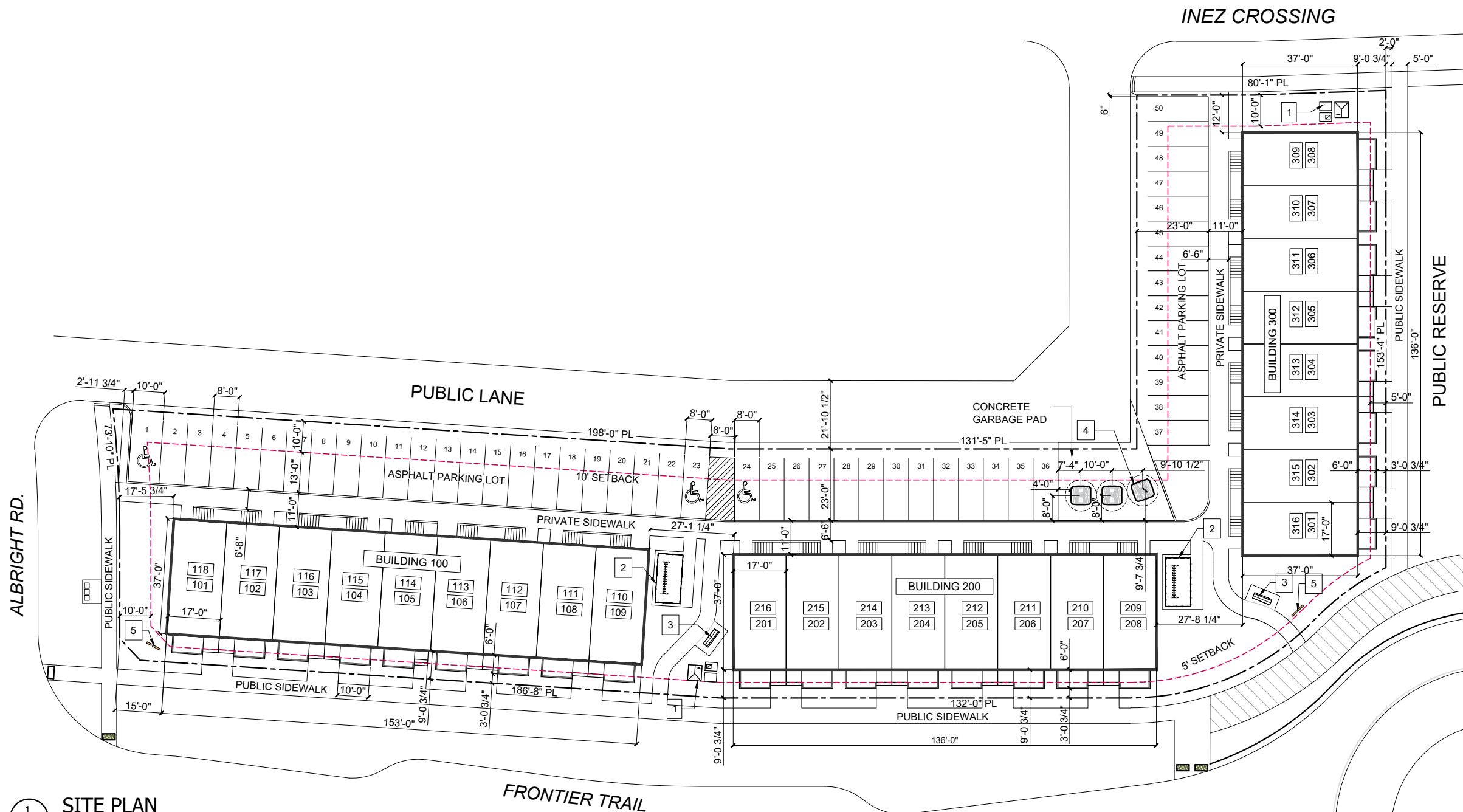
ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN

CONNECTION WITH: DAV 146628/2026C

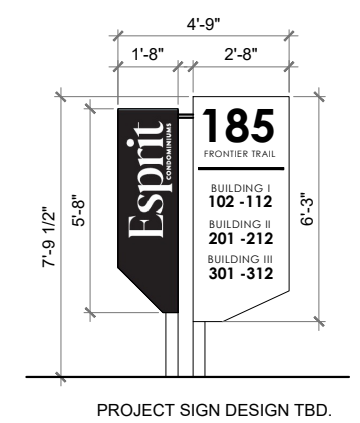
SHEET # 1 OF 7

DATE: May 20, 2026



- LEGEND:**
- PROPERTY LINE
 - - - SETBACK LINE
 - ▬ BUILDING FOOTPRINT

- NOTES:**
- 1 SERVICE UTILITIES
 - 2 FULLY ENCLOSED 8'x16' CHAIN LINK SECURE STORAGE FOR 13 BIKES
 - 3 BENCH (TYPICAL)
 - 4 GARBAGE/ RECYCLING
 - 5 PROJECT SIGNAGE



1 SITE PLAN
A-00 SCALE: NTS

PROPOSED DEVELOPMENT:

50 STACKED TOWNHOMES
185 FRONTIER TRAIL
WINNIPEG, MANITOBA

LEGAL DESCRIPTION

LOT 1, BLOCK 11 PLAN 70195 WLTO
IN OTM LOTS 1 TO 7 PARISH OF ST. VITAL

LOT AREA: 40,493 SF (0.92 ACRES)

BUILDING CODE ANALYSIS

DESIGN SPECIFICATIONS TO BE RESIDENTIAL
AND IN ACCORDANCE WITH PART 9 OF THE
MANITOBA BUILDING CODE 2024 FOR NEW
BUILDINGS OF 3 STOREY OR LESS IN
BUILDING HEIGHT AND AREA NOT EXCEEDING
600 SQ.M (6455 SQ.FT.)

ZONING:

RMU VARIANCES AS PER DAV216033/2019.
TABLE 5-4: CITY OF WINNIPEG BY-LAW
NO. 200/2006, PART 5

FRONT YARD: 5'
REAR YARD: 10'
NORTH CORNER SIDE YARD: 10'
EAST CORNER SIDE YARD: 10'

MINIMUM BUILDING SEPARATION: 8'
PROVIDED: 27'-1" (MIN.)
MAXIMUM BUILDING HEIGHT: 100'
PROVIDED: 38'-0"

PARKING:

1.5 STALLS/DWELLING UNIT.
REQUIRED= 50 x 1.5 = 75 STALLS
PROPOSED = 50 STALLS, VARIANCE REQ'D

ACCESSIBLE PARKING:

REQUIRED= 3 STALLS
1 VAN ACCESSIBLE STALL
PROVIDED= 3 STALLS
2 VAN ACCESSIBLE STALL

VISITOR PARKING:

REQUIRED= 6 STALLS
PROVIDED= 0
VARIANCE REQUIRED.

BICYCLE STORAGE :

REQUIRED= 8
PROVIDED= 26

GARBAGE:

2 IN-GROUND GARBAGE BINS & 1
IN-GROUND RECYCLE BIN FOR
WEEKLY COLLECTION BY CITY OF
WINNIPEG WATER & WASTE
DEPARTMENT.

NOTES:

AREAS UNDER CONSTRUCTION
WILL BE FENCED OFF WITH
TEMPORARY METAL FENCE.

NUMBER OF UNITS: 50

BUILDING #	# OF UNITS	FOOTPRINT AREA
100	18	5661 SF
200	16	5032 SF
300	16	5032 SF

UNIT INFORMATION:

TYPE	LIVING AREA	# OF UNITS
A	1298 SF	25 UNITS
B	1218 SF	25 UNITS

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN
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SHEET # 2 OF 7

DATE: May 20, 2026

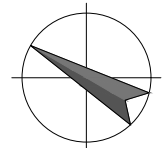
ZONING AND PERMIT BRANCH

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SHEET # 3 OF 7

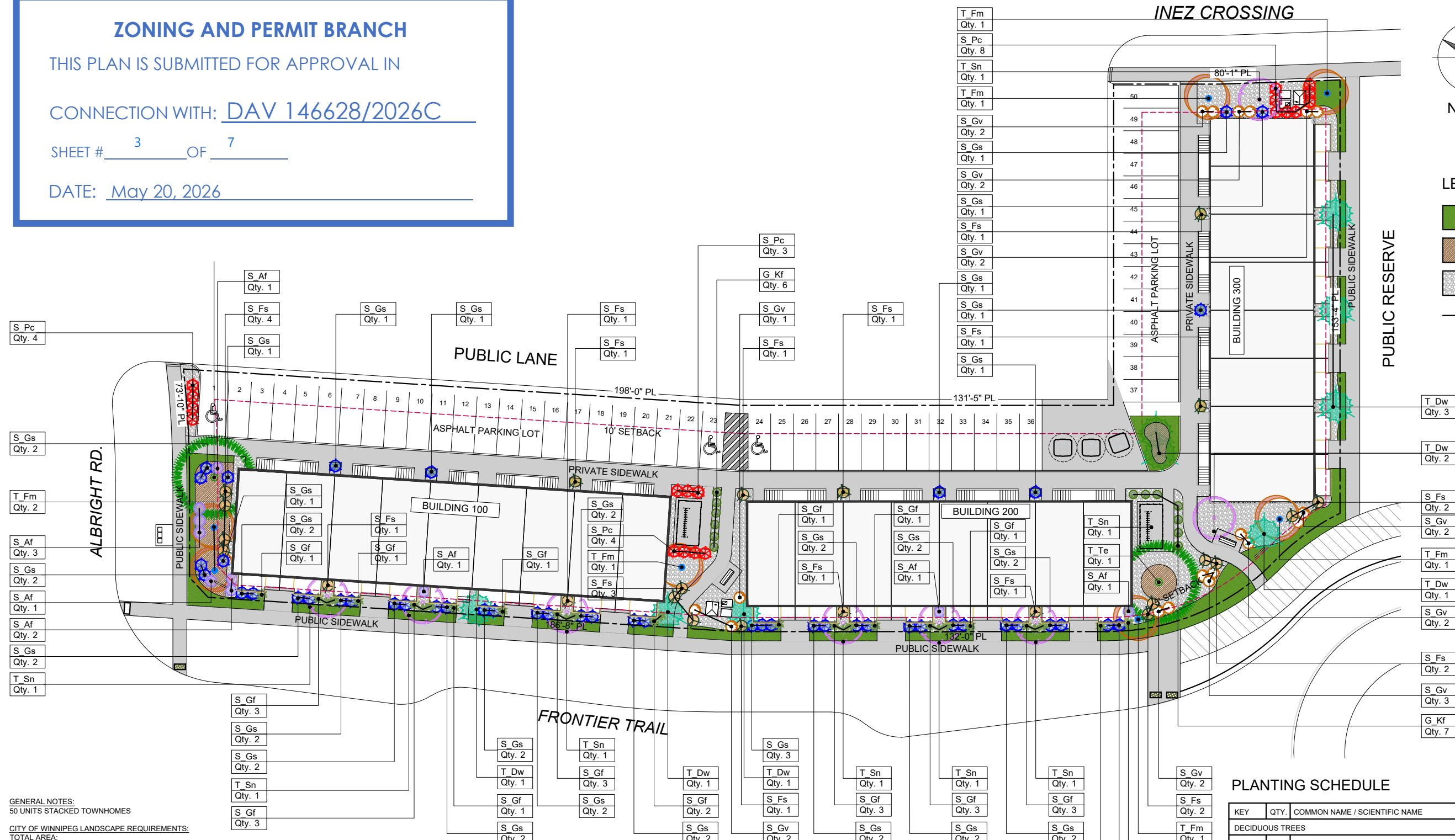
DATE: May 20, 2026



NORTH

LEGEND:

- SOD
- ROCK/MULCH PLANTING BED
- ROCK GARDEN
- PROPERTY LINE



PLANTING SCHEDULE

KEY	QTY.	COMMON NAME / SCIENTIFIC NAME	LOCATION
DECIDUOUS TREES			
T_Dw	9	Dwarf Korean Lilac - Tree Form	Frontier Trail, Public Reserve
T_Fm	7	Flame Amur Maple	Inez Crossing, Frontier Trail, Albright Rd.
T_Sn	8	Spring Snow Flowering Crabapple/ Malus 'Spring Snow'	Inez Crossing, Frontier Trail, Parking
T_Te	2	Triumph Elm	Frontier Trail, Albright Rd.
DECIDUOUS SHRUBS			
S_Af	10	Aurora False Spirea	Frontier Trail, Albright Rd.
S_Fs	23	Froebellii Spirea	Frontier Trail, Parking
S_Gf	29	Goldflame Spirea	Frontier Trail
S_Gs	47	Goldmound Spirea/ Spiraea japonica 'Goldmound'	Frontier Trail, Albright Rd., Parking
S_Gv	18	Golden Variegated Dogwood	Inez Crossing, Frontier Trail
S_Pc	19	Pygmy peashrub	Inez Crossing, Frontier Trail, Parking
GRASS			
G_Kf	13	Karl Foerstera	Private Sidewalk

GENERAL NOTES:

50 UNITS STACKED TOWNHOMES

CITY OF WINNIPEG LANDSCAPE REQUIREMENTS:

TOTAL AREA:
• 40,493 SQ FT (0.92 ACRE)

STREET EDGE LANDSCAPING (FRONTIER TRAIL):

• 413 ft. STREET FRONTAGE
• TREES REQUIRED: 14 ; PROVIDED: 14
• SHRUBS REQUIRED: 62; PROVIDED: 63

STREET EDGE LANDSCAPING (ALBRIGHT RD.):

• 84 ft. STREET FRONTAGE
• TREES REQUIRED: 3; PROVIDED: 3
• SHRUBS REQUIRED: 13; PROVIDED: 17

STREET EDGE LANDSCAPING (INEZ CROSSING):

• 80 ft. STREET FRONTAGE
• TREES REQUIRED: 3; PROVIDED: 3
• SHRUBS REQUIRED: 12; PROVIDED: 12

BUILDING FOUNDATION LANDSCAPING

37' FACADE FACING ALBRIGHT RD.
SHRUBS REQUIRED: 4; PROVIDED: 4

BUILDING FOUNDATION LANDSCAPING

37' FACADE FACING INEZ CROSSING
SHRUBS REQUIRED: 4; PROVIDED: 4

BUILDING FOUNDATION LANDSCAPING

289' FACADE FACING FRONTIER TRAIL
SHRUBS REQUIRED: 29; PROVIDED: 29

PARKING LANDSCAPING :

TREES REQUIRED: 3; PROVIDED: 3
SHRUBS REQUIRED: 8; PROVIDED: 17

TOTAL TREES REQUIRED FOR THIS DEVELOPMENT: 23

TREES (26 TREES PROVIDED)
TOTAL SHRUBS REQUIRED FOR THIS DEVELOPMENT: 132
SHRUBS (146 PROVIDED)

WHERE STANDARDS FOR LANDSCAPING OF TWO AREAS

OVERLAP, OR ARE INCONSISTENT, THE STANDARD
REQUIRING MORE LANDSCAPING GOVERNS. C.O.W. BYLAW
200.2006 190(1)

DRAWING NOTES:

MINIMUM PLANT SIZES:

- DECIDUOUS TREES LOCATED WITHIN 5 FEET OF A

WALKWAY, PATH, OR PATHWAY: 2-1/2 INCH CALIPER, AND
OF SPECIES THAT NORMALLY HAVE LOWER BRANCHES AT
LEAST 6 FEET ABOVE GRADE AT MATURITY.

- DECIDUOUS TREES NOT LOCATED WITHIN 5 FEET OF
WALKWAY, PATH OR PATHWAY: 1-3/4 INCH CALIPER.

- CONIFEROUS TREES: 6 FEET HIGH AT THE TIME OF
PLANTING.

- ALL SHRUBS: 2 GALLON CONTAINER, AND OF SPECIES
THAT CAN REMAIN HEALTHY WHEN TRIMMED SO GROUND
COVER, ANNUALS, AND PERENNIALS: NO MINIMUM SIZE.

PLANTING BEDS:

- MINIMUM SOIL DEPTH TO BE 450mm. PLANTING BEDS WITH
TREES MINIMUM DEPTH TO BE 900 mm.

- BLACK PLASTIC EDGER ALONG ALL SODDED EDGES.

- 100mm DEPTH STONE BED ON FILTER FABRIC.

- PLANT SELECTIONS TO BE CONFIRMED BY CONTRACTOR

TO MEET ALL CITY OF WINNIPEG REQUIREMENTS.

CONTRACTOR TO SUPPLY AND INSTALL SOD IN ALL AREAS
INDICATED ON PLANTING PLAN TO CITY OF WINNIPEG
SPECIFICATIONS ALONG BOULEVARD.

SOD MAINTENANCE:

- SUBSEQUENT TO INSTALLATION, AN INSPECTION SHALL BE
MADE BY THE ADMINISTRATOR WHO WILL VERIFY
SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL
MAINTAIN THE SOD FOR 30 DAYS.

- THE CONTRACTOR SHALL MOW THE TURF AREA AT
REGULAR INTERVALS TO A HEIGHT OF 50-60mm. NOT MORE
THAN 30% OF THE GRASS HEIGHT TO BE CUT AT ANY ONE
MOWING.

- THE CONTRACTOR SHALL WATER SODDED AREAS IN
SUFFICIENT QUANTITIES AND FREQUENCY TO MAINTAIN
SOIL CONTINUOUSLY MOIST TO MIN DEPTH OF 100mm.

- BOULEVARD SOD & TREES BY OTHERS.

TREES:



TRIUMPH ELM



DWARF KOREAN LILAC - TREE FORM



FLAME AMUR MAPLE CRABAPPLE



SPRING SNOW FLOWERING CRABAPPLE

GRASS:



KARL FOERSTER

SHRUBS:



AURORA FALSE SPIREA



FROEBELII SPIREA



GOLDFLAME SPIREA



GOLDMOUND SPIREA



GOLDEN VARIEGATED DOGWOOD



PYGMY PEASHRUB

PLANTING SCHEDULE

KEY	QTY.	COMMON NAME / SCIENTIFIC NAME	LOCATION
DECIDUOUS TREES			
T_Dw	9	Dwarf Korean Lilac - Tree Form	Frontier Trail, Public Reserve
T_Fm	7	Flame Amur Maple	Inez Crossing, Frontier Trail, Albright Rd.
T_Sn	8	Spring Snow Flowering Crabapple/ Malus 'Spring Snow'	Inez Crossing, Frontier Trail, Parking
T_Te	2	Triumph Elm	Frontier Trail, Albright Rd.
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S_Fs	23	Froebelii Spirea	Frontier Trail, Parking
S_Gf	29	Goldflame Spirea	Frontier Trail
S_Gs	47	Goldmound Spirea/ Spiraea japonica 'Goldmound'	Frontier Trail, Albright Rd., Parking
S_Gv	18	Golden Variegated Dogwood	Inez Crossing, Frontier Trail
S_Pc	19	Pygmy peashrub	Inez Crossing, Frontier Trail, Parking
GRASS			
G_Kf	13	Karl Foerstera	Private Sidewalk

ZONING AND PERMIT BRANCH

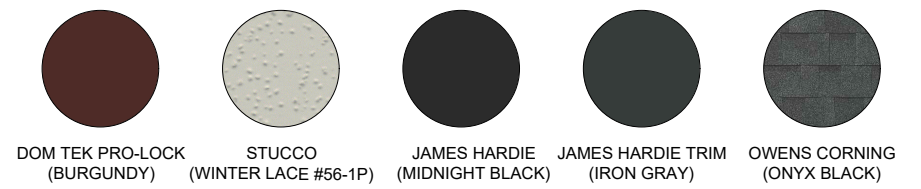
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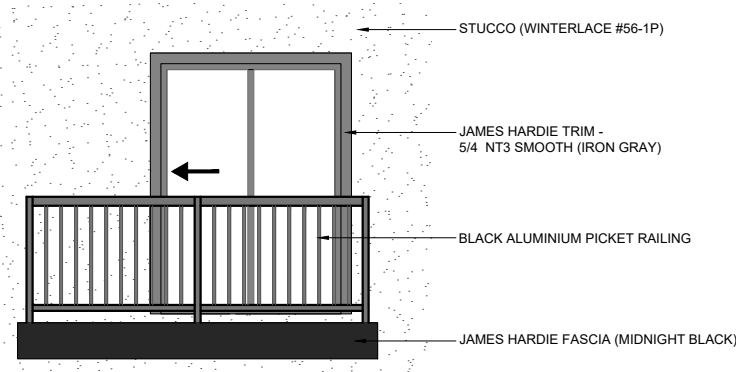
SHEET # 4 OF 7

DATE: May 20, 2026

FINISHES COLOR REFERENCE IMAGE



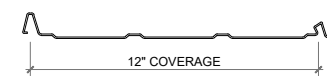
1 FRONT ELEVATION (ALONG FRONTIER TRAIL)
SCALE: NTS



2 BLOW-UP 1
SCALE: 3/16" = 1'-0"



3 BLOW-UP 1
SCALE: 3/16" = 1'-0"



4 DOM TEK PRO-LOCK PROFILE
SCALE: NTS

ZONING AND PERMIT BRANCH

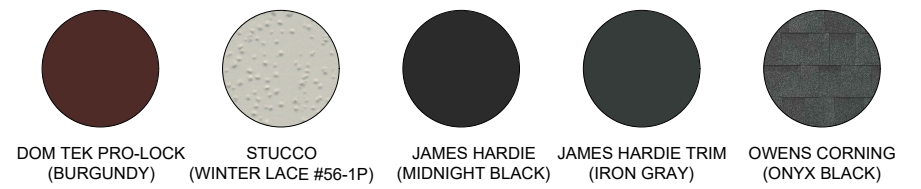
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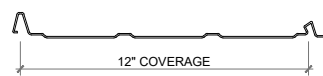
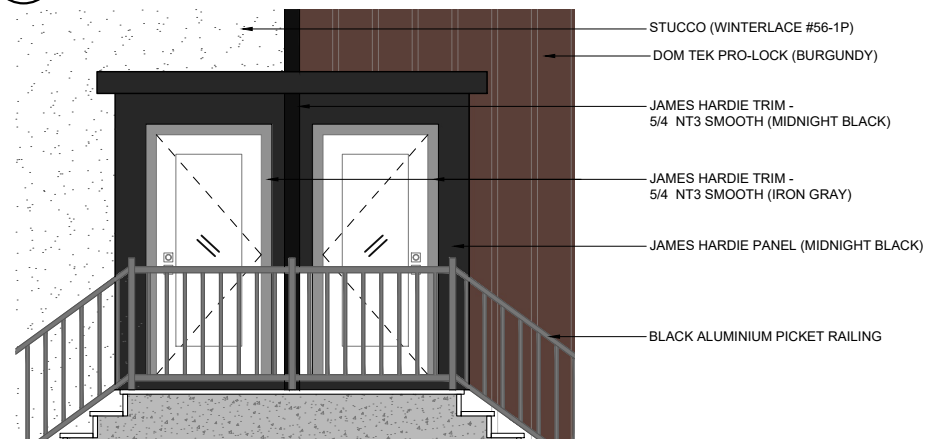
SHEET # 5 OF 7

DATE: May 20, 2026

FINISHES COLOR REFERENCE IMAGE



1 REAR ELEVATION
SCALE: NTS



2 BLOW-UP 1
SCALE: 3/16" = 1'-0"

3 SIDING & TRIM DETAIL
SCALE: NTS

ZONING AND PERMIT BRANCH

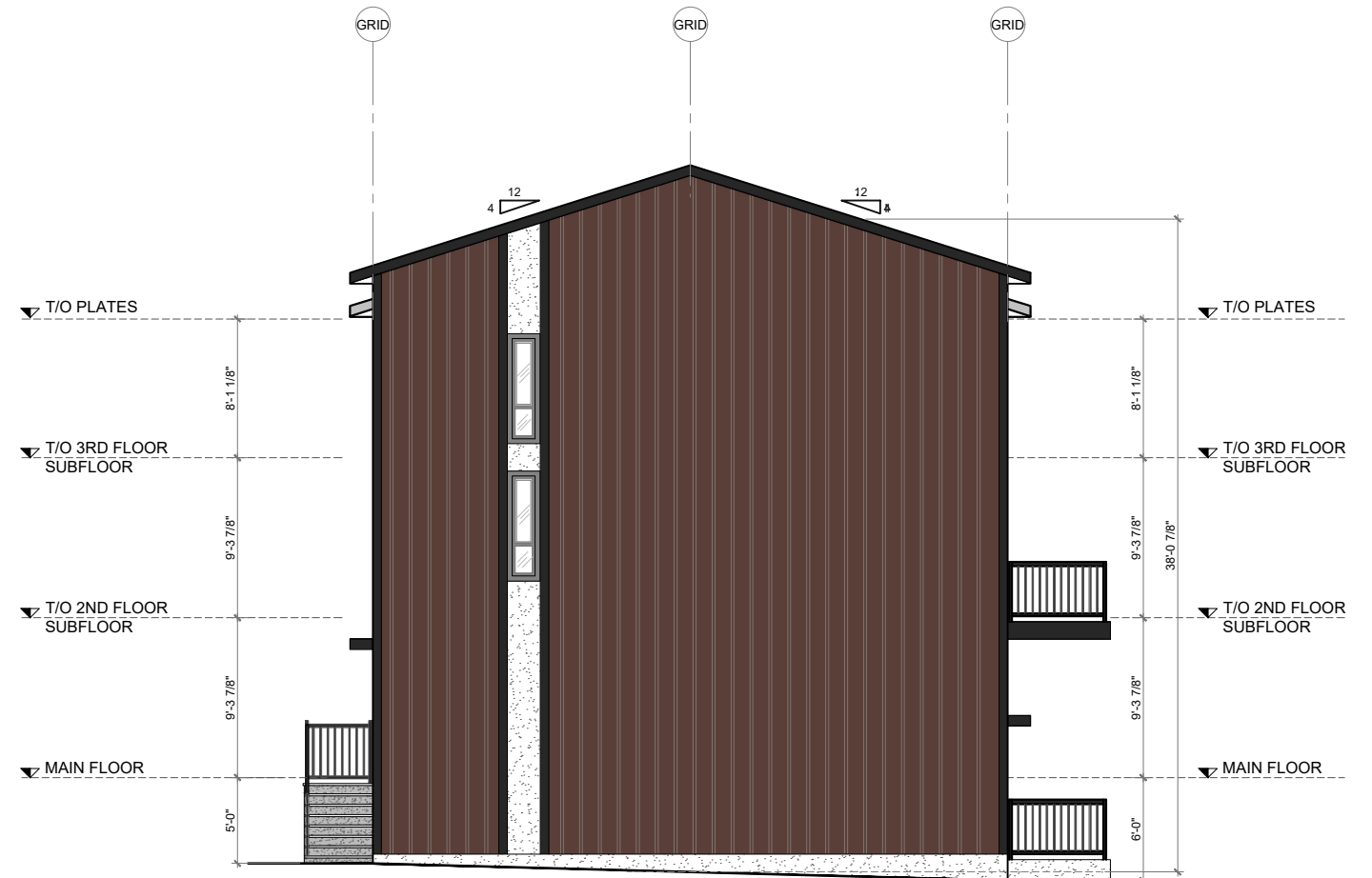
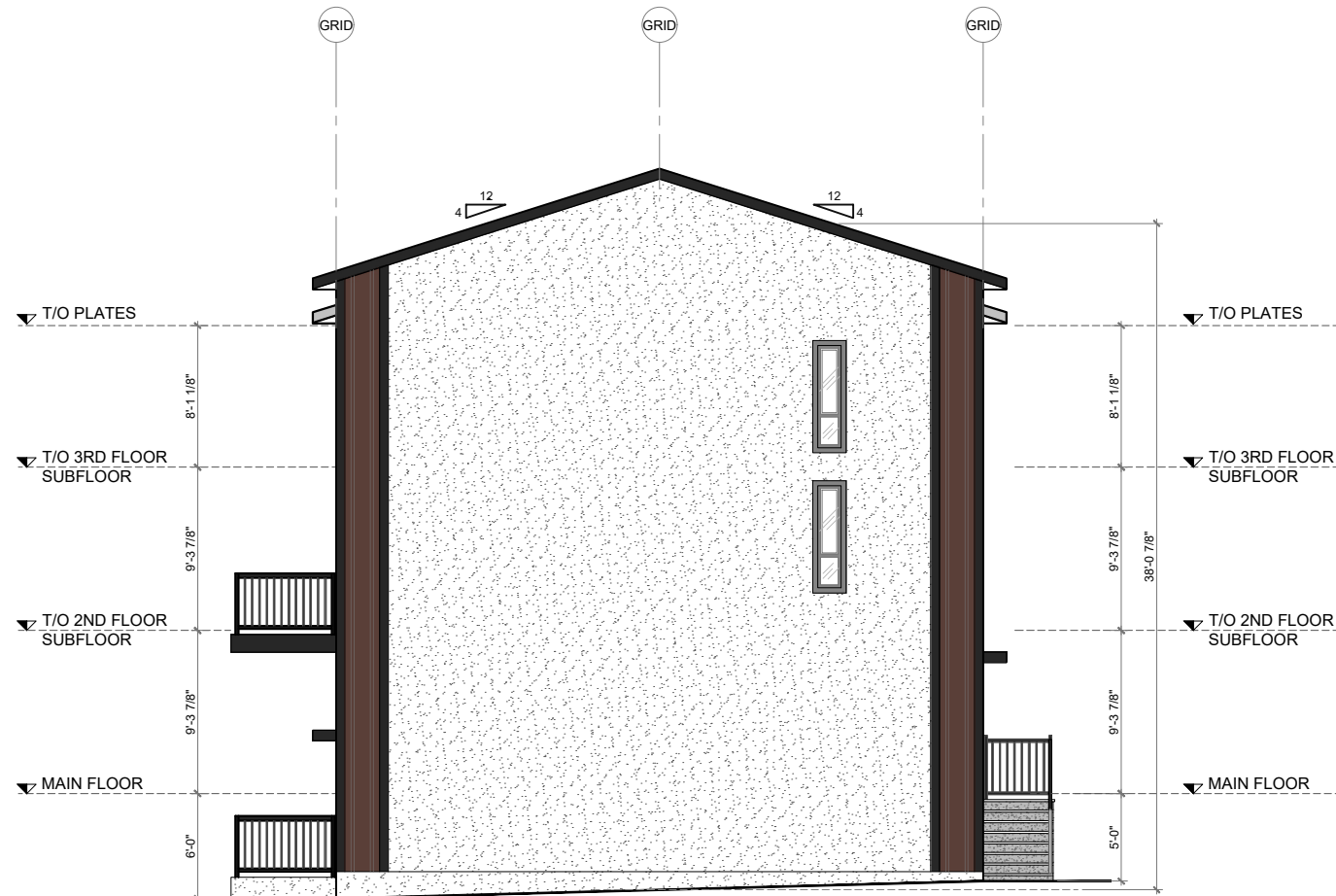
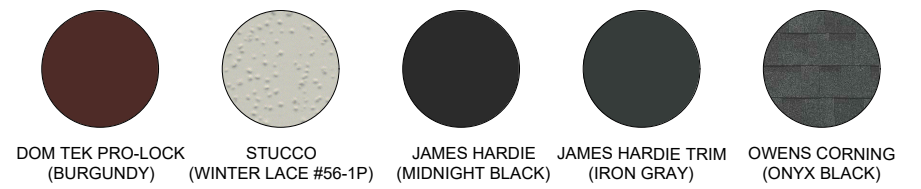
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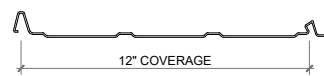
FINISHES COLOR REFERENCE IMAGE



1 RIGHT SIDE ELEVATION (FACING BLDG. 200)
CD-2.3 SCALE: NTS

2 LEFT SIDE ELEVATION (FACING ALBRIGHT RD.)
CD-2.3 SCALE: NTS

NOTE:
THIS ENHANCED ELEVATION APPLIES TO
SOUTH WALL OF BUILDING 200, AND TO
THE EAST & WEST WALL OF BUILDING 300.



3 DOM TEK PRO-LOCK PROFILE
CD-2.3 SCALE: NTS

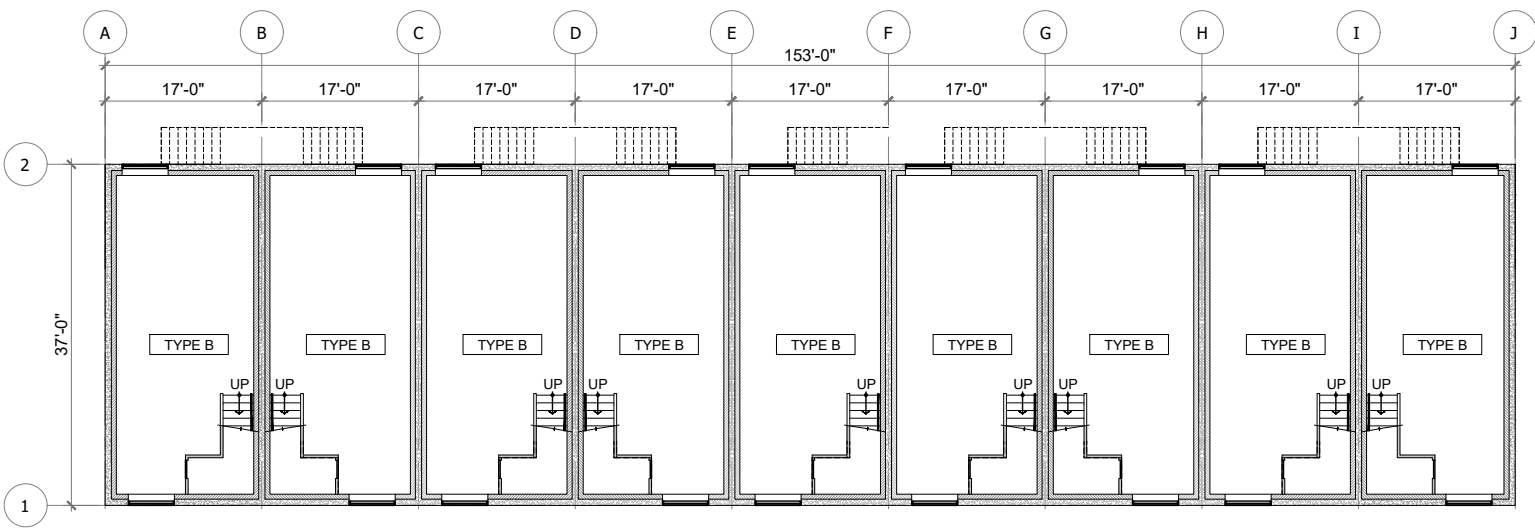
ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN

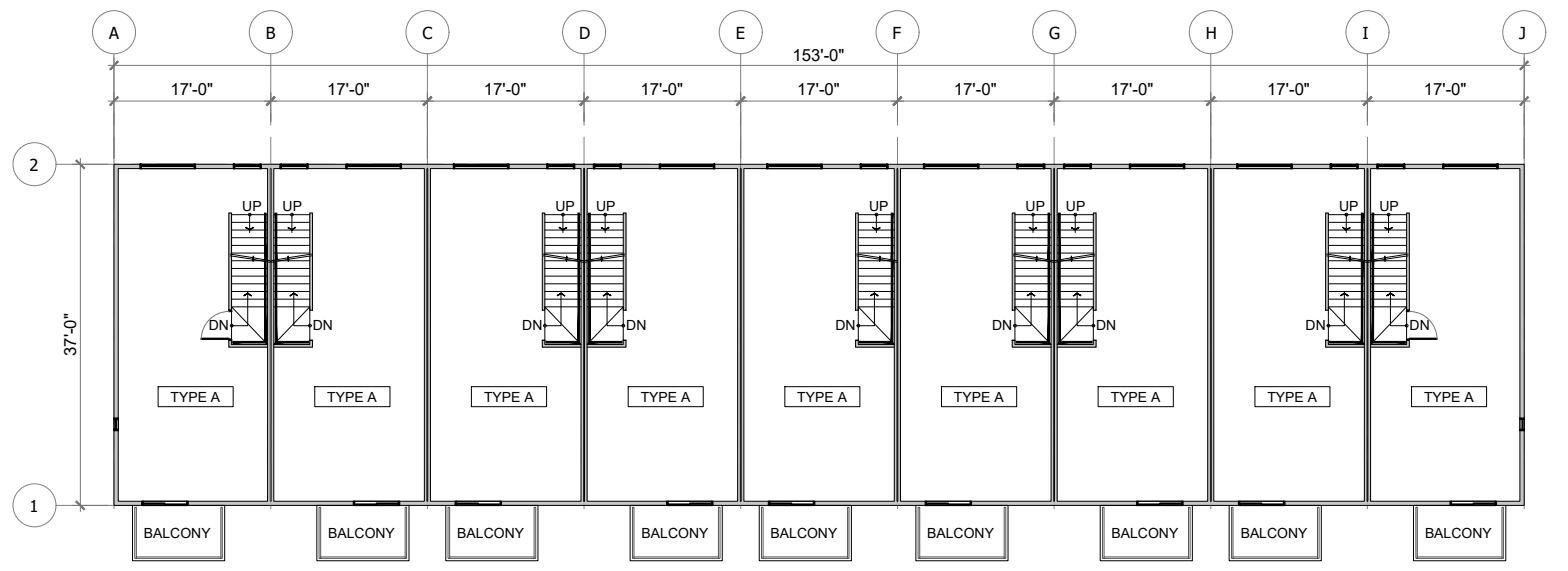
CONNECTION WITH: DAV 146628/2026C

SHEET # 7 OF 7

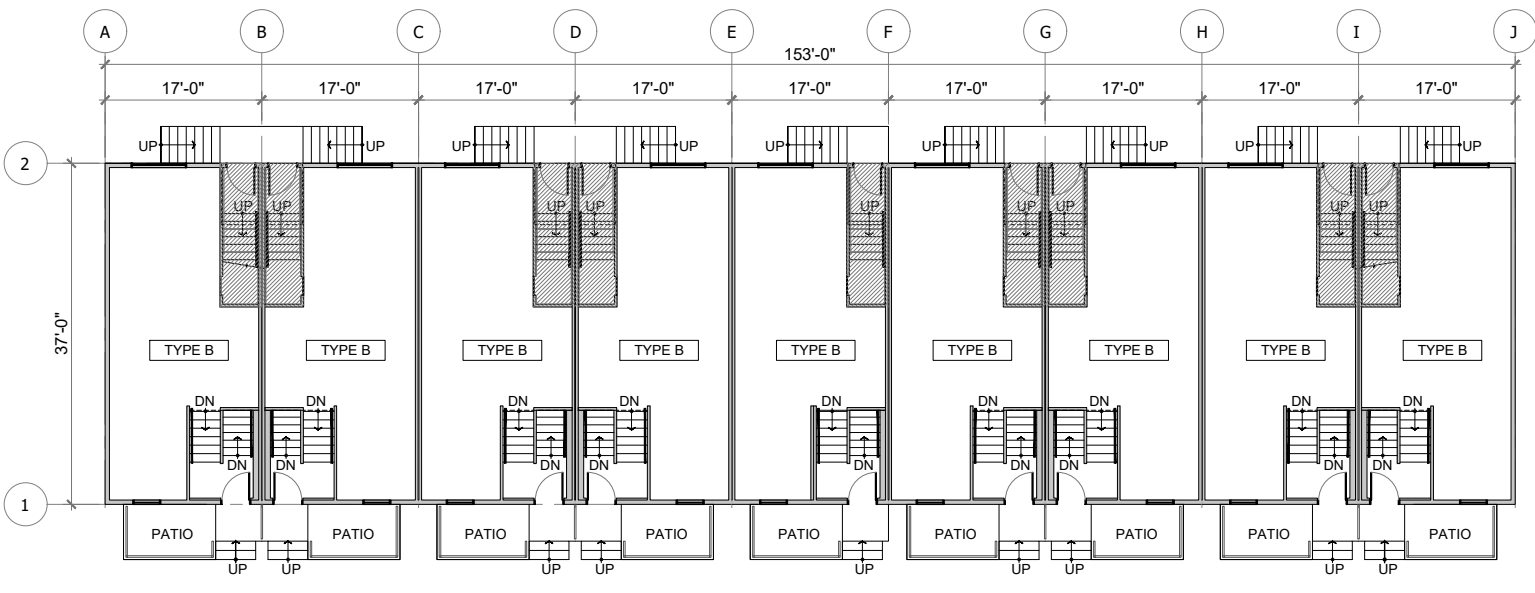
DATE: May 20, 2026



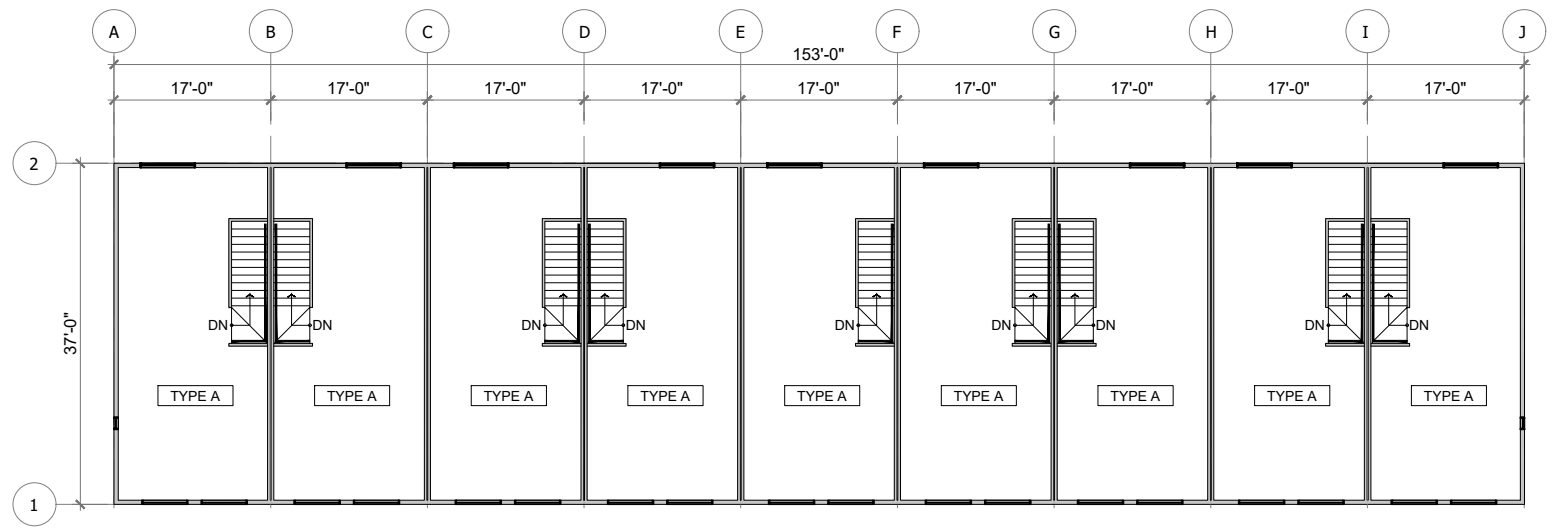
1 **BASEMENT PLAN**
 A-08 SCALE: NTS



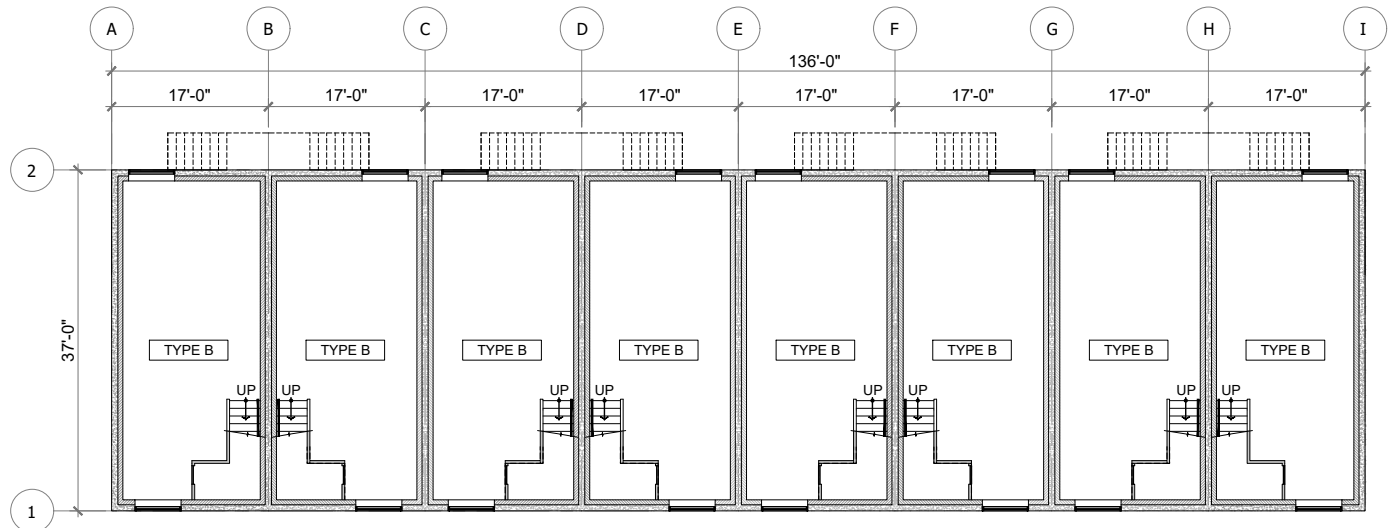
3 **2ND FLOOR PLAN**
 A-08 SCALE: NTS



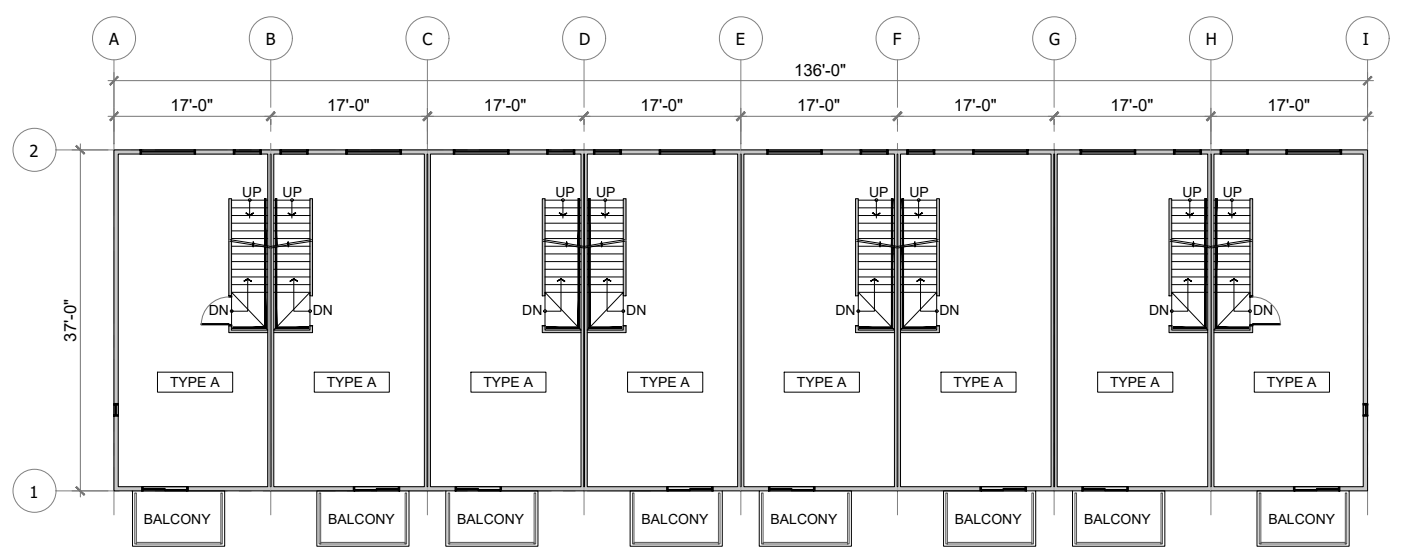
2 **MAIN FLOOR PLAN**
 A-08 SCALE: NTS



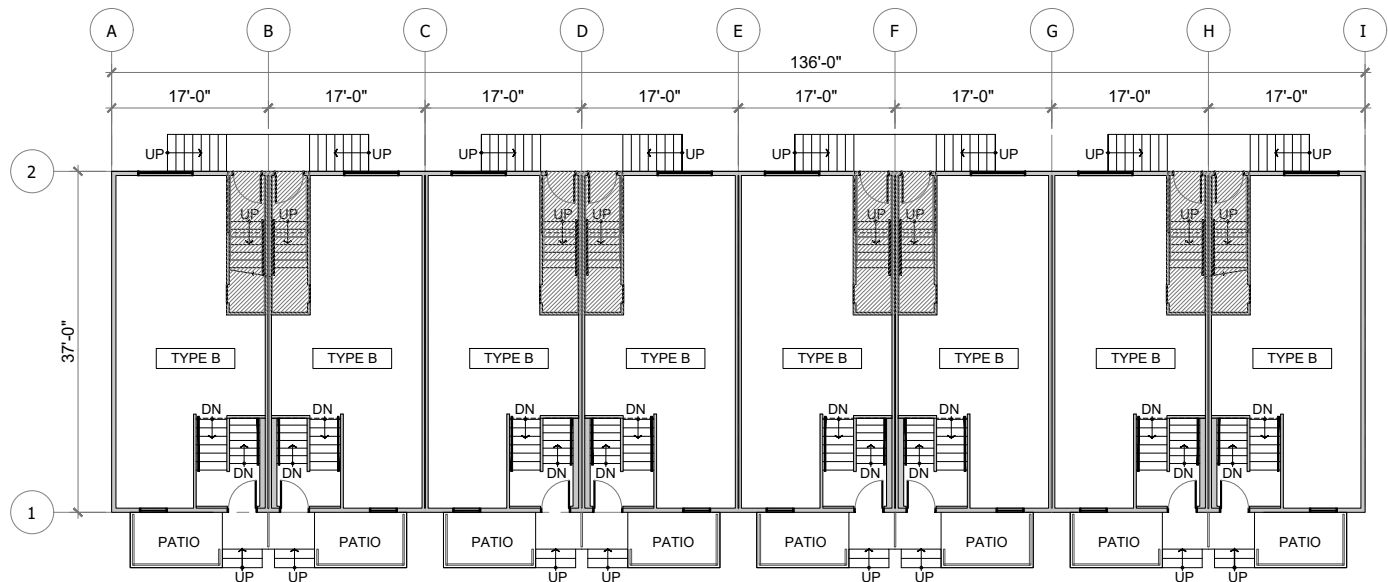
4 **3RD FLOOR PLAN**
 A-08 SCALE: NTS



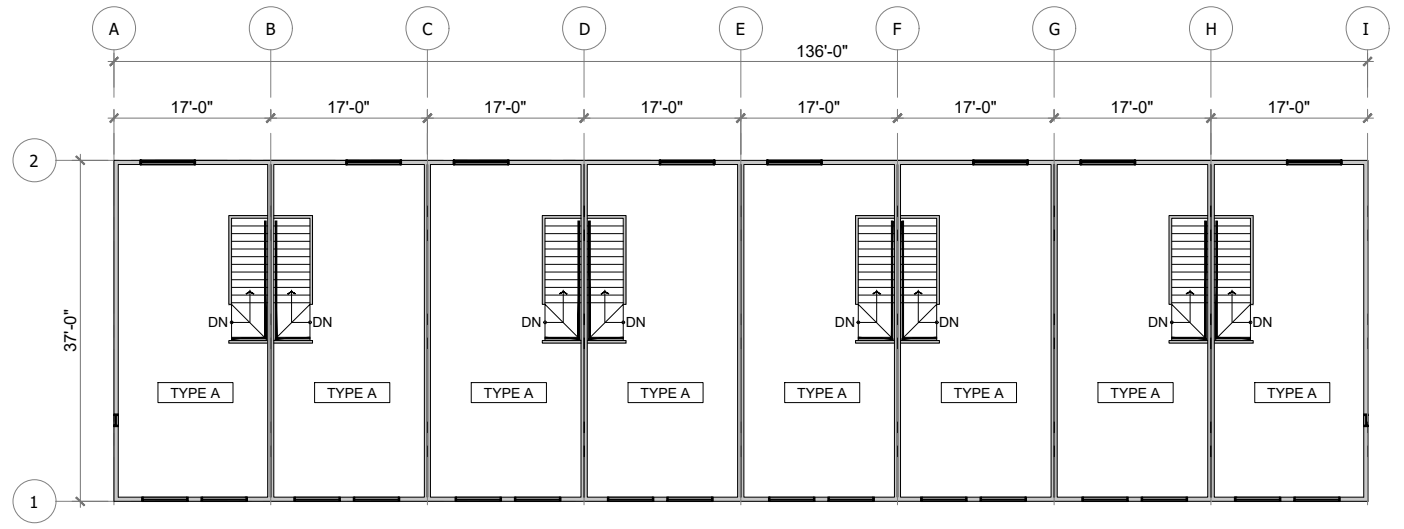
1 **BASEMENT PLAN**
 A-09 SCALE: NTS



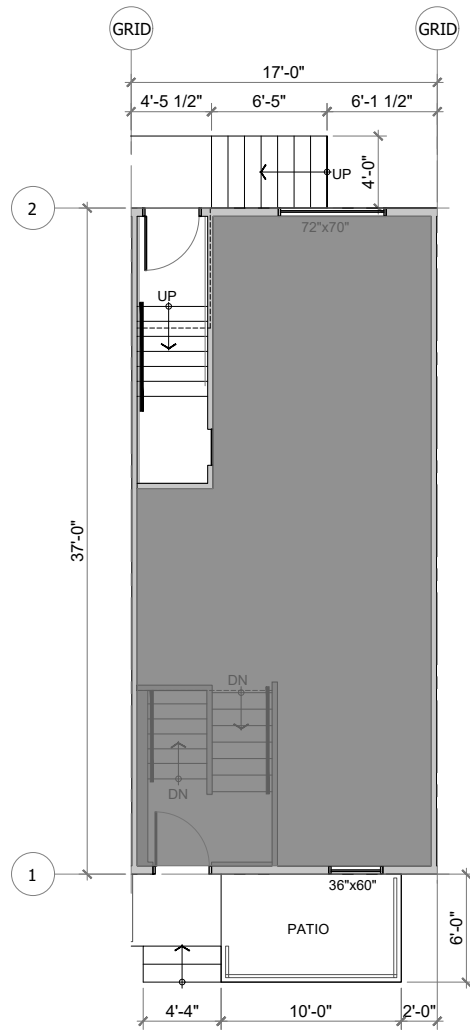
3 **2ND FLOOR PLAN**
 A-09 SCALE: NTS



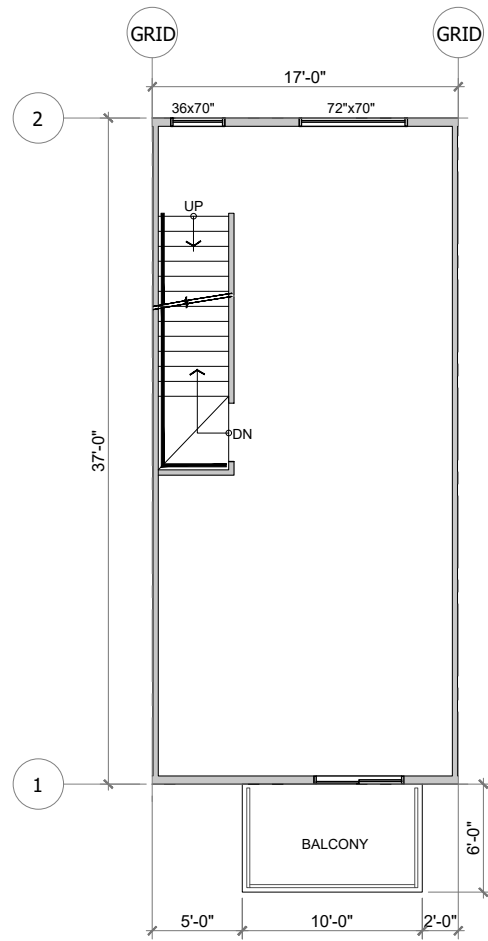
2 **MAIN FLOOR PLAN**
 A-09 SCALE: NTS



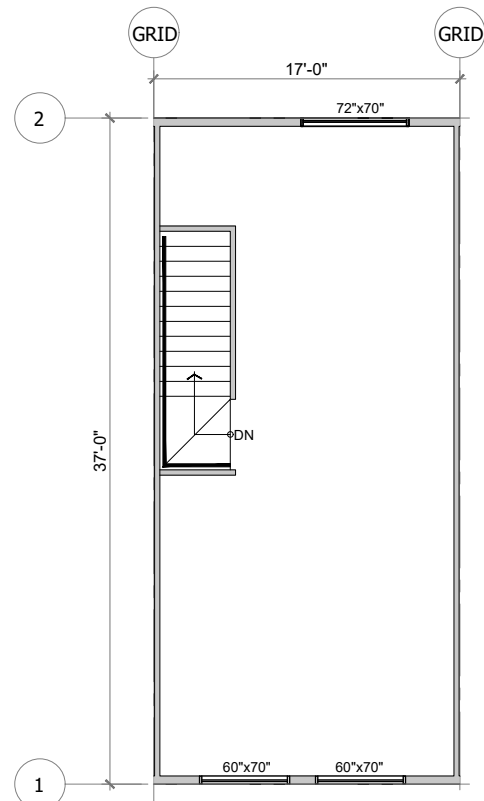
4 **3RD FLOOR PLAN**
 A-09 SCALE: NTS



3 MAIN FLOOR PLAN
A-03 SCALE: NTS

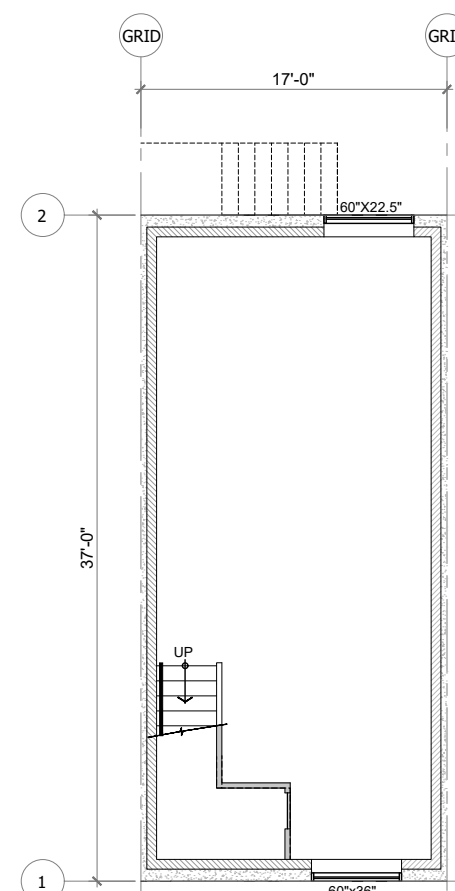


4 2ND FLOOR PLAN
A-03 SCALE: NTS

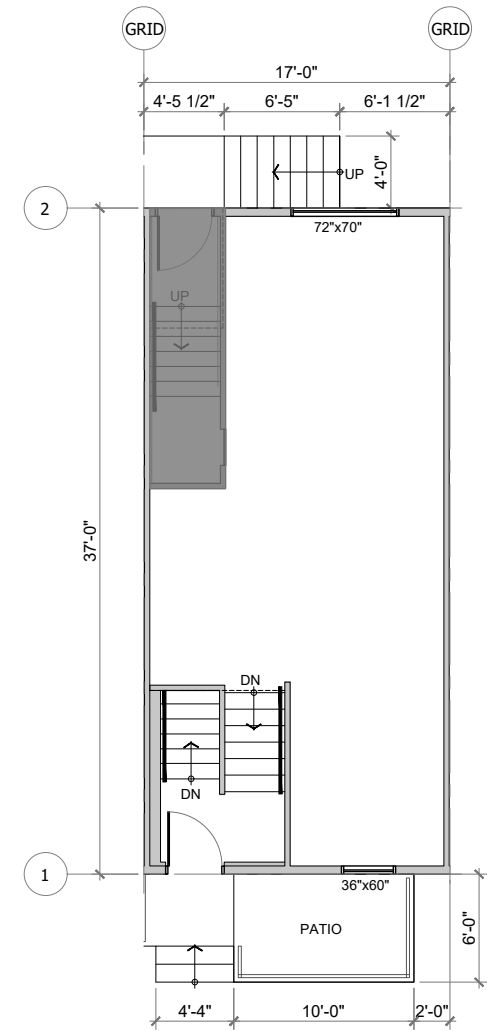


5 3RD FLOOR PLAN
A-03 SCALE: NTS

TYPE A



1 BASEMENT PLAN
A-03 SCALE: NTS



2 MAIN FLOOR PLAN
A-03 SCALE: NTS

TYPE B