

ADMINISTRATIVE REPORT

Title: DCU 26-149994\C – 394 Selkirk Ave

Issue: The City of Winnipeg approved an application for a 14-bed single room occupancy.

Critical Path: Director of Planning, Property, and Development

AUTHORIZATION

Author	Department Head	CFO	CAO
S. Jerez, RPP MCIP	n/a	n/a	

DECISION AND CONDITIONS

The Urban Planning and Design Division **approves** the application for a conditional use under Zoning By-Law No. 200/2006 to permit the establishment of a single room occupancy use exceeding 12 beds.

Subject to the following conditions:

- 1) That the development shall be constructed in substantial conformance with the plans submitted under File No. DCU 26-149994\C and thereafter maintained to the satisfaction of the Director of Planning, Property and Development;

OR

That the Owner must submit plans showing the location and design of any and all proposed:

- i. buildings;
- ii. accessory parking areas;
- iii. driveways;
- iv. garbage enclosures;
- v. fencing;
- vi. freestanding signage and
- vii. landscaping

on the Owner's Land ("Works") to the Director of Planning, Property and Development for approval prior to the issuance of any building or development permit, and thereafter must construct the Works in substantial conformance with the approved plans and maintain the Works to the satisfaction of the Director.

- 2) That if any development granted by the Order is not established within two (2) years of the date thereof, the Order, in respect of that Conditional Use shall terminate.

REASON FOR THE REPORT

- The applicant is proposing to build a single-room occupancy building and requires a Conditional Use for the number of beds per the *Winnipeg Zoning By-Law*.
- This report provides information regarding the subject application's compliance with *The City of Winnipeg Charter*, section 249.

FILE/APPLICANT DETAILS

FILE: DCU 26-149994\IC
RELATED FILES: DAV 149779/26C
COMMUNITY: Lord Selkirk - West Kildonan Committee
NEIGHBOURHOOD #: 3.339 - Lord Selkirk Park

SUBJECT: For a Conditional Use under Zoning By-Law No. 200/2006 to permit the establishment of a single room occupancy use exceeding 12 beds.

LOCATION: 394 Selkirk Ave
LEGAL DESCRIPTION: LOT 1 DASSF 536/2019

APPLICANT: Erin Riediger (Prairie Architects Inc.)
139 Market Ave Unit 101
Winnipeg, MB R3B 0P5

OWNER: North End Women's Centre Inc.
394 Selkirk Ave
Winnipeg, MB R2W 2M2

HISTORY

N/A

DISCUSSION

CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a Conditional Use with respect to a property may be approved if the Conditional Use:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (d) is compatible with the area in which the property to be affected is situated.

SITE DESCRIPTION

- The subject property is located on the south side of Selkirk Avenue between Salter Street and Aikins Street, in the Lord Selkirk Park neighbourhood of the Mynarski ward.
- The subject site is 6,718 square feet in area and is currently occupied by a two-storey building used as a social service facility.
- The subject site is accessed by an approach on Selkirk Avenue as the site is not served by a public lane.
- Under the *Complete Communities Direction Strategy 2.0*, the site is within the Urban Mixed Use Corridor policy area. The property is zoned "C2" Commercial Community.

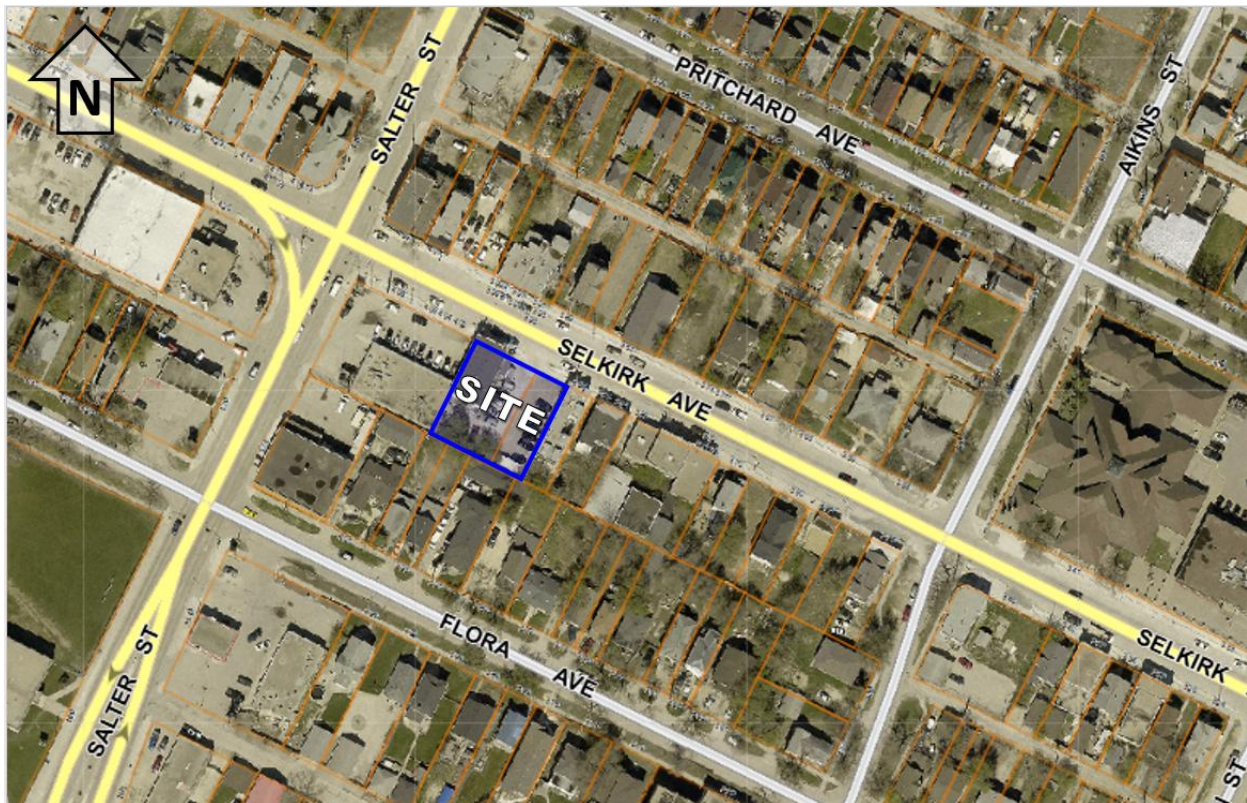


Figure 1: Aerial photo of subject site and surrounding area (flown 2024)

SURROUNDING LAND USE AND ZONING (See Figure 2)

North: Selkirk Avenue.

South: Single- and two-family dwellings zoned “R2” Residential Two-family.

East: A surface parking lot, single-room occupancy building, and commercial uses zoned “C2” Commercial Community.

West: Commercial uses zoned “C2” Commercial Community, then Salter Street.



Figure 2: Zoning of the site and surrounding area

DESCRIPTION OF THE PROPOSED DEVELOPMENT

- The site is occupied by the North End Women's Centre (NEWC), which provides a safe place for women and gender-diverse folks and Children in the North End/Point Douglas area.
- Due to space constraints, accessibility needs and building condition, the existing building does not adequately support the services the North End Women's Centre (NEWC) provides. The existing building will be updated, and a two-storey addition is proposed with increased space for programming as well as an 8-bed single-room occupancy. The letter of intent states that the current facility is in aging condition and does not meet current accessibility and building code standards. The proposed renovation and expansion will improve access and safety for the staff housing participants and visitors.
- The applicant intends to consolidate the subject site with 390 Selkirk Avenue, both under the same ownership (the North End Women's Centre), and to construct addition on the east side of the existing building at 394 Selkirk Avenue.

- The consolidation with 390 Selkirk Avenue would result in an increase of 3,360 square feet, for a total lot area of 10,078 square feet.
- The existing building has a social service facility with drop-in space on the ground floor, and a 6-bed single room occupancy (supportive housing) on the second floor.
- In addition to the subject application, the proposal requires Variances for reduced street edge landscaping, parking, and drive aisle width. Please see the associated Planning report for details (File DAV 26-149779/C).

COLLABORATION

- The applicant consulted with the Public Service to confirm support prior to submitting development applications.

ANALYSIS AND ISSUES

COMPLETE COMMUNITIES DIRECTION STRATEGY 2.0

- The *Complete Communities Direction Strategy 2.0* (CCDS 2.0) is a citywide secondary plan that guides growth, development, and land use in the city of Winnipeg.
- The subject site is located in the “Urban Mixed-use Corridor” policy area in CCDS 2.0. The proposal aligns with the following goals and policies:
 - Goal 1: Encourage strategic residential intensification on Corridors.
 - 1.1 *Support densities in accordance with Policy 3.1 of the General Growth section, at a height and scale compatible with surrounding land uses.*
 - Goal 3: Ensure Corridors provide a comfortable pedestrian environment and attractive public realm.
 - 3.1 *Ensure that development on Urban Mixed Use Corridors is designed to prioritize a comfortable pedestrian environment and attractive public realm through the use of design elements which may include, but are not limited to the following:*
 - 3.1.1 *Providing minimal building setbacks from the public right-of-way to define the street edge.*
 - 3.1.2 *Having entrances provide direct access to the public sidewalk.*
 - 3.1.3 *Promoting a fine-grained and transparent street-level façade with active ground floor uses.*
 - 3.1.4 *Encouraging balconies and public spaces, such as plazas, patios, or other pedestrian amenities.*
 - 3.1.7 *Promoting pedestrian-scale signage.*
 - 3.2 *Fine-grained local commercial uses and vertical mixed-use buildings with ground floor commercial uses will be encouraged.*
 - Goal 4: Use Corridors to provide local commercial amenities and opportunities for the surrounding neighbourhood and community.
 - 4.1 *Maintain ground floor commercial space when redeveloping properties in Urban Mixed Use Corridors.*

CITY OF WINNIPEG ZONING BY-LAW 200/2006

- A “single room occupancy” is defined as:
a building, other than a hotel or hostel, which provides living units with separate sleeping areas and some combination of shared bath or toilet facilities. The building may or may not provide meals to guests for compensation, and may or may not have separate shared cooking facilities for residents. Single-room occupancy includes uses commonly called “rooming houses” and “boarding houses.” Care, treatment or supervision must not be provided to any resident.
- A single room occupancy use is permitted in multi-family residential and commercial districts including “C2,” subject to a maximum of 12 beds. This cap allows the Public Service to consider larger care homes on a case-by-case basis.
- The existing building at 386 Selkirk has existing 6 beds and the proposed addition is proposed to have 8 beds, for a total of 14 beds.

ANALYSIS OF CONDITIONAL USE

- Certain uses in the *Winnipeg Zoning By-law* are deemed conditional as they may or may not be appropriate for the particular context considered. As such, Conditional Uses require a higher level of planning review and analysis to determine suitability.
- Conditional Uses are supported when they have demonstrated they are compatible with the existing development context and will not have any substantial adverse effects on the surrounding area.
- The Urban Planning and Design Division is supportive of the proposed Conditional Use for the following reasons:
 - The development meets policies outlined in *OurWinnipeg 2045, Complete Communities Direction Strategy 2.0*, in particular by supporting “a variety of housing types and tenures within Established Neighbourhoods to meet life-cycle housing needs...”.
 - The proposed single room occupancy use allows for supportive housing that fits the site and the neighbourhood in both scale and density.
 - The subject properties will be consolidated, requiring that the maximum of 12 beds applies to the consolidated property, and triggers a Conditional Use application despite the combined lot size of 10,078 square feet.

CONDITIONS OF APPROVAL

A condition of approval has been added requiring substantial conformance with the submitted plans, to ensure future development will be compatible with the area. Should development change, then a Plan Approval application with approval via the Director of Planning, Property and Development will be required.

REASONS FOR DECISION

In the context of Section 247(3), the Urban Planning and Design Division **approves** the application for the following reasons:

- (a) is consistent with Plan Winnipeg and any applicable secondary plan;
In that, the application is consistent with the Complete Communities Direction Strategy 2.0 (CCDS2.0) policies for the Urban Mixed Use corridor policy area.
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
In that, the site design and building design elements of the proposed development aligns with the surrounding context and helps reduce any potential adverse effects on the adjoining properties and the adjacent area.
- (d) is compatible with the area in which the property to be affected is situated.
In that, the proposed use allows for supportive housing that fits the site and the neighbourhood in both scale and density

CONSULTATION

In preparing this report there was internal consultation with: N/A

OURWINNIPEG 2045 POLICY ALIGNMENT

City Building Objective 1. Responsibly plan, prioritize and accommodate growth in areas that best support Complete Communities principles, to achieve this Plan's sustainable development goals: Facilitate growth and change strategically within Winnipeg's unique Transformative Areas and Established Neighbourhoods, to enhance the ability of the urban environment to contribute towards this Plan's goals.

City Building Objective 3. Facilitate development opportunities that complete established communities, and plan new communities as complete and connected from the outset: New and existing communities are complete when they demonstrate: universally designed environments; mixed-income neighbourhoods; a continuum of housing types; multi-modal connections within and to elsewhere in the city; heritage conservation; opportunities for physical activity, social interaction, and access to healthy food, daily needs, employment, education, recreation, and green infrastructure.

WINNIPEG CLIMATE ACTION PLAN ALIGNMENT

Strategic Opportunity #4: Facilitate Compact, Complete Development and Increase Density.

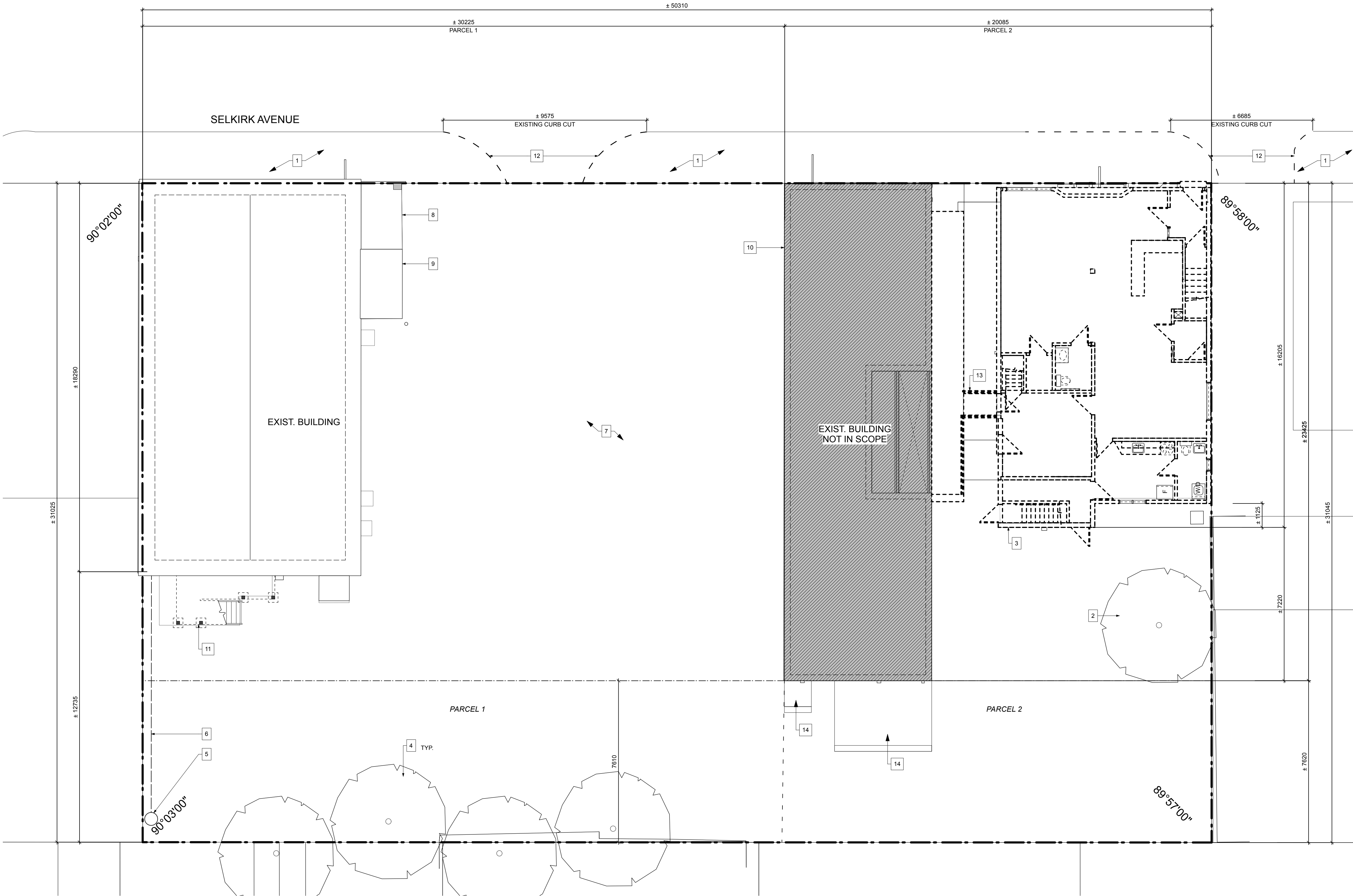
WINNIPEG POVERTY REDUCTION STRATEGY ALIGNMENT

Goal 2: The City actively Plans for and Partners in Affordable Housing

Goal 4: Community Well-Being Supports for those in Greatest Need are Increased

SUBMITTED BY

Department: Planning, Property and Development
Division: Urban Planning and Design
Prepared by: Simi Jerez, RPP MCIP
Date: Thursday, June 18, 2026
File No. DCU 26-149994\C



1 EXISTING MAIN FLOOR PLAN ON SITE
1:100

SITE PLAN GENERAL NOTES:

- A. ALL EXISTING STRUCTURES, TREES, SHRUBS, SIDEWALKS, CURBS, SOD, UTILITIES, FINISHES, MATERIALS AND PAVING TO BE PROTECTED (UNLESS OTHERWISE NOTED) DURING CONSTRUCTION. CONTRACTOR TO MAKE GOOD ALL AREAS DAMAGED DURING CONSTRUCTION BOTH ON AND OFF-SITE AT THE CONTRACTOR'S COST.
- B. ALLOW FOR PATCHING OF EXISTING ASPHALT AS REQUIRED.
- C. CONTRACTOR IS RESPONSIBLE FOR THE CONFIRMATION OF EXISTENCE AND LOCATION OF ALL SERVICES. EXACT LOCATIONS MUST BE OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH DEMOLITION & CONSTRUCTION.
- D. PROVIDE TEMPORARY PROVISIONS TO CONTROL EXISTING ROOF RUN OFF DURING CONSTRUCTION AND DEMOLITION.
- E. REFER TO SURVEY FOR ELEVATIONS. CONTRACTOR TO CONFIRM ALL EXISTING CONDITIONS, DIMENSIONS AND MATERIALS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.
- F. EXISTING GRADES, BUILDING LOCATIONS AND LAYOUTS ARE GIVEN AS INFORMATION ONLY AND SHOULD BE VERIFIED ON SITE. REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
- G. CONTRACTOR TO SITE VERIFY AND CONFIRM ALL DIMENSIONS.
- H. PATCH AND REPAIR / MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION AND CONSTRUCTION.
- I. CONCRETE PAVING UNLESS OTHERWISE NOTED.
- J. DISPOSE OF REMOVED MATERIALS, EXCEPT WHERE SPECIFIED OTHERWISE, IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION. OWNER TO HAVE FIRST RIGHT OF REFUSAL ON ANY FITTINGS AND FIXTURES.
- K. IF POWER EQUIPMENT IS TO BE USED FOR EXCAVATION ON THIS PROJECT, THE CONTRACTOR MUST:
A) NOTIFY ALL UTILITIES OF THE PROPOSED LOCATION OF EXCAVATION.
B) TAKE PRECAUTION TO AVOID DAMAGE TO ALL UTILITIES.
- L. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS TO CATCHBASINS AND CURB INLETS OR OVERLAND DRAINAGE. REFER TO CIVIL FOR GRADING REQUIREMENTS.

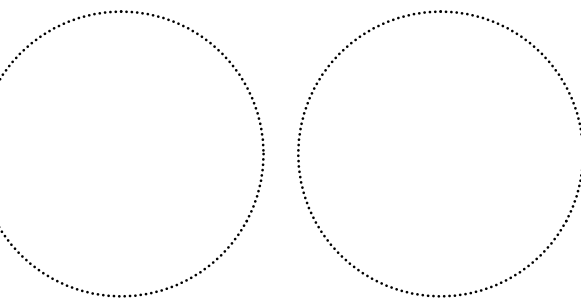
DEMO SITE PLAN KEYNOTES:

1. EXISTING SIDEWALK.
2. REMOVE EXISTING TREE.
3. EXISTING BUILDING AND INTERIOR CONTENTS TO BE COMPLETELY DEMOLISHED. REFER TO CASH ALLOWANCE FOR ASBESTOS REMEDIATION.
4. PROTECT EXISTING TREES & BUSHES, TYP.
5. EXISTING HYDRO POLE TO REMAIN.
6. EXISTING OVERHEAD HYDRO LINE.
7. REMOVE EXISTING ASPHALT & GRAVEL PARKING LOT.
8. DEMOLISH EXISTING CONCRETE PAD, APPROXIMATELY 6.6 SM.
9. DEMOLISH ENTRY VESTIBULE, REFER TO DEMOLITION PLANS.
10. EXISTING SERVICES ON EXTERIOR OF BLDG TO BE RELOCATED.
11. EXISTING EXIT STAIR TO BE DEMOLISHED.
12. DEMOLISH EXISTING CURB.
13. DEMOLISH ENTRY RAMP AND BRIDGE. REFER TO NEW ENTRY LAYOUT.
14. DEMOLISH EXISTING CONCRETE PAVERS AND PREP FOR NEW CONCRETE PAD.

issue / rev.

3	2026.04.27	ISSUED FOR VARIANCE/AEC/CU
2	2026.01.29	ISSUED FOR CLASS B PRICING
1	2025.07.04	ISSUED FOR CLASS C PRICING
#	date	issue notes

professional seals

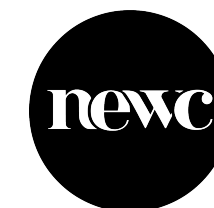


project information

NORTH END
COMMUNITY
SPACES
& RESOURCE
CENTRE

Selkirk Avenue
Winnipeg, MB
Canada

client



North End Women's Centre
Selkirk Avenue
Winnipeg, MB

drawing information

SITE PLAN
DEMO

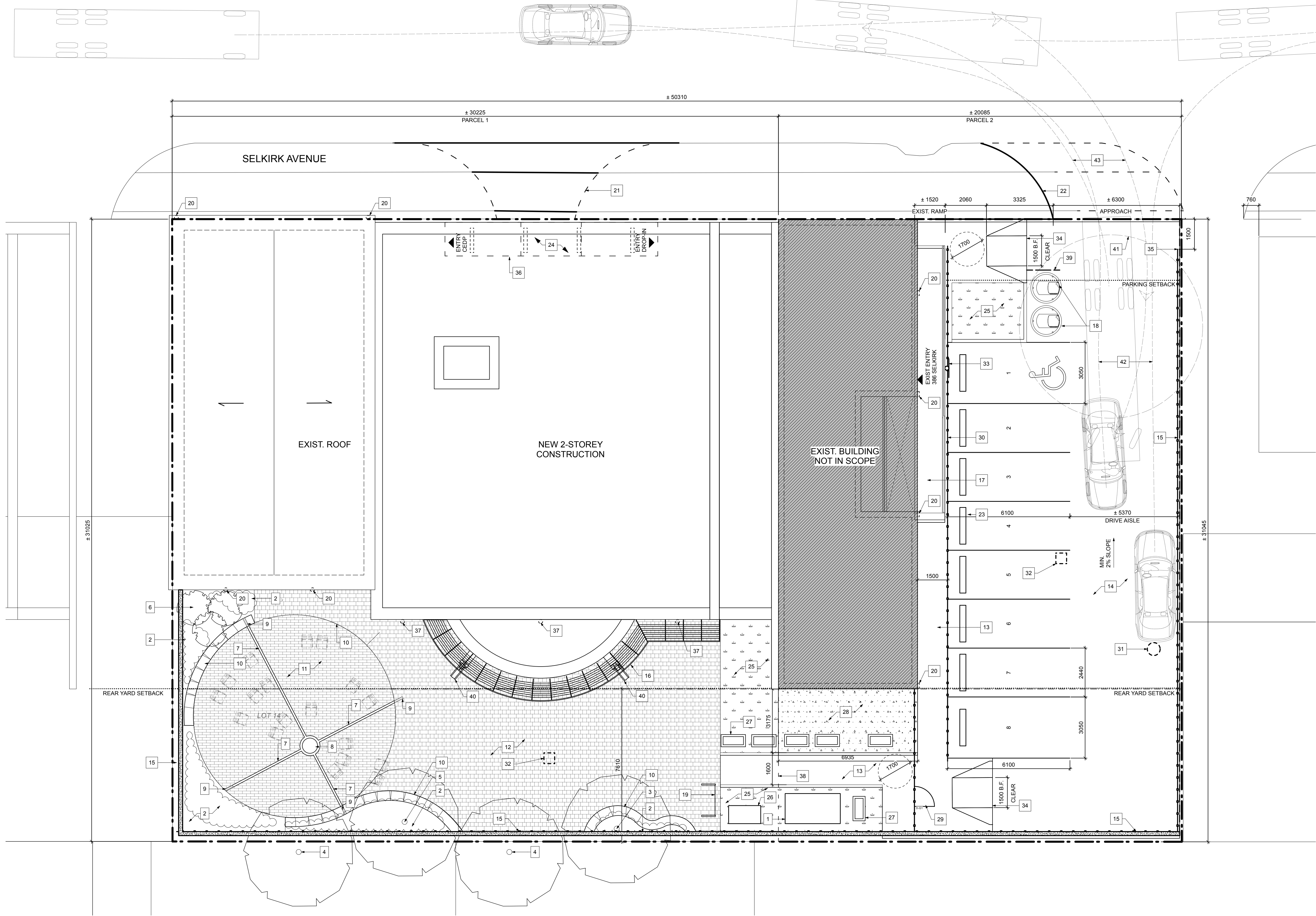
drawn by: MS/ER
approved by: LO

scale: AS NOTED
date issued: SEE STAMP
proj. #: 2019.89
rev. #: R-0

NORTH END COMMUNITY SPACES
& RESOURCE CENTRE

Selkirk Avenue, Winnipeg, MB





1 EXISTING MAIN FLOOR PLAN ON SITE
1:100

LEGEND

- PROPERTY LINE
- SETBACK LINE
- WOOD FENCING
- METAL GUARDRAIL
- NEW CONCRETE CURB AND SIDEWALK
- DEMO CONCRETE CURB AND SIDEWALK

ZONING REQUIREMENTS

- PROJECT NAME / DESCRIPTION**
- NORTH END COMMUNITY SPACES & RESOURCE CENTRE
 - 394 SELKIRK AVENUE
- LEGAL IDENTIFICATION**
- ROLL #: 14010197000
 - LEGAL DESCRIPTION: RIVER LOT 36, PARISH OF ST. JOHN
 - LOTS 12, 13 AND 14, BLOCK 3, PLAN 187 AND
 - LOTS 3, 4, 5, AND 6 PLAN 31642

ZONING AND PROPERTY USE

- ZONING DISTRICT: C2 COMMERCIAL COMMUNITY
- PROPERTY USE CODE: CMCMU COMMERCIAL MULTIPLE USE & PIRCC - COMMUNITY CENTRE

BUILDING USE

- PROPOSED USE: SOCIAL SERVICE FACILITY USE
- OFFICE USE
- SINGLE ROOM OCCUPANCY USE
- RETAIL SALES USE

BUILDING AREA

- TOTAL BUILDING AREA = 572 SQ.M.

SITE AREA:

- 1561 SQ.M

DIMENSIONAL STANDARDS

- MIN. FRONT YARD: 0 FT TYP.
- MIN. SIDE YARD: 0 FT TYP.
- MIN. REAR YARD: 25 FT

PARKING (CATEGORY 2, 17, 18 & 20)

- TOTAL STALLS REQUIRED / PROVIDED: 12 / 8
- ACCESSIBLE STALLS REQUIRED / PROVIDED: 1 / 1
- ACCESSIBLE VAN STALLS REQUIRED / PROVIDED: 0 / 0
- LOADING SPACES REQUIRED / PROVIDED: 0 / 0
- BICYCLE SPACES REQUIRED / PROVIDED: 8 / 8

LANDSCAPING & BUFFERING

- STREET EDGE LANDSCAPING REQUIRED - VARIANCE
- BUFFERING OF RESIDENTIAL FROM NON-RESIDENTIAL USES REQUIRED

BUILDING SIGNS (TABLE 5-15)

- C2 ZONING PERMITS MAX. 25% OF BUILDING WALL MAX.
- TOTAL PROPOSED SIGN AREA = 23 FT²
- REFER TO EXTERIOR ELEVATIONS A3-01 FOR DETAILS.

FENCES & SCREENING

- MAX. FRONT YARD: 4 FT.
- MAX SIDE YARD: 6.5 FT.
- MAX REAR YARD: 6.5 FT.

SITE PLAN GENERAL NOTES:

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KEYNOTES:

- UTILITY TRANSFORMER, REFER TO ELEC.
- SHADE LOVING PLANTS
- MEDIUM SIZED TREE
- TREE PLANTED OUTSIDE OF PROPERTY LINE
- BIRCH TREE
- PYRAMID CEDARS
- COLOURED CONCRETE AXIS C/W GRAPHIC IN CENTRE OF CIRCLE
- PORTABLE FIRE DISH
- GRAPHIC CARDINAL DIRECTION PLATE INTEGRATED INTO CONCRETE
- CIP CONCRETE WALL C/W TIMBER SLAB BENCH SEAT, TYP.
- CONCRETE UNIT PAVING IN RADIAL PATTERN
- CONCRETE UNIT PAVING
- CONCRETE SIDEWALK, REFER TO CIVIL
- ASPHALT PAVING
- WOOD PERIMETER FENCE
- SUNSHADE, REFER TO DETAILS & SPECIFICATION
- REPAIR WOOD PLATFORM WHERE BRIDGE PORTION WAS REMOVED.
- UNDERGROUND GARBAGE/ RECYCLING DISPOSAL SYSTEM
- BIKE RACK SURFACE MOUNTED TO CIP CONCRETE SIDEWALK
- EXISTING BUILDING LIGHTING TO BE REPLACED WITH NEW IN SAME LOCATION, REFER TO ELEC.
- REMOVE EXISTING CURB CUT AND INFILL FOR CONTINUOUS SIDEWALK
- PROVIDE NEW CURB CUT FOR PARKING LOT ACCESS
- CONCRETE CURB STOP AT EACH STALL TYP.
- CONCRETE ENTRANCE SLAB W/ LIGHT BROOM FINISH C/W RAMPED ENTRY. REFER TO FOUNDATION PLAN & STRUCT.
- PLANTING BED AREA
- CSTE, REFER TO ELEC.
- ABOVE ROUND PLANTER BOX, TYP.
- NEW CONCRETE SLAB FOR CTP EXITS
- NEW 6' FENCE WITH EXIST. RELOCATED GATE C/W PANIC HARDWARE AND ENTRY CODE. COORD WITH EXIST.
- POWERED PARKING FENCE, REFER TO ELEC.
- MANHOLE, REFER TO CIVIL
- CATCH BASIN, REFER TO CIVIL
- ACCESSIBLE PARKING SIGN
- CURB CUT, REFER TO CIVIL
- START OF WOOD PERIMETER FENCE
- LINE OF CANOPY OVER ENTRANCE
- NEW EXTERIOR LIGHTING, REFER TO ELEC.
- PARCEL DIVISION LINE
- METAL GUARDRAIL FOR UNDERGROUND GARBAGE DISPOSAL, COORDINATE FINAL LOCATION WITH BIN INSTALLATION.
- PREFINISHED ALUMINUM DOWNSPOUT C/W 45 DEGREE KICK-OUT AND CONCRETE SPLASH PAD. COORDINATE WITH CONCRETE SPLASH PAD DIRECTLY UNDER DOWNSPOUT KICK-OUT WITH A MIN. 2% SLOPE AWAY FROM BUILDING.
- GARBAGE TRUCK ARM RADIUS
- PATH OF PASSENGER VEHICLE
- PATH OF GARBAGE VEHICLE



Printed on post-consumer recycled content paper.

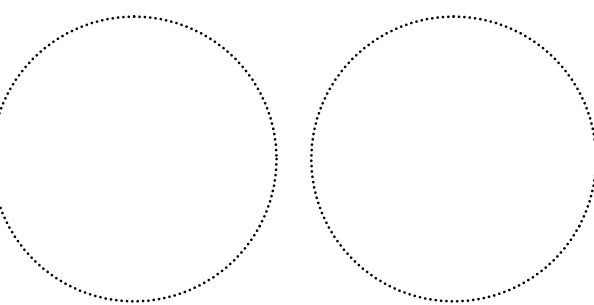
prairie
architects inc.

101-139 Market Ave., Winnipeg, MB, R3B 0P5
telephone | 204.956.0936 fax | 204.943.5597
web | www.prairiearchitects.ca

issue / rev.

#	date	issue notes
3	2026.04.27	ISSUED FOR VARIANCE/AEC/CU
2	2026.01.29	ISSUED FOR CLASS B PRICING
1	2025.07.04	ISSUED FOR CLASS C PRICING

professional seals



project information

NORTH END COMMUNITY SPACES & RESOURCE CENTRE

Selkirk Avenue
Winnipeg, MB
Canada

client



North End Women's Centre
Selkirk Avenue
Winnipeg, MB

drawing information

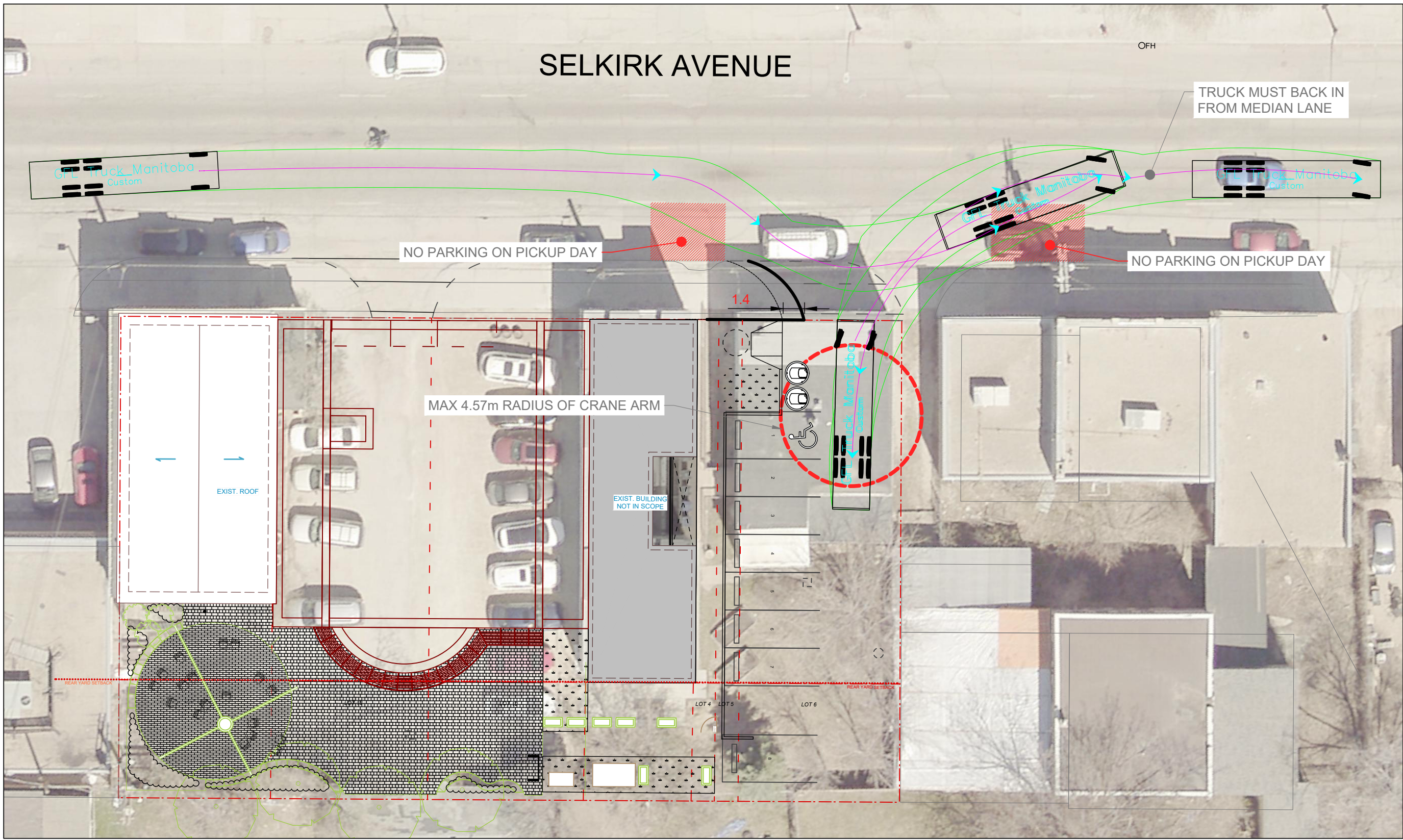
SITE PLAN
NEW

drawn by: MS/ER
approved by: LO

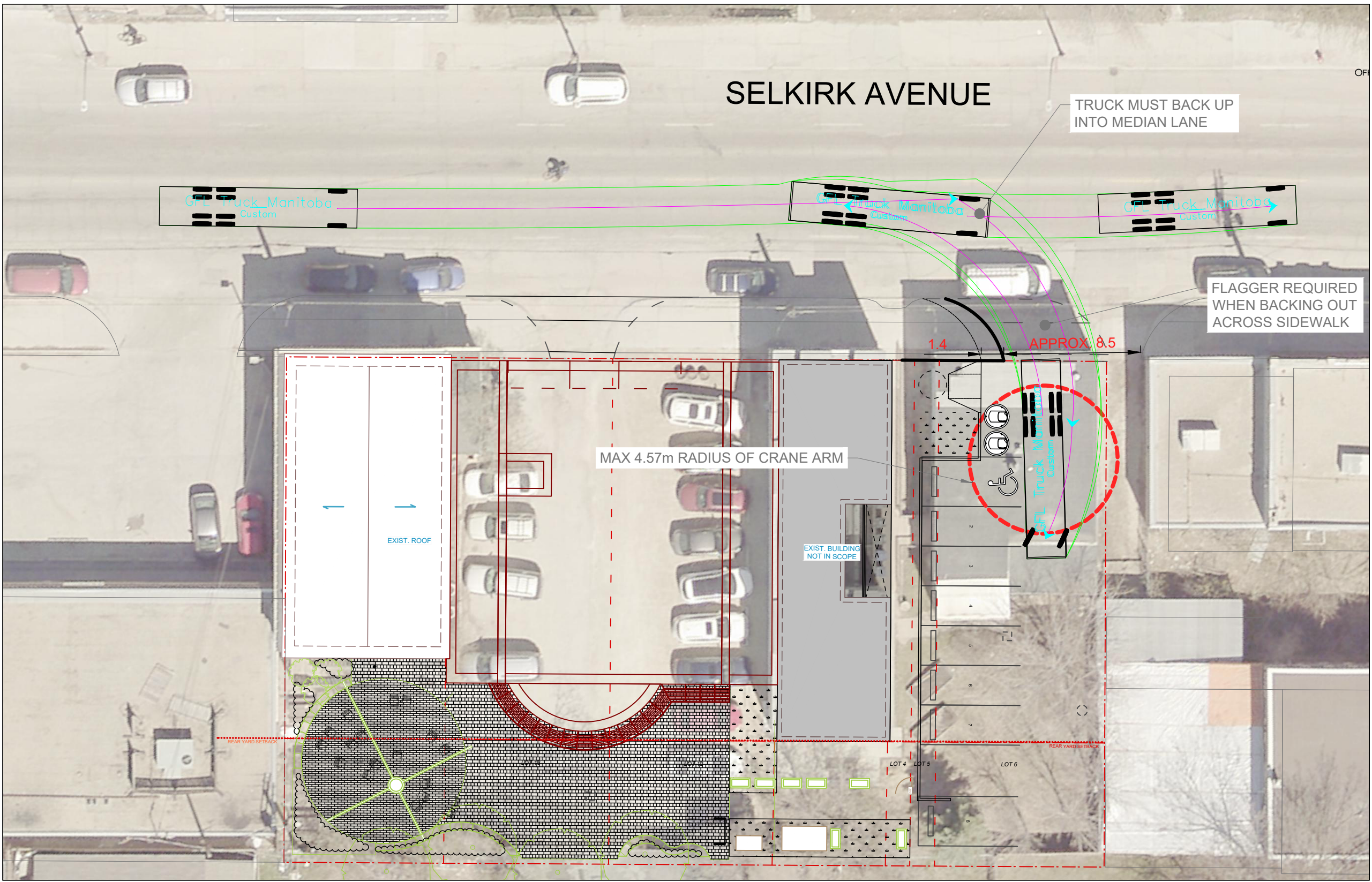
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date issued: SEE STAMP
proj. #: 2019.89
rev. #: R-0

NORTH END COMMUNITY SPACES & RESOURCE CENTRE

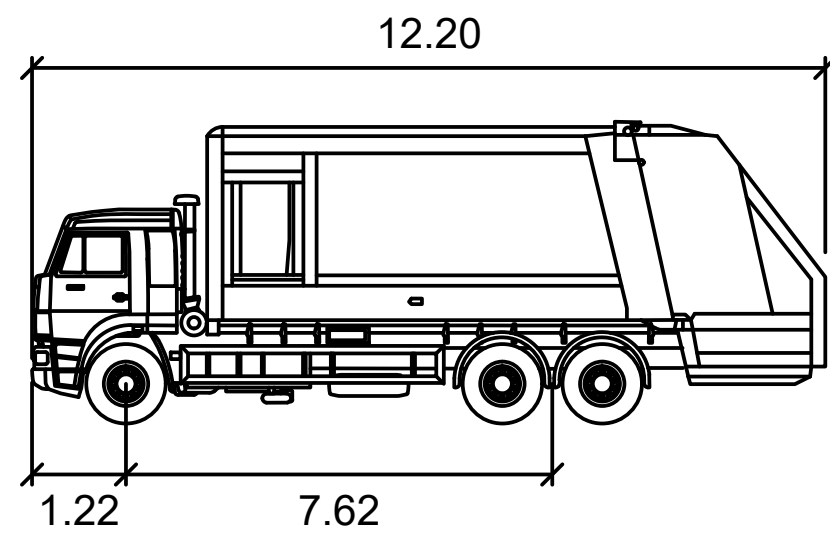
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GARBAGE TRUCK — BACK IN
SCALE: 1:250



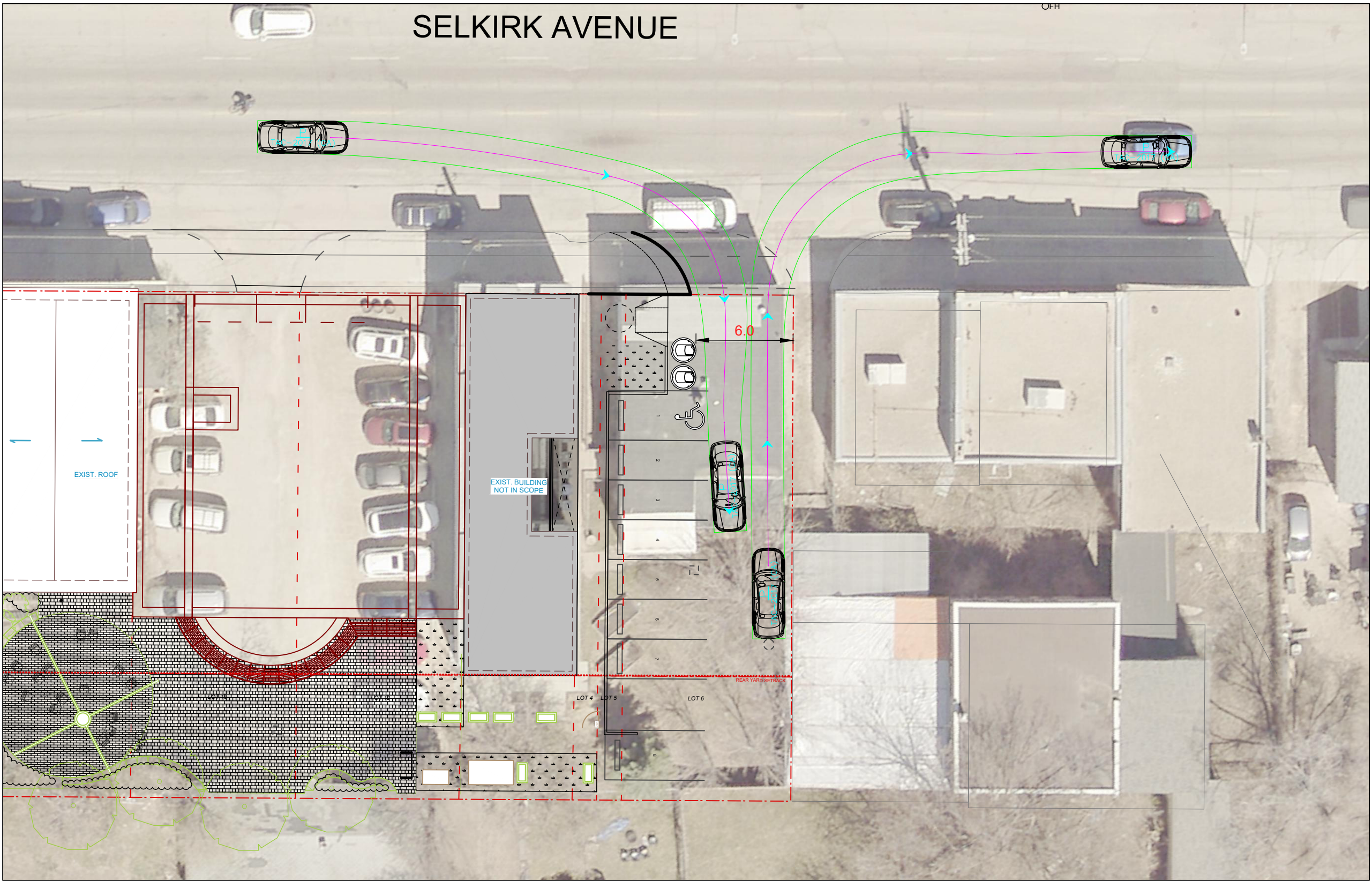
GARBAGE TRUCK — BACK OUT
SCALE: 1:250



GFL Truck Manitoba

	meters
Width	: 2.40
Track	: 2.40
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

Note: Although this image does not show a crane arm, the actual GFL truck would have an arm capable of extending 15' (4.572m).



PASSENGER VEHICLES
SCALE: 1:250

PRELIMINARY

NOT TO BE USED FOR CONSTRUCTION

05.00

10.00

15.00

20.00

SCALE: 1:250m (24"x36")

prairie
architects inc.

101-139 Market Ave., Winnipeg, MB, R3B 0P5
telephone | 204.956.0838 fax | 204.943.5597
web | www.prairiearchitects.ca

KGS
GROUP

issue / rev.

1	2025.04.24	ISSUED FOR REVIEW
#	date	issue notes

professional seals

project information

NORTH END
COMMUNITY
SPACES &
RESOURCE
CENTRE

394 Selkirk Ave.
Winnipeg, MB

client

newc

North End Women's Centre
394 Selkirk Ave.
Winnipeg, MB

drawing information

PARKING LOT
VEHICLE SWEEP
PATH ANALYSIS

drawn by: AH
approved by: SC

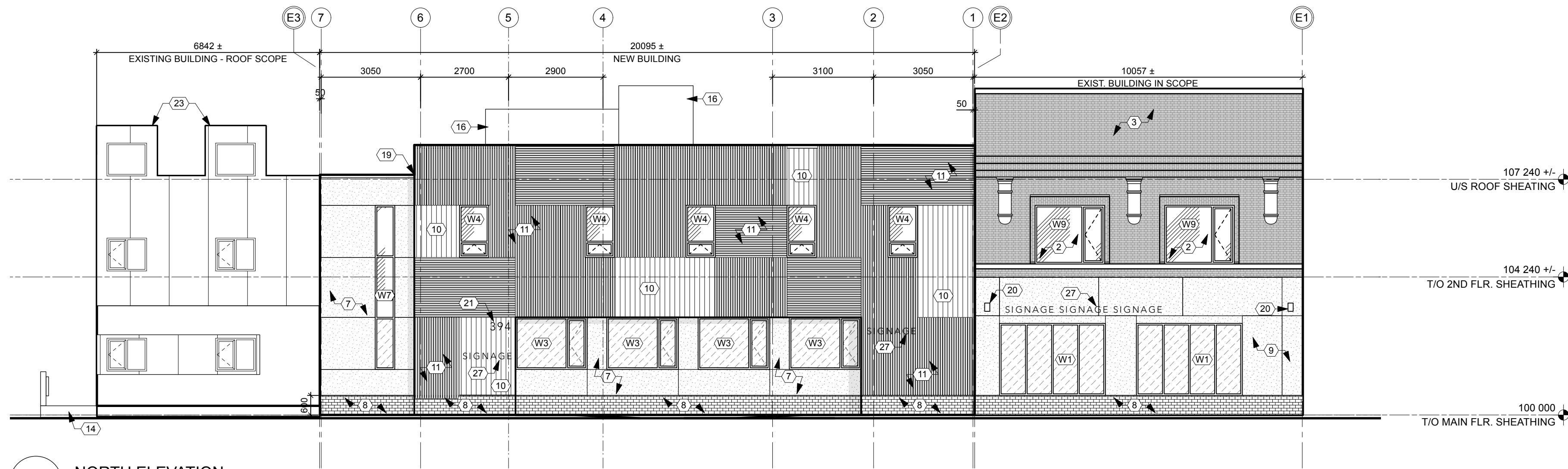
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date issued: 2026.04.24
proj. #: XX-XXXX-XXX
rev. #: REV A

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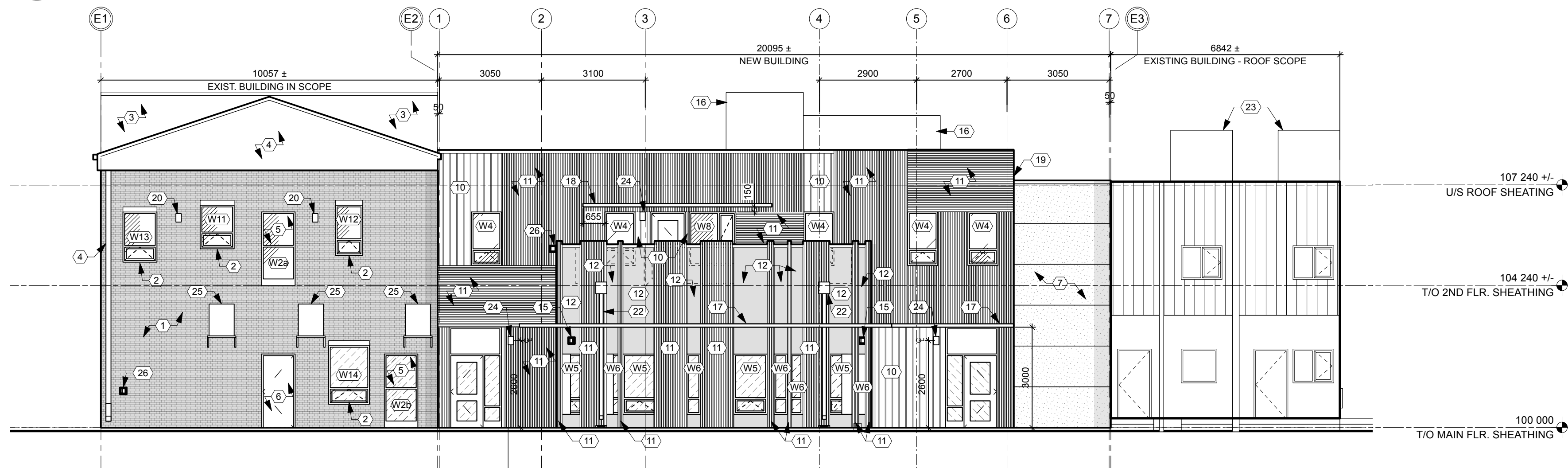
NORTH END COMMUNITY SPACES
& RESOURCE CENTRE

394 Selkirk Ave., Winnipeg, MB

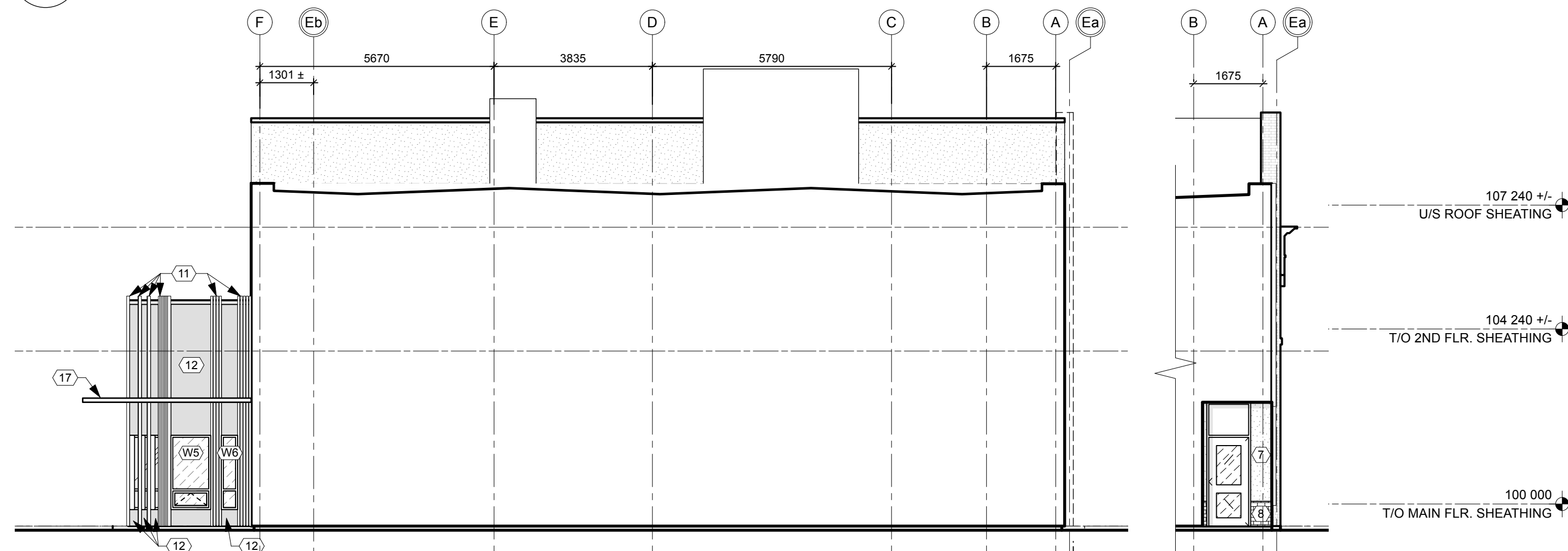
This drawing must not be scaled. The contractor shall verify all dimensions and other data on site prior to commencement of work. All discrepancies, errors, and omissions are to be reported to the architect. Drawing and specifications, as instruments of service, are the property of the architect. The copyright in the same being reserved to him. No reproduction may be made without the permission of the architect, and when made, must bear his name. All prints to be returned to the architect on request.



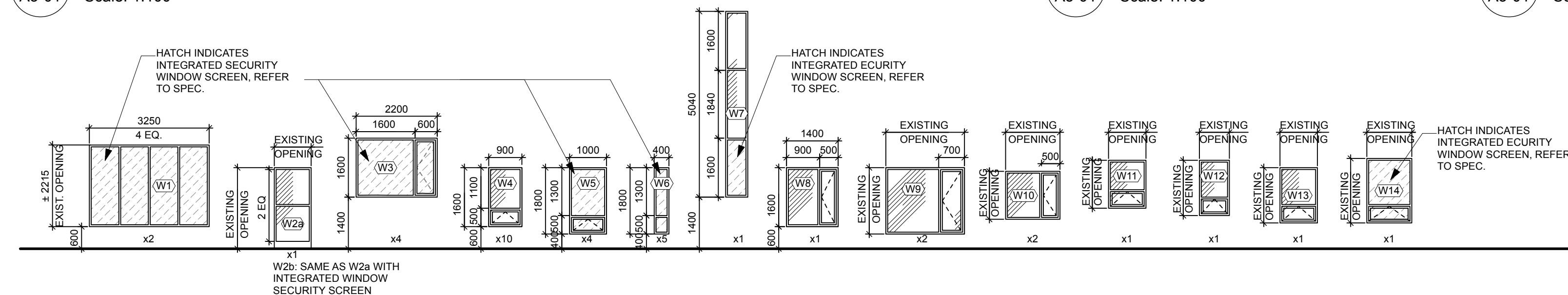
1 NORTH ELEVATION
Scale: 1:100



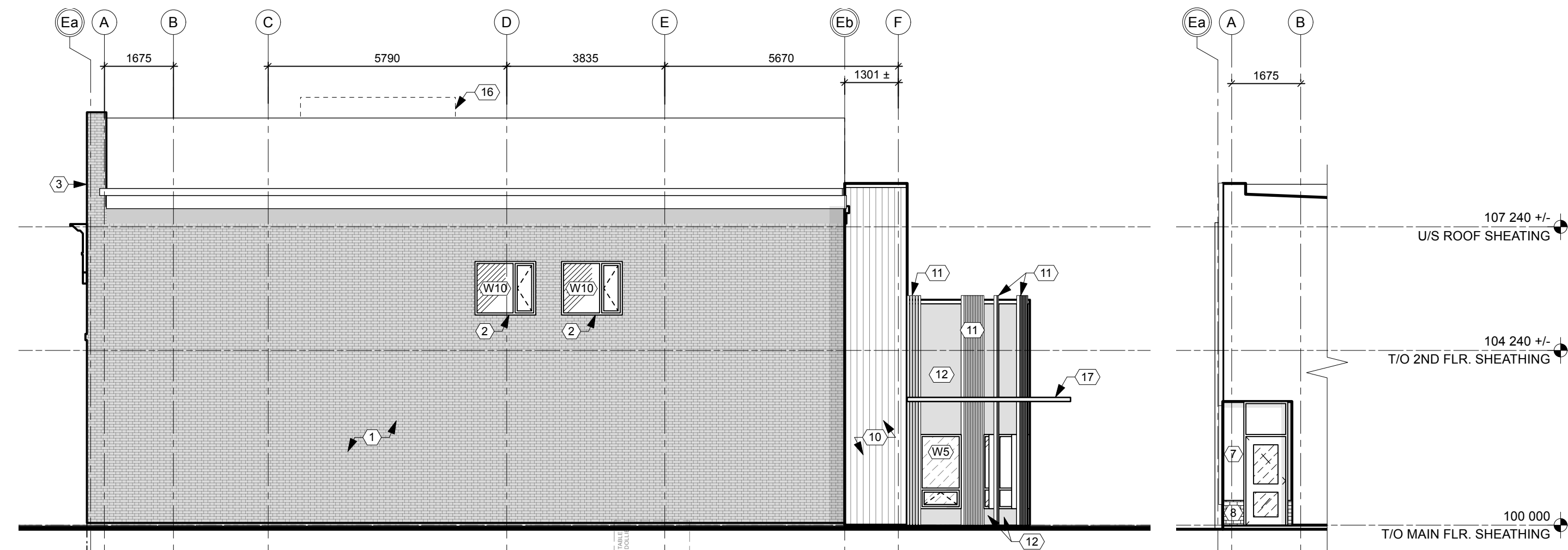
2 SOUTH ELEVATION
Scale: 1:100



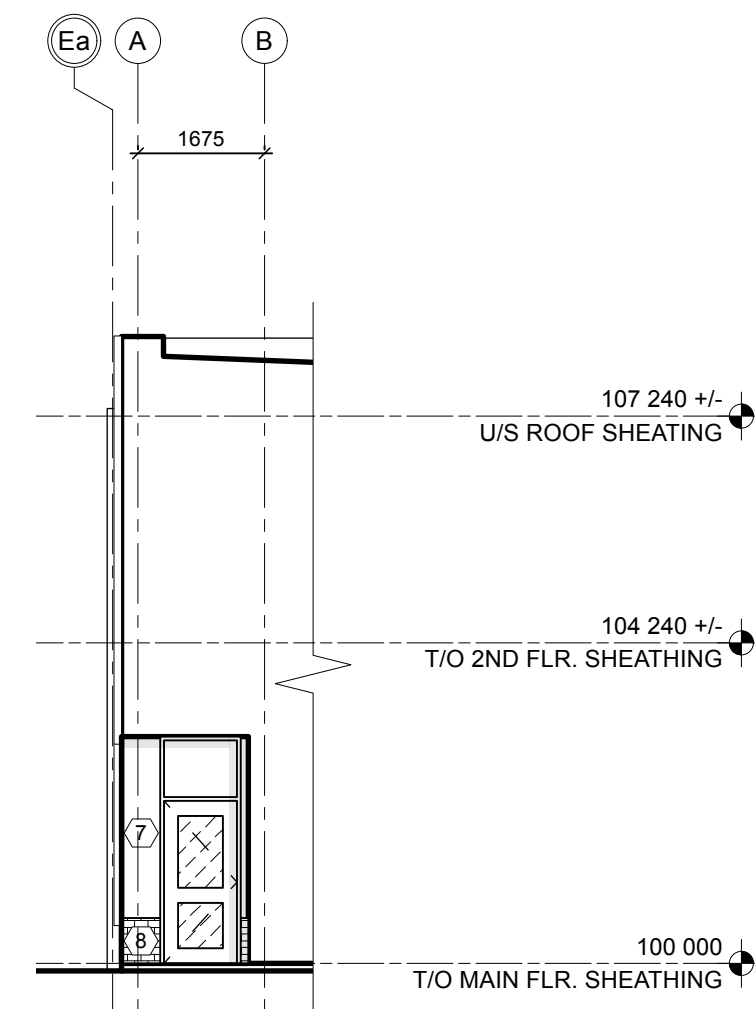
3 EAST ELEVATION
Scale: 1:100



4 PARTIAL EAST ELEV.
Scale: 1:100



5 WEST ELEVATION
Scale: 1:100



6 PARTIAL WEST ELEV.
Scale: 1:100

KEYNOTES - ELEVATIONS:

- EXIST. BRICK WALL, PAINT AND PREP AS REQ'D FOR NEW SITE PAINTED ART MURAL.
- NEW WINDOW TO MATCH SIZE OF EXISTING
- NEW BRICK PARAPET WITH CORNICE DETAIL
- EXISTING SLOPED ROOF & GUTTERS C/W RWL, REPAIR RWL AS REQ.
- NEW WINDOW TO MATCH SIZE OF EXISTING DOOR OPENING
- EXIST. EXTERIOR DOOR TO REMAIN
- FIBER CEMENT PANELS, C/W SITE PAINTED ART MURAL.
- NEW MASONRY VENEER FINISH TO 600AFF, M1
- FIBER CEMENT PANELS MOUNTED TO EXIST. WALL, C/W SITE PAINTED ART MURAL.
- METAL PLANK SYSTEM WITH WOOD LOOK, MTL-1
- METAL BATTEN SYSTEM WITH WOOD LOOK, MTL-2
- METAL PANEL, MTL-3
- NEW WOOD FENCE
- EXISTING WOOD RAMP TO BE MODIFIED, REFER TO SITE PLAN.
- AIR EXHAUST VENT, REFER TO MECH.
- ROOF TOP MECHANICAL UNIT, REFER TO MECH.
- PREFINISHED ALUMINUM SUNSHADE, REFER TO SPEC.
- PREFINISHED ALUMINUM AWNING, REFER TO SPEC.
- DIVISION OF WALL CLADDING AT ROOF ELEVATION CHANGE, REFER TO SECTIONS & ROOF PLAN.
- EXTERIOR LIGHTING FIXTURE, REMOVE EXISTING AT THIS LOCATION AND REPLACE WITH NEW, REFER TO ELEC.
- EXTRUDED ALUMINUM NUMBERING ON STAND-OFFS, REFER TO SPEC.
- PREFINISHED ALUMINUM DOWNSPOUT C/W 45 DEGREE KICK-OUT AND CONCRETE SPLASH PAD, COORDINATE WITH CONCRETE SPLASH PAD DIRECTLY UNDER DOWNSPOUT KICK-OUT WITH A MIN. 2% SLOPE AWAY FROM BUILDING.
- ALTERNATE PRICE - REMOVE ALL EXIST. SKYLIGHTS (8) & REROOF ENTIRE EXIST. CTP ROOF, REFER TO ROOF PLAN, SECTIONS & ALT. PRICES IN SPEC.
- EXTERIOR LIGHTING FIXTURE, REFER TO ELEC.
- RELOCATED CONDENSING UNIT, REFER TO MECH.
- DRYER EXHAUST VENT, REFER TO MECH.
- ALUMINUM SIGNAGE, REFER TO SPEC.

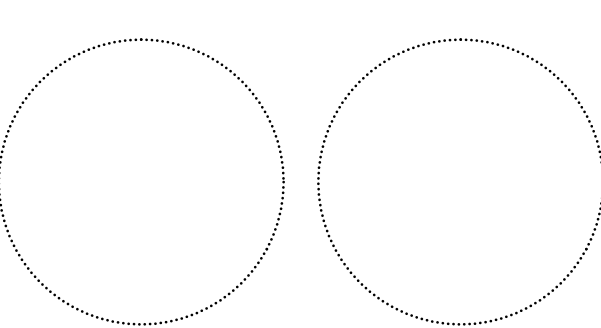
MATERIAL LEGEND:

NOTE: REFER TO PLANS & WALL SCHEDULE

- MTL-1 METAL PLANK SYSTEM WITH WOOD LOOK
- MTL-2 METAL PANEL BATTEN SYSTEM WITH WOOD LOOK
- MTL-3 METAL PANEL
- FC-1 FIBRE CEMENT WALL PANEL PAINTED MURAL FINISH
- EX-M EXISTING MASONRY
- M-1 MASONRY VENEER

issue / rev.

#	date	issue notes
3	2026.04.27	ISSUED FOR VARIANCE/AEC/CU
2	2026.01.29	ISSUED FOR CLASS B PRICING
1	2025.07.04	ISSUED FOR CLASS C PRICING

professional seals**project information****NORTH END COMMUNITY SPACES & RESOURCE CENTRE**394 Selkirk Ave.
Winnipeg, MB
Canada**client**North End Women's Centre
394 Selkirk Ave.
Winnipeg, MB**drawing information****ELEVATIONS**drawn by: ER
approved by: LOscale: 1:100
date issued: 2026.04.27
proj. #: 2019.89
rev. #: R-0

7 EXTERIOR FIBERGLASS WINDOW SCHEDULE
Scale: 1:100

Printed on post-consumer recycled content paper.

- WINDOW SCHEDULE NOTES:**
- PROVIDE INTERIOR BLINDS AT ALL EXTERIOR WINDOWS.
 - REPLACE EXIST. WINDOWS WITH NEW OF SAME SIZE AS NOTED.
 - REFER TO SPEC SECTION 08 80 00 FOR SEALED UNIT & GLASS TYPES INCL. USE OF SAFETY GLAZING TYPES.