

ADMINISTRATIVE REPORT

Title: DCU 26-150997\C – 611 Wardlaw Ave

Issue: For consideration of a Conditional Use to allow for the construction of a 17-unit multi-family building.

Critical Path: Director of Planning, Property, and Development

AUTHORIZATION

Author	Department Head	CFO	CAO
Dylan Chyz-Lund, RPP, MCIP	n/a	n/a	

DECISION AND CONDITIONS

The Urban Planning and Design Division **approves** the application for a Conditional Use under Winnipeg Zoning By-Law No. 200/2006 to permit the establishment of a multi-family dwelling use.

Subject to the following condition(s):

1. That, if any development granted by the Order is not established within two (2) years of the date thereof, the Order, in respect of that Conditional Use shall terminate.
2. That the development shall be constructed in substantial conformance with the plans attached and identified as Sheets 1-6 for File No. DCU 150997/2026C, and thereafter maintained to the satisfaction of the Director of Planning, Property and Development;

OR

That the Owner must submit plans showing the location and design of any and all proposed:

- i. buildings;
- ii. accessory parking areas;
- iii. garbage enclosures;
- iv. fencing; and
- v. landscaping

on the Owner's Land ("Works") to the Director of Planning, Property and Development for approval prior to the issuance of any building or development permit, and thereafter

must construct the Works in substantial conformance with the approved plans and maintain the Works to the satisfaction of the Director.

REASON FOR THE REPORT

- The applicant is proposing to build a 17-unit multi-family building on the property. Multi-family buildings that contain five or more dwelling units are a “Conditional Use” in the Winnipeg Zoning By-Law.
- This report provides information regarding the subject application’s compliance with *The City of Winnipeg Charter*, section 249.

FILE/APPLICANT DETAILS

FILE: DCU 26-150997\C
RELATED FILES: DAV 151012/2026C
COMMUNITY: City Centre Committee
NEIGHBOURHOOD #: 1.110 - (McMILLAN)

SUBJECT: For a Conditional Use under Winnipeg Zoning By-Law No. 200/2006 to permit the establishment of a multi-family dwelling use.

LOCATION: 611 Wardlaw Ave
LEGAL DESCRIPTION: PCL A PLAN 69734 35 ST B

APPLICANT: Pedro Chagas (Chagas Architect + Development Inc.)
1100 Corydon Ave 201
Winnipeg, MB R3M 0Y8

OWNER: 10202105 MANITOBA LTD.
1680 Sargent Ave
Winnipeg, MB R3H 0C2

HISTORY

N/A

DISCUSSION

CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a Conditional Use with respect to a property may be approved if the Conditional Use:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;

- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (d) is compatible with the area in which the property to be affected is situated.

SITE DESCRIPTION

- The subject property is located on the north side of Wardlaw Ave, between Wellington Crescent and Nassau Street N. in the McMillan neighbourhood of the Fort Rouge - East Fort Garry ward.
- The subject site is located in an “Established Neighbourhood-Mature Community” policy area as identified in *Complete Communities 2.0*, and in a “Village Medium Density Residential (V-MDR)” policy area of the *Osborne Village Neighbourhood Secondary Plan*.
- The subject site is currently zoned “R2” Residential Two-Family District, with an assessed lot area of 11,630 square feet.
- The subject site is currently vacant, with the previous structure having been recently demolished.
- The subject site is accessed by a paved rear lane.



Figure 1: Aerial Photo of Subject Site and Surrounding Uses (flown 2024).

North: A rear lane, then a park area zoned “R2” Residential – Two-Family district, Wellington Crescent, and multi-family buildings zoned “RMF-L” Residential Multi-Family (Large) District.

South: Wardlaw Avenue, then a multi-family building zoned “R2” Residential – Two-Family district.

East: A two-family dwelling zoned “R2” Residential – Two-Family district.

West: A park area zoned “R2” Residential – Two-Family district.

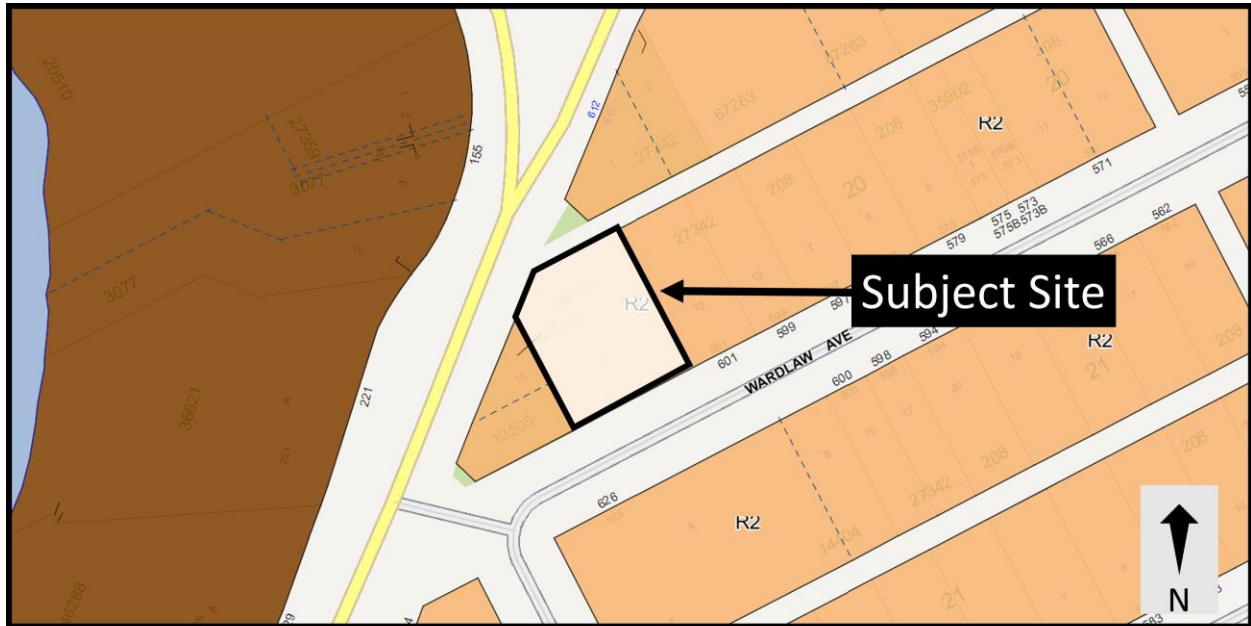


Figure 2: Zoning of the subject site and surrounding area.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

- The application intends to construct one 17-unit multi-family building, which would:
 - Be four stories in height.
 - Have an 11' front yard setback to Wardlaw Avenue.
 - Have an 8.5' east side yard setback.
 - Have a 4' west side yard setback.
 - Have a 25' rear yard setback.
 - Be clad with a combination of limestone, composite wood, Hardie plank, and brick.
 - Include a main entrance with floor to ceiling windows facing Wardlaw Avenue, as well as covered parking that takes access from the rear lane.
- The site plan also shows:
 - An earthbin garbage enclosure in the rear yard.
 - A total of four trees and 41 shrubs.
 - A total of 11 indoor parking spaces and five outdoor parking spaces, including two visitor spaces and one accessible space.
 - A secure, indoor bicycle storage area with space for 16 bicycles, as well as a smaller outdoor rack at the front of the building for visitors.
 - Space for a future City of Winnipeg AT path along the northwest corner of the property.
 - Please see the "Collaborative Planning and Consultation" section of this report for further discussion of the AT path and the front yard setback.

COLLABORATIVE PLANNING AND CONSULTATION

- The applicant originally proposed a significantly larger front yard setback of approximately 25', compared to the currently proposed 11' setback. During the review process, the Public

Service identified an opportunity to secure land at the rear of the property for a future active transportation (AT) pathway and requested that the building be shifted closer to the front property line to preserve space for this purpose. As a result, the applicant is now seeking a larger front yard variance than was originally contemplated.

- It should be noted that the applicant was under no obligation to modify the proposed site or building design and could have proceeded with the original layout. However, after learning of the Public Service's interest in acquiring land for a future AT pathway, the applicant voluntarily paused the application process and revised the site plan to accommodate this request. The need for the increased variance is therefore directly related to the applicant's efforts to facilitate a broader City of Winnipeg objective.

ANALYSIS AND ISSUES

COMPLETE COMMUNITIES DIRECTION STRATEGY 2.0

The *Complete Communities Direction Strategy 2.0 (CCDS 2.0)* is one of four direction strategies supporting *OurWinnipeg*, the city's long-range development plan, and has statutory authority as a secondary plan. The strategy guides land use and development in Winnipeg. *CCDS 2.0* provides policy guidance when assessing proposals that are seeking entitlements or changes to the *Winnipeg Zoning By-Law*.

The subject site is located in an "Established Neighbourhood – Mature Communities" policy area of *CCDS 2.0*. The following goals and policies of *CCDS 2.0* apply to the proposal:

- Goal 1 - *Encourage compatible residential development within Established Neighbourhoods to build more Complete Communities and align with the City's residential intensification target.*

General policies

- *1.1 Encourage residential development that positively contributes to neighbourhood character while expanding housing options for residents in a manner that is sensitive and complementary to existing development.*
- *1.2 Increase the population within Established Neighbourhoods to contribute to the physical renewal and revitalization of older neighbourhoods.*
- *1.5 Support up to mid-rise residential development in Established Neighbourhoods that is compatible with neighbourhood context.*

At four stories, the proposed building is considered a low-rise development under *CCDS 2.0* policies. The building height is consistent with the surrounding neighbourhood context, which includes a four-storey building on the north side of the lane from the subject property (606 Stradbrook Ave), a three-storey building on the south side of Wardlaw Avenue from the subject property (626 Wardlaw Ave), a three-storey building at the corner of Nassau Street N and Wardlaw Ave (553 Wardlaw Ave), and multiple high-rise developments along Wellington Crescent.

The building will increase the population in this established neighbourhood and increase housing options for residents while positively contributing to the neighbourhood through design elements detailed under Goal 2.

- Goal 2 - *Design new development in Established Neighbourhoods to a high standard of urban design and construction to ensure new development adds value to public and private urban spaces to create a sense of place and civic pride.*

Building Setbacks

- *2.3 Encourage, where contextually suitable, the location of multi-family buildings at or near the front and corner side property lines to create a pedestrian orientation that is respectful of the area context. Use setbacks to provide landscaping, front courtyards for individual units or other amenities that support the pedestrian environment, building design and relationship to the street.*

The proposed building includes a reduced front yard to Wardlaw Avenue of 11', while all other yard setbacks meet or exceed the *Winnipeg Zoning By-Law*. The front yard setback of 11' brings the building closer to the public sidewalk and street. Together with the proposed plaza area with seating, the front entrance facing Wardlaw Avenue, the floor-to-ceiling windows for the lobby area, and the roof overhang, the location of the building closer to the front property line supports the pedestrian environment on Wardlaw Avenue.

Near-zero foot setbacks to Wardlaw Avenue are a common feature of multi-family buildings on this block. 626 Wardlaw Avenue directly opposite the subject site, 571 Wardlaw Avenue, and 553 Wardlaw Avenue all have zero or near-zero foot setbacks to Wardlaw Avenue.

It is important to note that while the proposed front yard setback is consistent with CCDS 2.0 policies, it is also important for accommodating a future bicycle path along Wellington Crescent. As noted in the "Collaborative Planning and Consultation" section, the applicant originally proposed a larger front yard setback that would have included a larger plaza and landscaping area.

Building Design

- *2.4 Encourage the use of high-quality, energy efficient, and durable exterior building façade materials.*
- *2.5 Encourage a variety of architectural styles.*
- *2.6 Encourage building design to include a range of architectural features that create visual interest and positively contribute to the visual aesthetics of the street and neighbourhood.*

The proposed building uses a variety of building materials including composite wood, limestone, brick, and Hardie lap siding. In addition to the façade materials, the front façade includes two portions that project outwards from the primary mass, a covered entry into the main lobby of the building, and floor-to-ceiling windows. Together, these features break up the horizontal massing of the building, they introduce a variety of architectural styles and features that create visual interest, and they include high-quality exterior facade materials..

Pedestrian orientation

- *2.9 Buildings with multi unit residential uses should be designed to support pedestrian activity and reinforce the public realm through thoughtful use of architectural features which may include, but are not limited to, the following:*
 - a. Window placement that supports passive surveillance;*
 - b. Unit entrances with direct access to the street;*
 - c. Front porches;*
 - d. Balconies;*
 - e. Awnings;*
 - f. Lighting; and*
 - g. Height of primary entrances*

The proposed building includes a main floor lobby and entrance facing Wardlaw Avenue, with a direct pedestrian connection to the sidewalk. Similarly, balconies on the second through fourth floors help to reinforce the public realm.

Massing and scale

- *2.12 New development should respect and complement the existing character of the built form of surrounding properties.*
- *2.14 Avoid buildings that create long blank walls facing public streets.*
- *2.15 Encourage the use of architectural features to articulate building walls in order to mitigate the impact of new building mass.*

The proposed building height of four stories is comparable to other developments in the immediate vicinity, which include two, three, and four-storey buildings along with larger towers along Wellington Crescent. The proposed development includes an east side yard of 8' to the only abutting residential development – a two-storey two-family dwelling. 8' is double what the Zoning By-Law requires the side yard of a multi-family building in the “R2” district to be, thereby respecting the building to the north.

The proposed building uses floor to ceiling windows, varying façade materials, projections from the primary mass, and inset balconies to ensure there are no blank walls facing public streets and to ensure that the new development respects the existing built form.

Parking and loading

- *2.16 For properties with public lane access, vehicular access should be taken from the public lane in order to:*
 - a. Reduce potential conflict between pedestrians using sidewalks and motor vehicles crossing the public right-of-way to access private property;*
 - b. Preserve green space and protect existing trees that can be impacted by the establishment of front approaches and corresponding private driveways; and*

c. Prevent fragmentation of the public boulevard in order to better accommodate on-street motor vehicle parking and public snow clearing

The parking is accessed from the rear lane, with much of the parking located in a covered parking area underneath the building. Parking taken from the rear lane, rather than from a front drive aisle, reduces the risk of conflict between pedestrians and vehicles and preserves the existing green space along the public boulevard.

Site design

- *2.21 Site design should take cues from the character of the neighbourhood or street and should mitigate the potential for land use conflict with adjacent properties that have different scales, densities and uses. Parking location (motor vehicle and bicycle), vehicular access, servicing elements, building placement and landscaping treatment will be important design elements to ensure context-sensitive design.*
- *2.22 Create or reinforce compact, pedestrian-oriented urban development patterns by ensuring the siting, form and scale of new development has a strong relationship to the street, public spaces and amenities in a way that is consistent with neighbourhood context.*

As discussed, the proposed building height of four stories is similar to existing development in the neighbourhood. The use of a larger east side yard mitigates the impact on the only directly abutting residential property – the two-family dwelling to the east. In addition, the proposed building incorporates other design features that are found in the neighbourhood, including a semi-public/private plaza space near the primary entrance, and traditional building materials of wood, stone, and brick. Together, these features enable the building to take cues from the character of the neighbourhood and mitigate the potential for land use conflict with adjacent properties.

OSBORNE VILLAGE NEIGHBOURHOOD PLAN

The *Osborne Village Neighbourhood Plan* (OVNP) is an area-specific secondary plan that applies to the subject property.

The subject property is located within the Village Medium Density Residential policy area of the OVNP. The following policies of the OVNP apply to the proposal:

- *4.1.3.A Encourage a mixture of single-family homes, duplexes, triplexes, fourplexes, townhouses, and multiple-family buildings;*
- *4.1.3B New development will have a minimum of two storeys and a maximum of four storeys in height in order to preserve the scale and pedestrian oriented character of this area;*

The proposed building maintains the multi-family character of the surrounding block and includes an entrance and window coverage that fronts Wardlaw Avenue which is consistent with surrounding development. The proposed height is consistent with the policies of the OVNP, which require a minimum of two and a maximum of four stories at this location.

CONDITIONAL USE

- The Winnipeg Zoning By-law categorizes certain land uses as “conditional” due to their potential to pose impact on adjacent uses. The Conditional Use process enables the Public Service to undertake additional analysis and determine the suitability of a proposal.
- Conditional Uses are supported when they have demonstrated they are compatible with the existing development context and will not have any substantial adverse effects on the surrounding area.

CONDITIONS OF APPROVAL

Given that the applicant has submitted supportable plans, a condition requiring the sign be established in compliance with the submitted plans has been included. If the plans were to change, a new application would be needed.

REASONS FOR DECISION

In the context of Section 247(3), the Urban Planning and Design Division **approves** the application for the following reasons:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
In that, the proposed Conditional Use will enable the establishment of a new multi-family residential development in alignment with the policies of *OurWinnipeg 2045*, *Complete Communities 2.0.*, and the *Osborne Village Neighbourhood Plan* that all prioritize contextually sensitive multi-family development at this location.
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
In that, the proposed development’s setbacks, height, and contextual design reduce potential impacts on adjacent uses.
- (d) is compatible with the area in which the property to be affected is situated.
In that, the surrounding area is characterized by a mixture of two, three, and four-storey residential development, and the proposed building has been designed to blend into the existing area context by orienting the main entrance to Wardlaw Avenue and incorporating a substantial setback to the existing residential property to the east.

CONSULTATION

In preparing this report there was internal consultation with: N/A

OURWINNIPEG 2045 POLICY ALIGNMENT

OurWinnipeg is the City of Winnipeg’s long-range development plan. Applicable Policies for Mature Communities include the following:

6.16 Established Neighbourhoods

- *Designate Established Neighbourhoods within the Urban Structure, representing lands that will accommodate additional growth in a context-sensitive manner, while promoting the efficient use of land, cost-effective municipal servicing, enhanced housing choice and affordability, and conservation of green infrastructure and heritage resources and districts, as defined in Complete Communities.*

The proposed development application **aligns** with *OurWinnipeg* because the design of the proposed multi-family building and site uses a variety of design elements including an articulated façade, pedestrian orientation, landscaping, and pedestrian orientation to create context-sensitive development in the neighbourhood it is proposed for.

WINNIPEG CLIMATE ACTION PLAN ALIGNMENT

Consideration was given as to whether this report connects to any of the specific Goals and Objectives in the *Winnipeg Climate Action Plan (WCAP)* and it was determined that the *WCAP* is not applicable to this specific report.

WINNIPEG POVERTY REDUCTION STRATEGY ALIGNMENT

Consideration was given to whether this report connects to any of the specific Goals and Objectives in the *PRS* and it was determined the *PRS* is not applicable to this specific report.

SUBMITTED BY

Department: Planning, Property and Development
Division: Urban Planning and Design
Prepared by: Dylan Chyz-Lund
Date: Tuesday, June 16, 2026
File No. DCU 26-150997\C

611 WARDLAW AVENUE RE-DEVELOPMENT

WINNIPEG, MANITOBA



PROJECT CONSULTANTS

OWNER REPRESENTATIVE
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JAY KNYSH

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LIST OF DRAWINGS

ARCHITECTURAL
A0.0 COVER SHEET
A0.2 SITE SURVEY
A1.1 SITE PLAN (MAIN FLOOR)
A2.1 FLOOR PLANS
A3.1 EXTERIOR ELEVATIONS
A3.2 SUN SHADOW STUDY - MARCH 21
A3.3 SUN SHADOW STUDY - SEPTEMBER 21

LANDSCAPE
L-1 LANDSCAPE SCOPE PLAN
L-2 PLANTING PLAN
L-3 DETAILS

CIVIL
C1.0 SERVICING PLAN
C2.0 GRADING PLAN

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: DCU 150997/2026C

SHEET # 1 OF 6

APPLICANT(SGN): _____

ZONING OFFICER: Diana Lopez

DATE: June 16, 2026

NO.	ISSUED FOR	DATE	BY
1	FOR CONDITIONAL USE AND VARIANCES	2026-04-30	PC

DRAWN BY: BV CHECKED BY: PC
PRINTING DATE: APRIL, 2026

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STAMP

PRELIMINARY
NOT FOR CONSTRUCTION

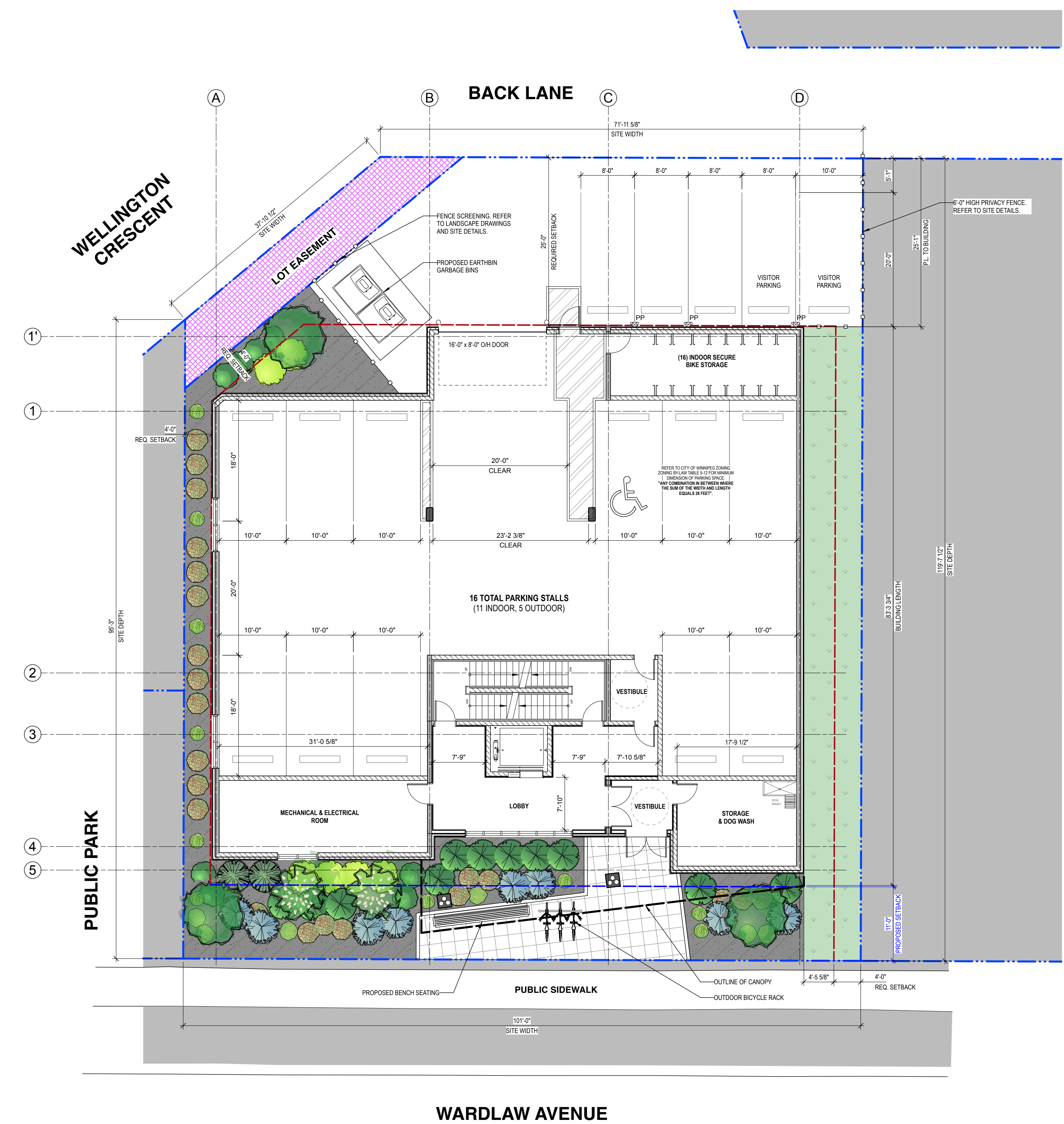
**611 WARDLAW AVENUE
RE-DEVELOPMENT**

WINNIPEG, MB

COVER SHEET

PROJECT NO.
2537

AO.0



PROPOSED SITE PLAN / MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 PROJECT NORTH

EXISTING ZONING: R2 - RESIDENTIAL		
IN ACCORDANCE TO CITY OF WINNIPEG - SMALL SCALE AND LOW-RISE RESIDENTIAL DEVELOPMENT GUIDELINES FOR MATURE COMMUNITIES		
GROSS BUILDING AREA:	23,216 sq. ft. (2,157 sqm)	
REQUIREMENT	REQUIRED	PROPOSED
LOT AREA (MIN.)	800 sq. ft. per dwelling unit for multi-family	690 sq. ft. per dwelling unit
LOT WIDTH (MIN.)	25'-0"	101'-0" (SOUTH) / 71'-11.58" (NORTH)
LOT COVERAGE	N/A	-
BUILDING HEIGHT	35'-0" (MAX.)	40'-0"
BUILDING SETBACKS	REAR (N) BACKLANE	25'-0"
	SIDE (E)	4'-0"
	SIDE (W) WELLINGTON	4'-0"
	FRONT (S) WARDLAW	44'-0"
PARKING	1 STALL PER SUITE (1:1 RATIO) = 17 VISITOR PARKING = 10% of Count = 3 PARKING REDUCTION: 20% URBAN INFILL = 4 STALLS	16 PROVIDED
	TOTAL PARKING REQUIRED: 17 REQ. - 4 STALL RED. = 13 STALLS	
ACCESSIBLE PARKING	1	1
BICYCLE PARKING	1 per 10 stalls = 3 REQUIRED	3 OUTDOOR, 16 INDOOR

PROPERTY INFORMATION:

CIVIC ADDRESS: 611 WARDLAW AVENUE
WINNIPEG, MANITOBA

LEGAL DESCRIPTION: PARCEL 'A' PLAN 69734 WLTO IN RL 35 PARISH OF SAINT BONIFACE

REGISTERED OWNER: LOUNT CORPORATION

LOT AREA: 11,366 FT² (1,056 m²)

TYPE OF LOT: R2 - RESIDENTIAL
COW INFILL GUIDELINE AREA 2

COW CURRENT USE: R2 - RESIDENTIAL

MAIN FLOOR - PARKING / COMMON AREA
2ND-4TH FLOOR - MULTI-RESIDENTIAL

GROUP C - UP TO 6 STOREYS, SPRINKLERED (3.2.2.51)
MAX. AREA = 2,250 m² if 4 storeys (Multi-Residential)

GROUP F3 - UP TO 4 STOREYS, SPRINKLERED (3.2.2.86)
MAX. AREA = 3,600 m² if 4 storeys (Storage Garage - Parkade)

PROPOSED BUILDING AREAS:

MAIN FLOOR AREA: 6,459 FT² (600 m²)
 SECOND FLOOR AREA: 5,768 FT² (536 m²)
 THIRD FLOOR AREA: 5,768 FT² (536 m²)
 FOURTH FLOOR AREA: 5,768 FT² (536 m²)
TOTAL GROSS AREA: 23,763 FT² (2,208 m²)

VARIANCE(S) (DAV) REQUIRED:

- FOR THE CONSTRUCTION OF A MULTI-FAMILY DWELLING TO PERMIT:
 - LOT AREA PER DWELLING UNIT OF 690 SQ. FT. (64.11 sqm) VS. REQUIRED 800 SQ. FT. (74.33 sqm).
 - SOUTH FRONT YARD SETBACK OF 11'-0" (6.41m) VS. REQUIRED 44'-0" (13.42m) SETBACK.
 - A BUILDING HEIGHT OF 40'-0" (12.2m) VS. REQUIRED 35'-0" (10.7m)
- FOR THE ESTABLISHMENT OF AN ACCESSORY PARKING AREA TO PERMIT:
 - 2 VISITOR PARKING SPACES VS. REQUIRED 3 SPACES.
 - NO BUFFERING OF A PARKING AREA LOCATED WITHIN 20'-0" (6.1m) OF A REAR LOT LINE ADJACENT TO A RESIDENTIAL DISTRICT.

CONDITIONAL USE REQUIRED:

MULTI-RESIDENTIAL BUILDING MORE THAN 4 DWELLING UNITS.

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: DCU 150997/2026C

SHEET # 2 OF 6

APPLICANT(SGN): _____

ZONING OFFICER: Diana Lopez

DATE: June 16, 2026



GENERAL NOTES:
 1. DRAWING IS INTENDED TO BE VIEWED IN COLOUR.

- LEGEND:**
- PROPERTY LINE
 - SETBACK LINE
 - SOD LANDSCAPING. REFER TO LANDSCAPE DRAWINGS.
 - DECORATIVE STONE MULCH PLANTING BED. REFER TO LANDSCAPE DRAWINGS.
 - PP PARKING POST AND PLUG
 - EXISTING TREE TO REMAIN
 - EXISTING, NOT IN CONTRACT (N.I.C.)

REFER TO LANDSCAPE DRAWINGS FOR ALL PROPOSED PLANTING

3	FOR CONDITIONAL USE AND VARIANCES	2026-06-10	PC
2	FOR REVIEW	2026-06-05	PC
1	FOR CONDITIONAL USE AND VARIANCES	2026-04-30	PC
NO.	ISSUED FOR	DATE	BY
DRAWN BY:	BV	CHECKED BY:	
PRINTING DATE:	JUNE, 2026		

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STAMP

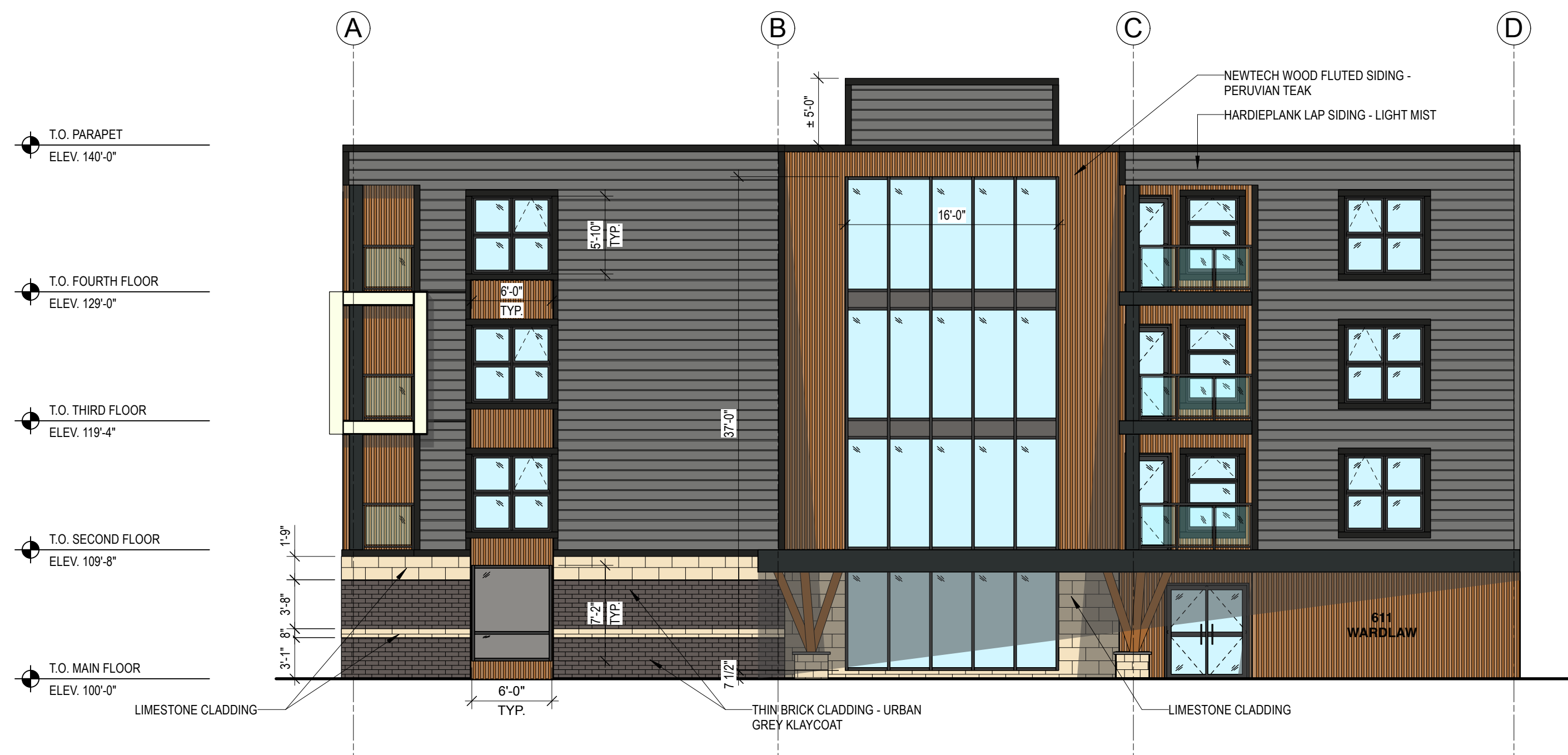
PRELIMINARY
NOT FOR CONSTRUCTION

**611 WARDLAW AVENUE
RE-DEVELOPMENT**

WINNIPEG, MB
SITE PLAN

PROJECT NO.
2537

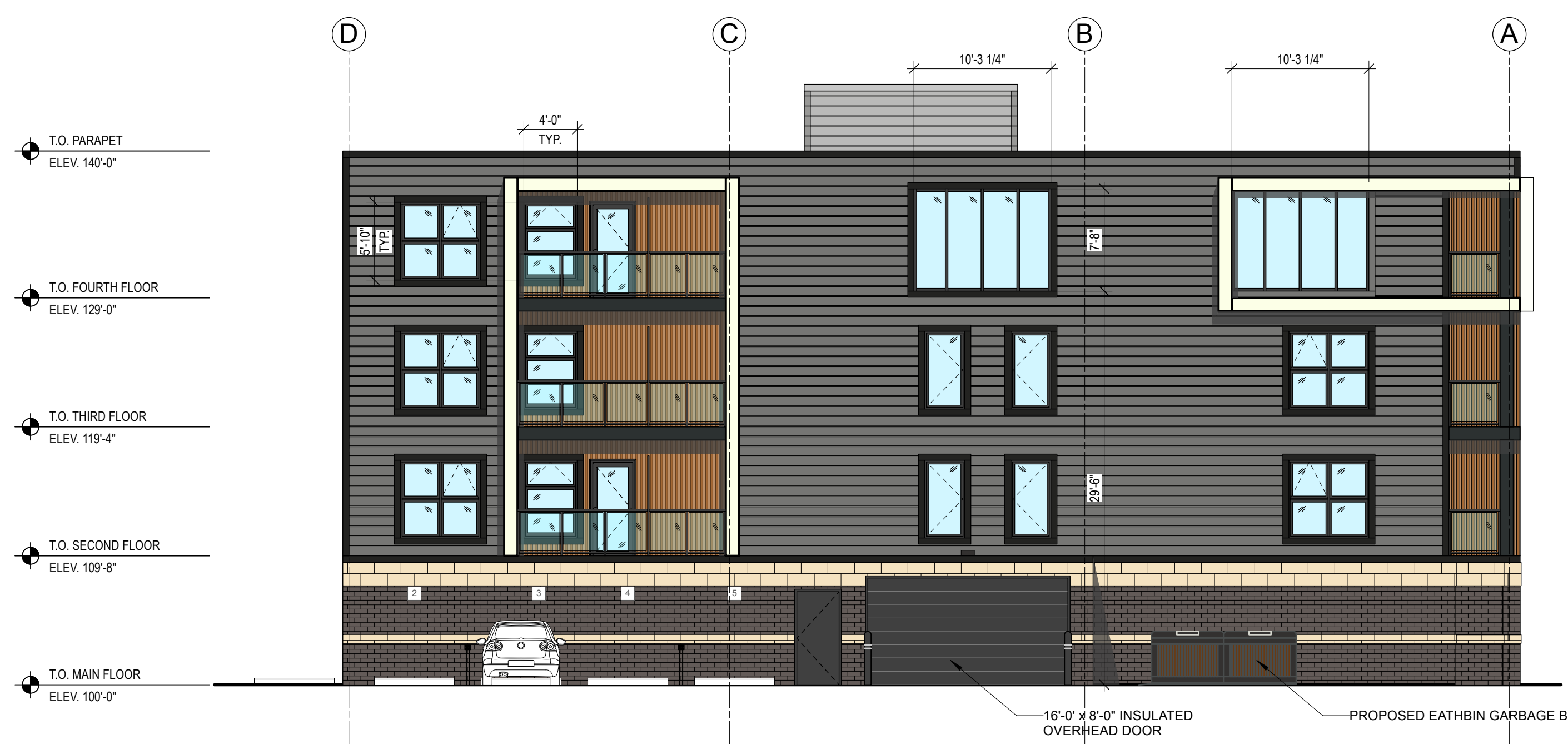




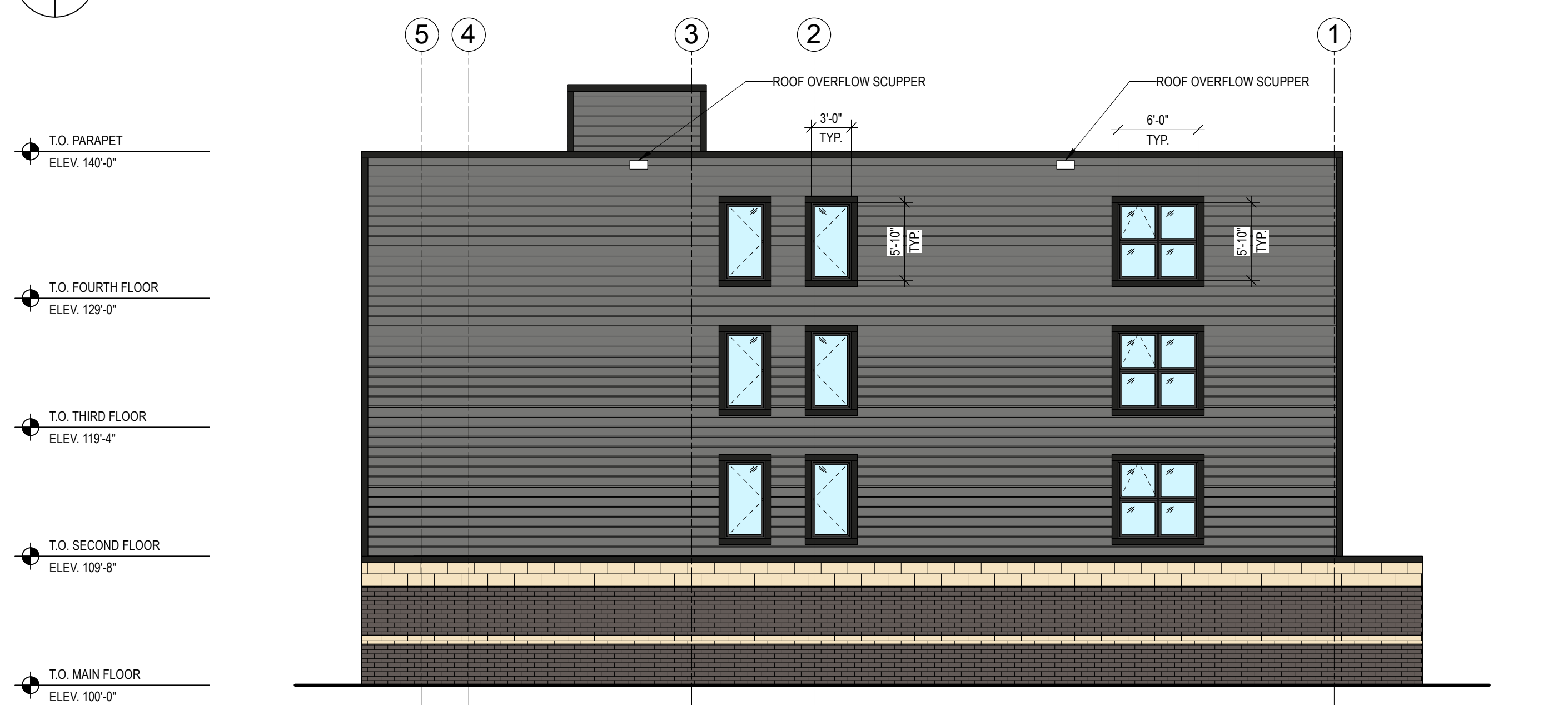
1 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



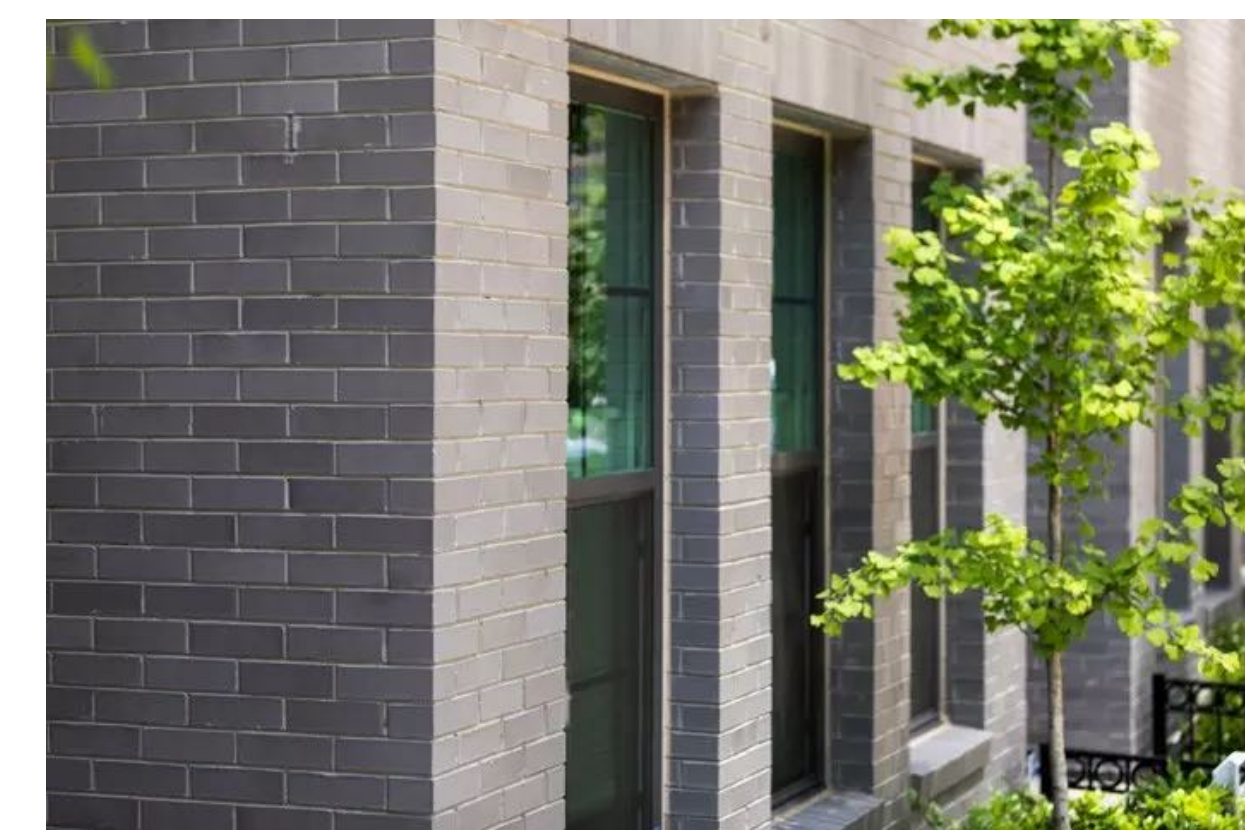
3 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



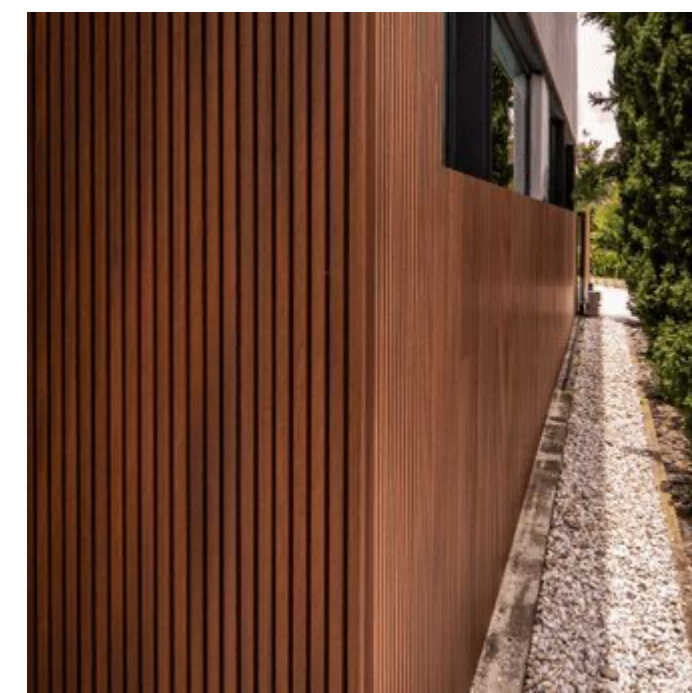
HardiePlank® Lap Siding
Colour: Gray Slate



I-XL Glen-Gery Thin Brick
Colour: Urban Grey Klaycoat



NewTechWood - Norwegian Fluted Siding
Colour: Peruvian Teak



GENERAL NOTES:

1. THIS DRAWING IS INTENDED TO BE VIEWED IN COLOUR.

LEGEND:

-  HARDIEPLANK® LAP SIDING OR APPROVED EQUAL
COLOUR: **GRAY SLATE**
OBTAIN SAMPLES TO CONFIRM.
-  METAL CLADDING OR APPROVED EQUAL
COLOUR: **IRON ORE**
OBTAIN SAMPLES TO CONFIRM.
-  THIN BRICK CLADDING OR APPROVED EQUAL
I-XL GLEN-GERY
COLOUR: **URBAN GREY KLAYCOAT**
-  LIMESTONE CLADDING
-  NEWTECHWOOD OR APPROVED SIMILAR
NORWEGIAN FLUTED SIDING
COLOUR: **PERUVIAN TEAK**
-  OPAQUE GLAZING
COLOUR: TO MATCH COMPOSITE CLADDING
OBTAIN SAMPLES TO CONFIRM.
-  GLAZING
COLOUR: SOLARBAN® 60 (2) SOLARGRAY® - CLEAR
OBTAIN SAMPLES TO CONFIRM.

NOTE:

ALL HARDIE TRIM COLOUR TO BE **IRON GRAY**

1	FOR CONDITIONAL USE & VARIANCES	2026-06-11	PC
NO.	ISSUED FOR	DATE	BY
DRAWN BY:	BV	CHECKED BY:	
PRINTING DATE:	JUNE, 2026		

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STAMP

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: DCU 150997/2026C

SHEET # 3 OF 6

APPLICANT(SGN): _____

ZONING OFFICER: Diana Lopez

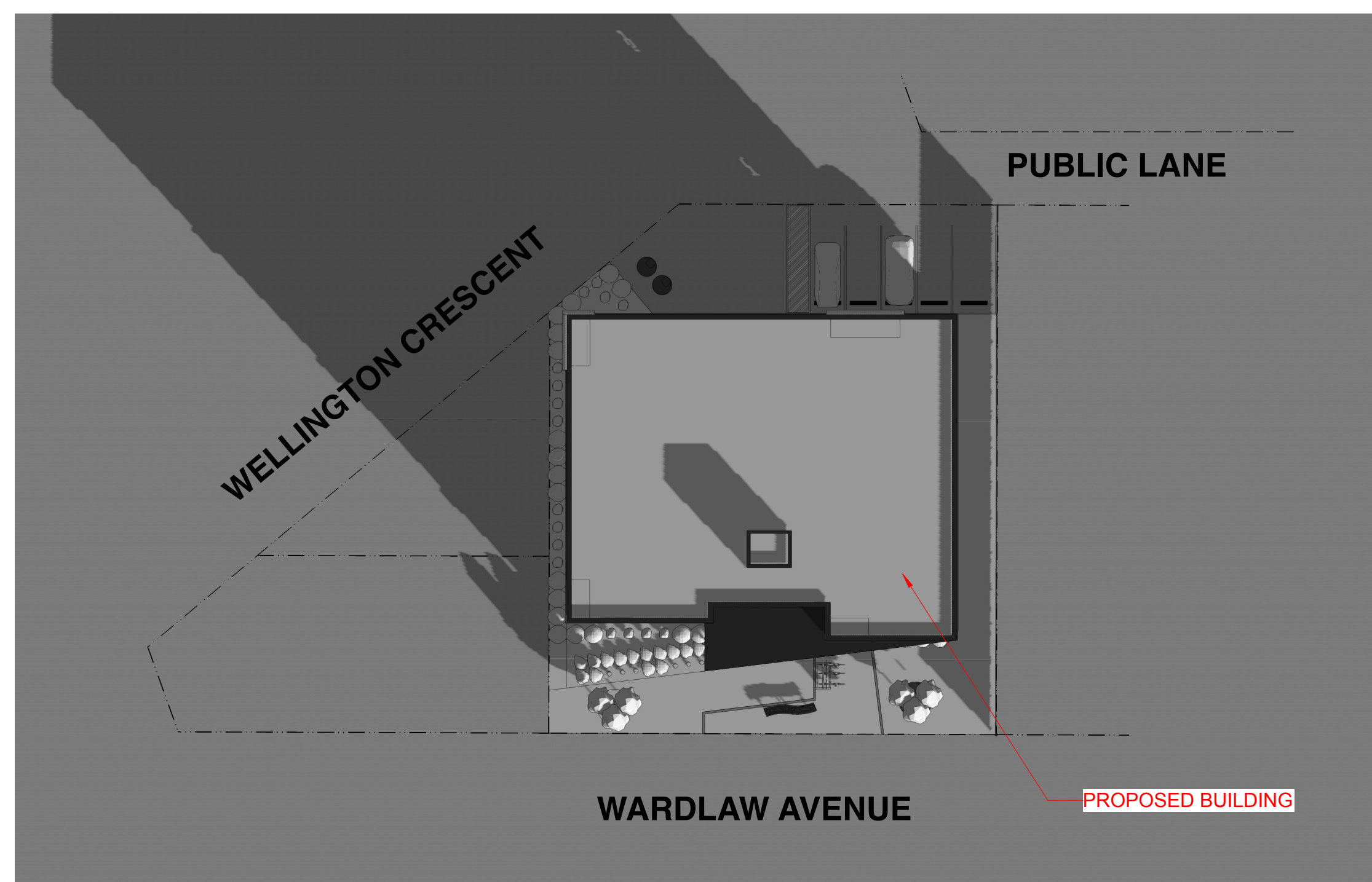
DATE: June 16, 2026

11 WARDLAW AVENUE
E-DEVELOPMENT

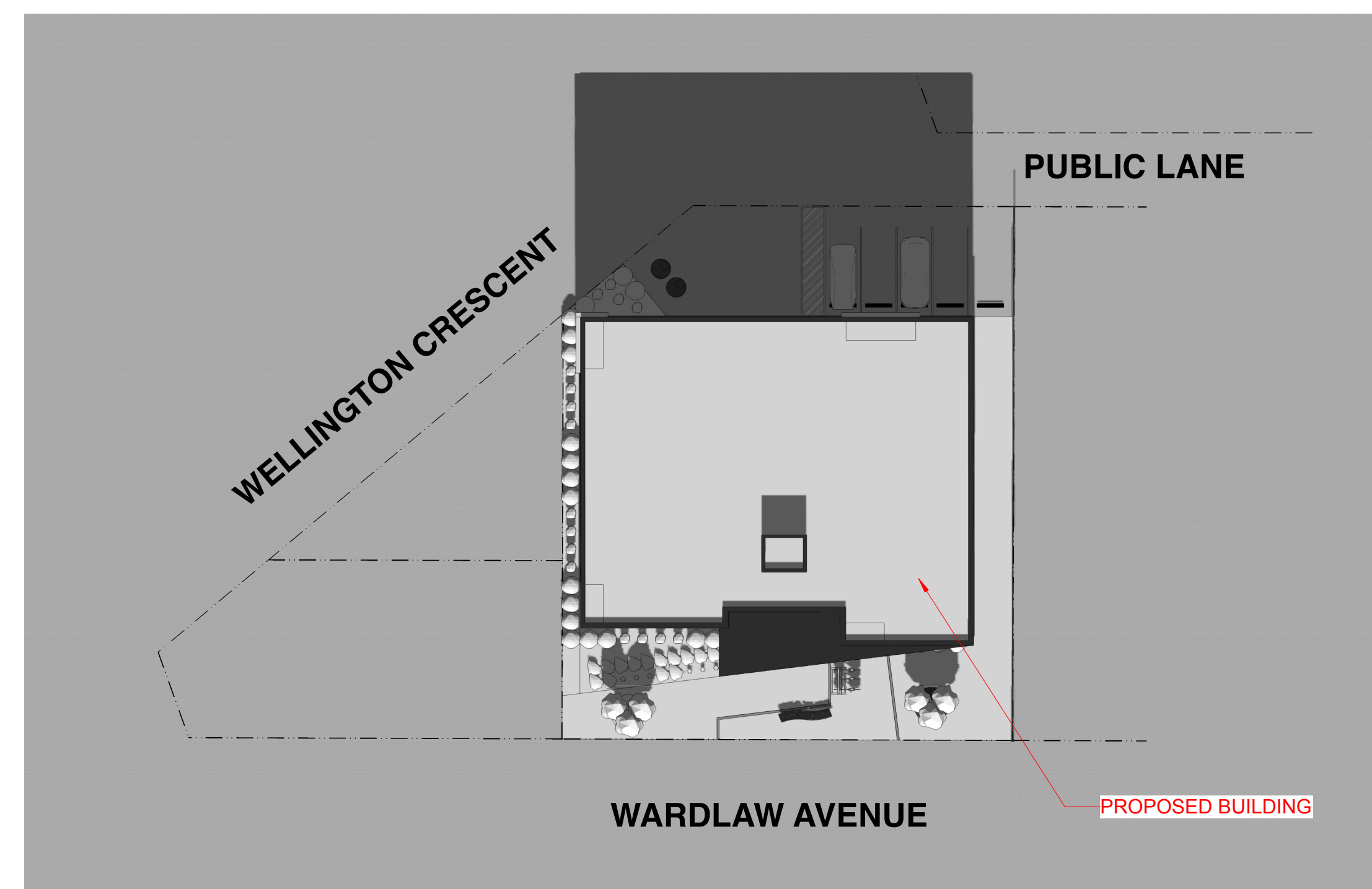
WINNIPEG, MB
EXTERIOR ELEVATIONS

PROJECT NO.
2537

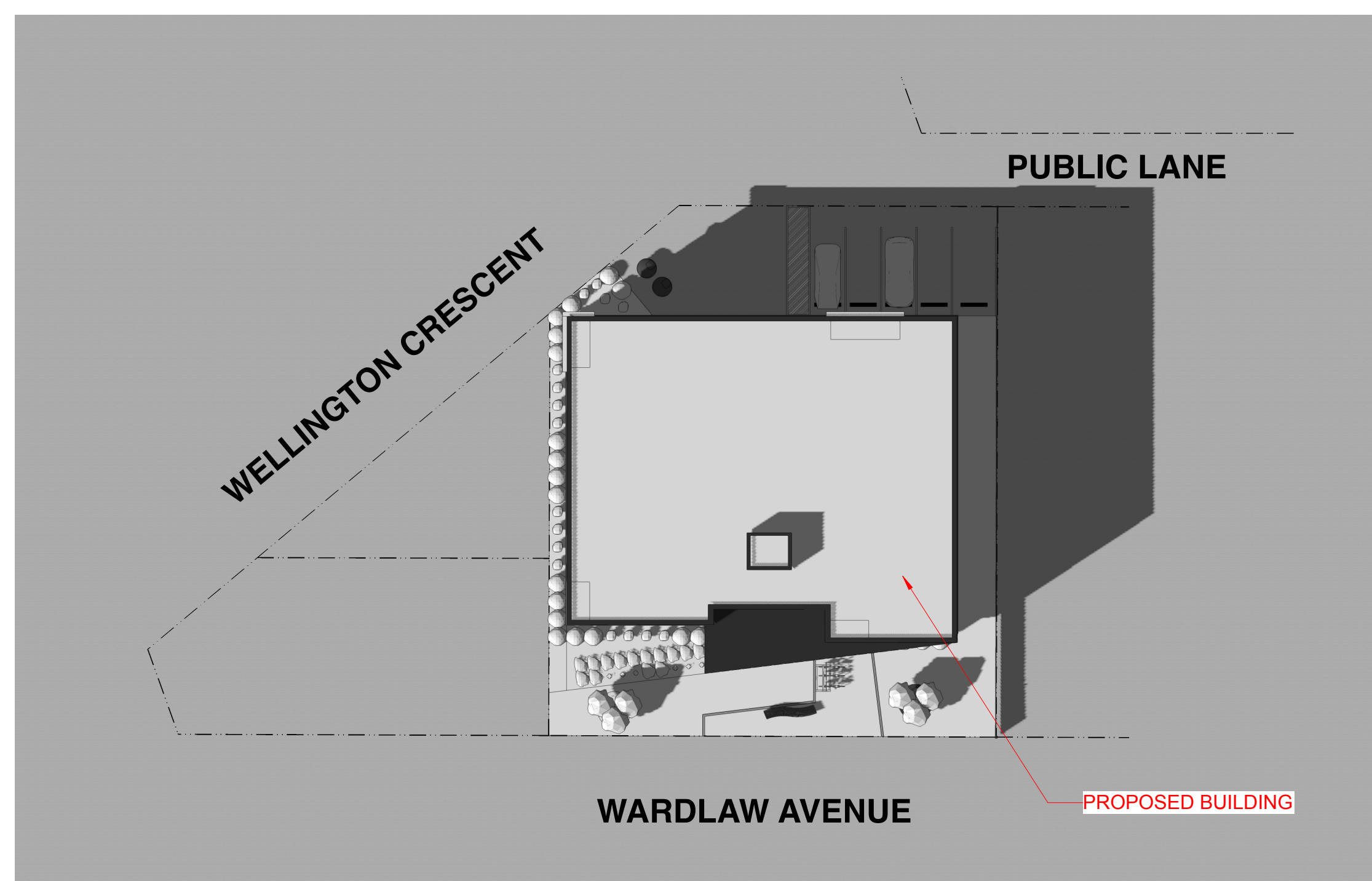
A3.1



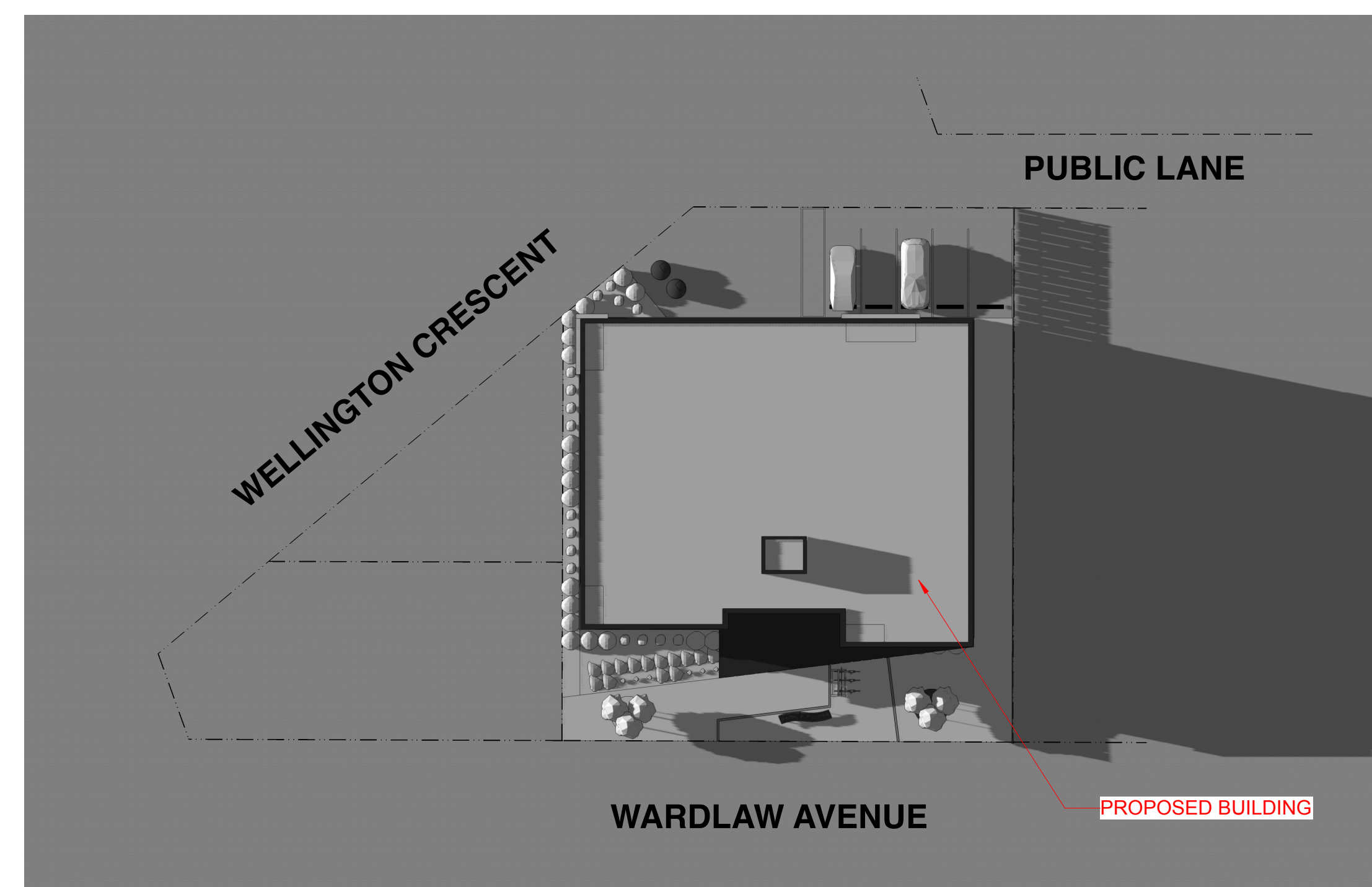
TIME: 9:00



TIME: 12:00



TIME: 15:00



TIME: 18:00

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: DCU 150997/2026C

SHEET # 4 OF 6

APPLICANT(SGN): _____

ZONING OFFICER: Diana Lopez

DATE: June 16, 2026

1	FOR CONDITIONAL USE AND VARIANCES	2026-04-30	PC
NO.	ISSUED FOR	DATE	BY

DRAWN BY: BV CHECKED BY: _____

PRINTING DATE: APRIL, 2026

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The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting discrepancy to the architects for adjustment.

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION

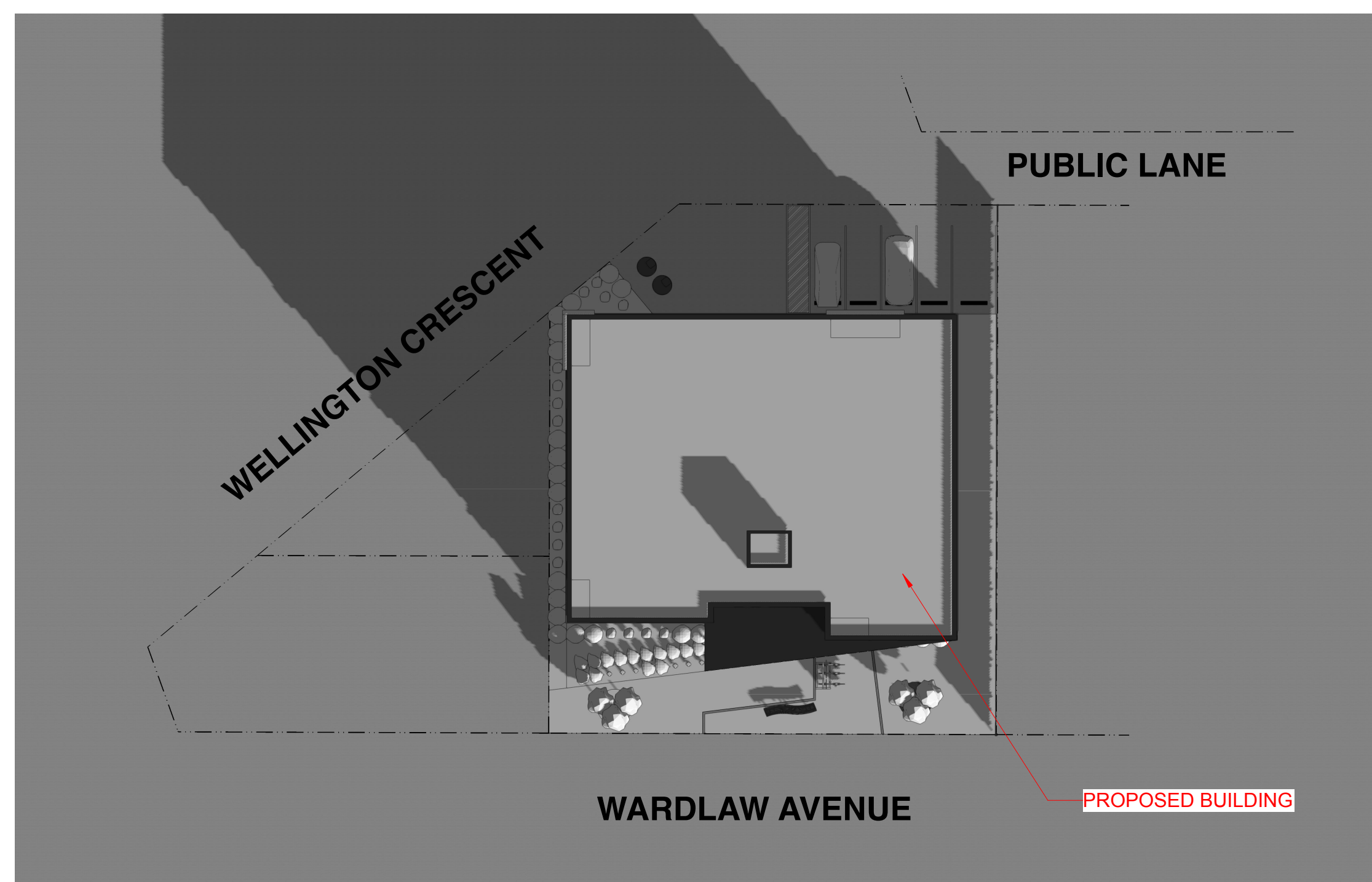
611 WARDLAW AVENUE
RE-DEVELOPMENT

WINNIPEG, MB

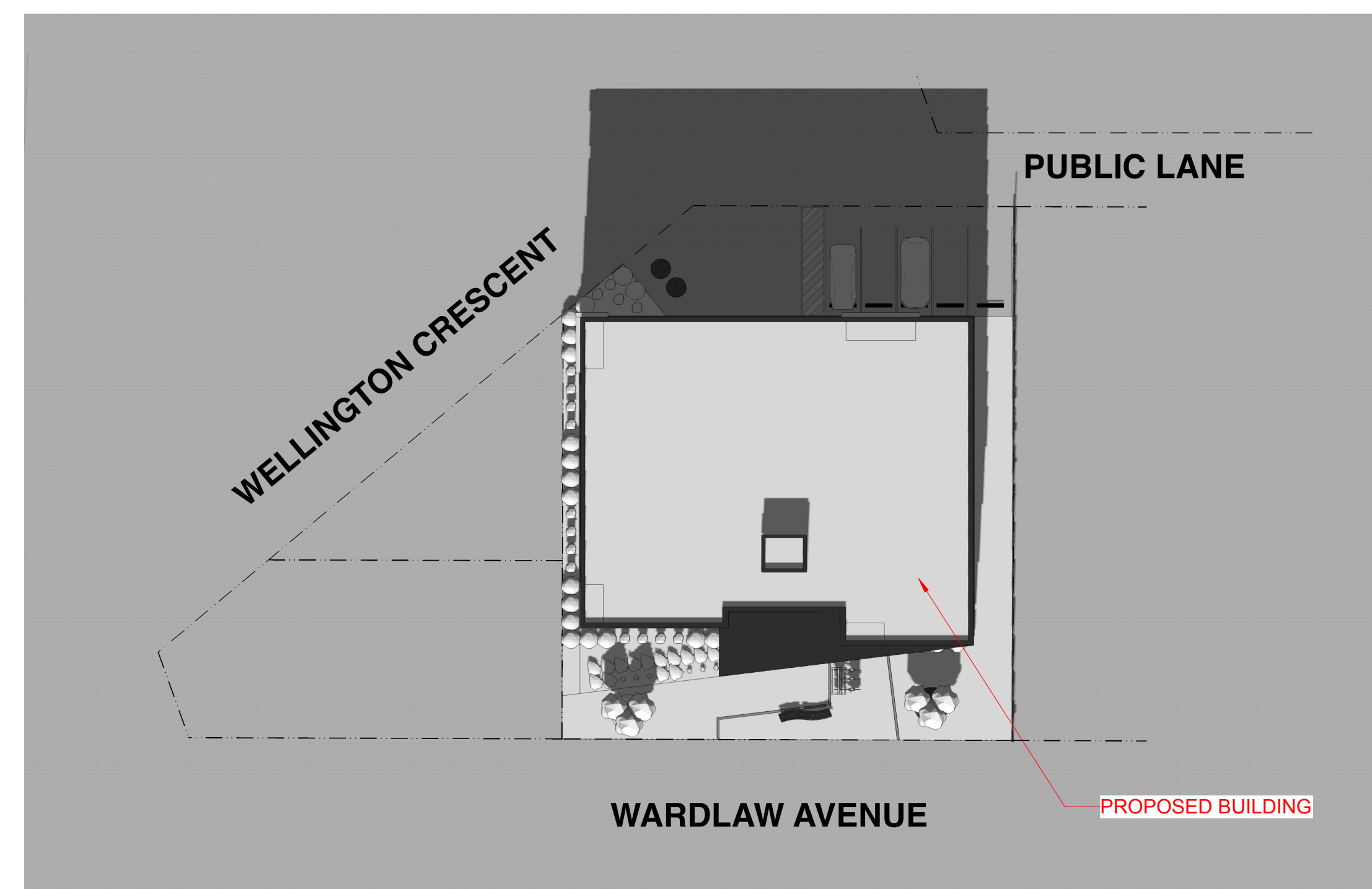
SUN SHADOW STUDY
MARCH 21

PROJECT NO.
2537

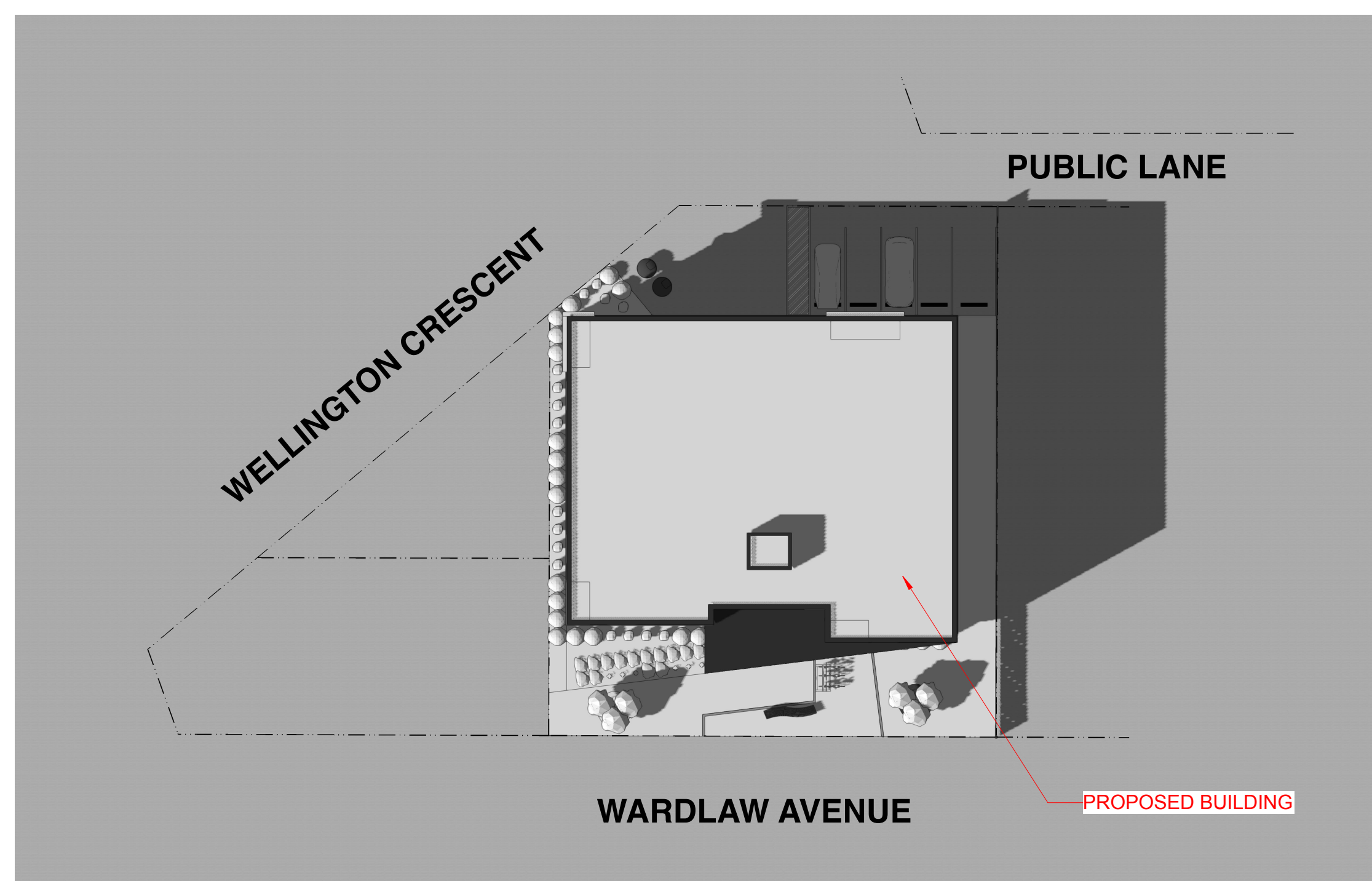
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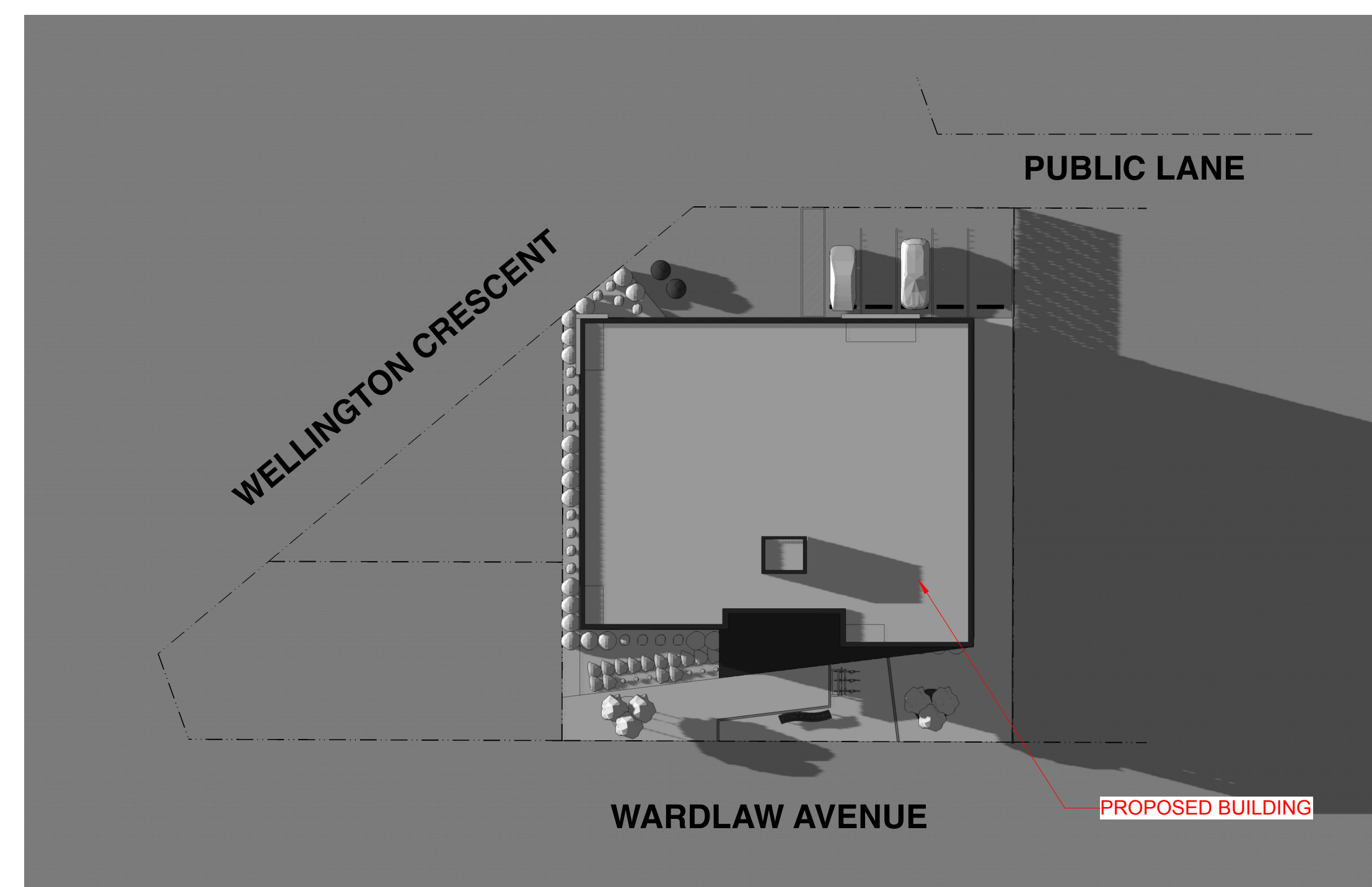
TIME: 9:00



TIME: 12:00



TIME: 15:00



TIME: 18:00

ZONING AND PERMIT BRANCH
THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: DCU 150997/2026C
SHEET # 5 OF 6
APPLICANT(SGN): _____
ZONING OFFICER: Diana Lopez
DATE: June 16, 2026

1	FOR CONDITIONAL USE AND VARIANCES	2026-04-30	PC
NO.	ISSUED FOR	DATE	BY
DRAWN BY:	BV	CHECKED BY:	
PRINTING DATE: APRIL, 2026			

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PRELIMINARY
NOT FOR CONSTRUCTION

611 WARDLAW AVENUE
RE-DEVELOPMENT

WINNIPEG, MB

SUN SHADOW STUDY
SEPTEMBER 21

PROJECT NO.
2537

A3.3



PROPOSED SOUTHWEST ELEVATION (WARDLAW AVENUE)

ZONING AND PERMIT BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH: DCU 150997/2026C

SHEET # 6 OF 6

APPLICANT(SGN): _____

ZONING OFFICER: Diana Lopez

DATE: June 16, 2026



PROPOSED NORTHWEST ELEVATION (ALONG WELLINGTON CRESCENT)

1	FOR CONDITIONAL USE AND VARIANCES	2026-04-30	PC
NO.	ISSUED FOR	DATE	BY
DRAWN BY:	BV	CHECKED BY:	
PRINTING DATE: APRIL, 2026			

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The contractor is to verify dimensions and date noted herein with conditions on the site and is held responsible for reporting discrepancy to the architects for adjustment.

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PRELIMINARY
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611 WARDLAW AVENUE
RE-DEVELOPMENT

WINNIPEG, MB

EXTERIOR RENDERINGS

PROJECT NO.
2537

A3.4