

## ADMINISTRATIVE REPORT

**Title:** DAV 26-164336\C – 109 Mayfair Ave

**Issue:** For consideration of a Variance associated with the erection of 2 roof signs.

**Critical Path:** Director of Planning, Property, and Development

### AUTHORIZATION

| Author             | Department Head | CFO | CAO |
|--------------------|-----------------|-----|-----|
| I. Stonehouse, MCP | n/a             | n/a |     |

### DECISION AND CONDITIONS

The Urban Planning and Design Division **rejects** the application to vary the "RMF-L" Development and Design Standards of Winnipeg Zoning By-Law No. 200/2006 to permit the erection of 2 roof signs, said signs not permitted.

### REASON FOR THE REPORT

- The applicant is proposing to erect two roof signs and requires a Variance for roof sign requirements of the *Winnipeg Zoning By-Law*.
- This report provides information regarding the subject application's compliance with *The City of Winnipeg Charter*, section 249.

### FILE/APPLICANT DETAILS

**FILE:** DAV 26-164336\C  
**RELATED FILES:** N/A  
**COMMUNITY:** City Centre Committee  
**NEIGHBOURHOOD #:** 1.111 - (RIVER-OSBORNE)

**SUBJECT:** To vary the "RMF-L" Development and Design Standards of Winnipeg Zoning By-Law No. 200/2006 to permit the erection of 2 roof signs, said signs not permitted.

**LOCATION:** 109 Mayfair Ave  
**LEGAL DESCRIPTION:** LOT 1 PLAN 70034

**APPLICANT:** Srs Signs & Service Inc. (Jed Dessureault)  
1520 Notre Dame Ave  
Winnipeg, MB R3E 0P9

**OWNER:** W. R. E. DEVELOPMENT LTD.  
280 Queen Elizabeth Way 200  
Winnipeg, MB R3L 2R1

## HISTORY

- In 2019, a Variance application was approved at the City Centre Community Committee for the construction of a 15-storey multi-family dwelling with 96 units. The associated subdivision and rezoning application (DASZ 27/2019), which rezoned the land to “RMF-L” Residential Multi-Family (Large), was approved by Council in 2020.

## DISCUSSION

### CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a Variance with respect to a property may be approved if the Variance:

- (a) is consistent with *Plan Winnipeg* and any applicable secondary plan;
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- (d) is compatible with the area in which the property to be affected is situated.

### SITE DESCRIPTION

- The subject property is located on Mayfair Ave, in the River-Osborne neighbourhood of the Fort Rouge - East Fort Garry ward.
- The subject site is 33,596 square feet in area. The site is currently occupied by a 96-unit multi-family dwelling.
- The subject site is accessed by a side lane which also provides access to the adjacent 101 Mayfair Ave property.
- Under the *Complete Communities Direction Strategy 2.0*, the site is within an “Established Neighbourhood – Mature Community” policy area. The property is zoned “RMF-L” Residential Multi-Family (Large) District.



Figure 1: Aerial photo of subject site and surrounding area.

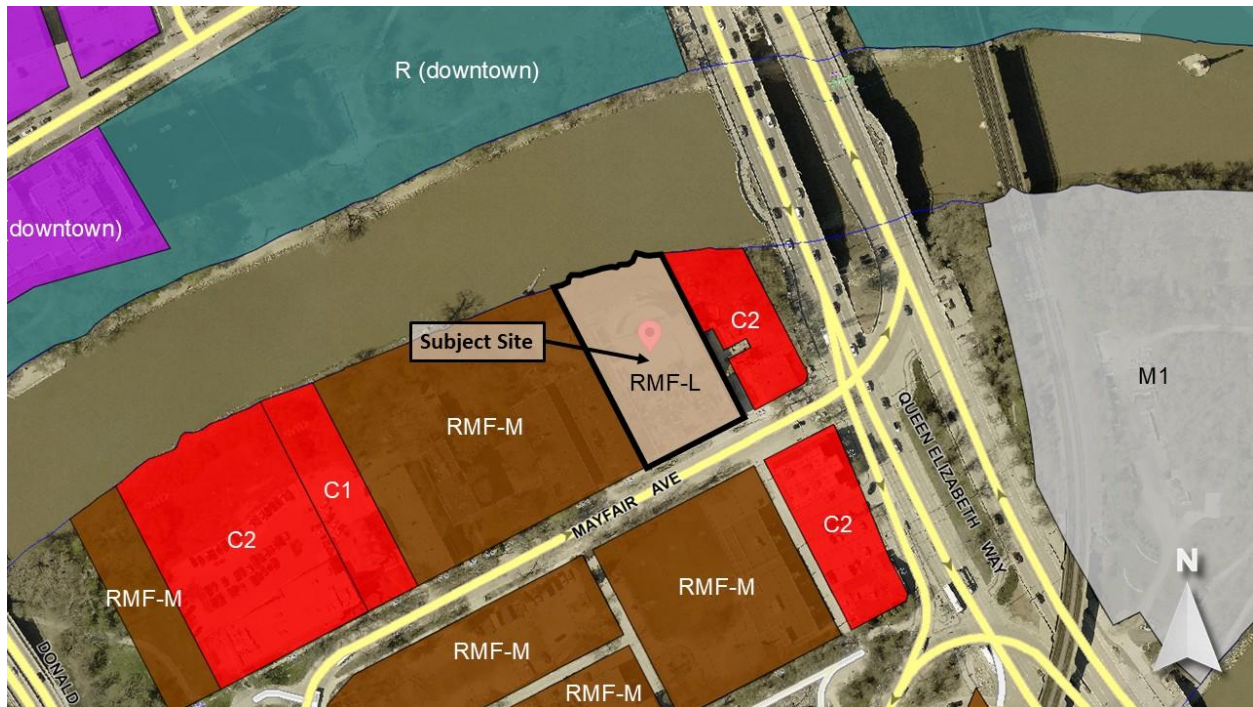
#### **SURROUNDING LAND USE AND ZONING (See Figure 2)**

**North:** The Assiniboine River, then Downtown.

**South:** Mayfair Avenue, then an elementary school (Fort Rouge School) zoned "RMF-M" Residential Multi-Family (Medium).

**East:** Side lane, then a commercial building zoned "C2" Commercial - Community.

**West:** A 48-unit multi-family dwelling zoned "RMF-M" Residential Multi-Family (Medium).



**Figure 2: Zoning of the site and surrounding area.**

## **DESCRIPTION OF THE PROPOSED DEVELOPMENT**

- The applicant intends to erect two roof signs onto the recently constructed multi-family dwelling.
- The proposed roof signs would include illuminated channel letters held up by aluminum structures, located on the north and south sides of the building roof.
- Both proposed signs would measure approximately 20 feet wide and 12 feet tall.

## **COLLABORATIVE PLANNING AND CONSULTATION**

### *With the Urban Planning and Design Division*

The applicant reached out to the Division prior to submitting their application. We (the Division) advised that we are not in a position to be able to support roof signage, per Section 182(4) of the Zoning By-Law which states: "*Roof signs, other than signs on mansard style roofs, are not permitted.*" The Division also advised that this decision, should the application be submitted, is subject to Appeal. The applicant decided to move forward with the application.

### *With the Public*

The applicant did not include signatures of support in their application.

## **ANALYSIS AND ISSUES**

### ***Complete Communities Direction Strategy 2.0 (CCDS 2.0)***

CCDS 2.0 is one of four direction strategies supporting *OurWinnipeg*, the city's long-range development plan, and has statutory authority as a secondary plan. The strategy guides land use and development in Winnipeg.

- The subject property is located in an Established Neighbourhood designated as a "Mature Community" as outlined in *CCDS 2.0*.
- The Vision for Established Neighbourhoods is for them to continue to evolve as complete communities, to increase the diversity of housing choices, improve housing affordability, and more efficiently use land, infrastructure and services.
- Goal 1 states "encourage compatible residential development within Established Neighbourhoods to build more *Complete Communities* and align with the City's residential intensification target."
- General policies for Established Neighbourhoods that relate to the subject proposal are as follows:

*1.6 In the absence of a secondary plan guiding the local development of an Established Neighbourhood, intensification should be guided by a number of factors to ensure compatible development, including:*

- a. Applicable City-endorsed policies or guidelines;*
- b. Existing zoning of the property and adjacent properties;*
- c. Characteristics of the immediately surrounding built form including building mass, height, lot coverage, setbacks, and layout;*
- d. Surrounding uses and their characteristics including residential density and the intensity of commercial and other non-residential uses;*
- e. Characteristics of the lot, including whether it is a corner lot, a larger lot than is typical for the neighbourhood, or the shape of the lot;*
- f. Proximity to Downtown, Mixed Use Centres, Major Redevelopment Sites and Mixed Use Corridors;*
- g. The supporting street network (ex. local, collector, or arterial streets) and the street network's ability to support proposed development;*
- h. The supporting transit, pedestrian and active transportation network; and*
- i. The supporting water, wastewater, and land drainage infrastructure and capacity to accommodate a proposed development or ability to make the required upgrades necessary to accommodate a proposed development.*

### **City of Winnipeg Zoning By-Law 200/2006**

The *Winnipeg Zoning By-Law* contains standards for building signage. As specified in Section 182 (Regulations for Specific Types of Signs):

#### **Roof Signs**

**182(4)** *Roof signs, other than signs on mansard style roofs, are not permitted.*

The existing multi-family building does not feature a mansard style roof, therefore roof signs are not permitted.



## VARIANCES

### To Permit the Erection of 2 Roof Signs, Said Signs Not Permitted

A Variance has been requested to permit the erection of 2 roof signs, said signs not permitted.

It is worth noting that from a purely aesthetic perspective, the roof sign proposal is not egregiously out of place with the building design or surrounding area. The property is located across the Assiniboine River from Downtown, where roof signs are permitted. Despite this acknowledgement, section 182(4) of the *Winnipeg Zoning By-Law* is clear: “Roof signs, other than signs on mansard style roofs, are not permitted.”

The applicant could modify the design of the signs to have them comply. For example, the signs could be dropped from their current position on the roof onto the building façade between the windows of the top floor and the roof.

Per the explicit standards set out in the *Zoning By-Law* pertaining to roof signs, the Division rejects this Variance.

## REASONS FOR DECISION

In the context of Section 247(3), the Urban Planning and Design Division **rejects** the application for the following reasons:

- (a) is **not** consistent with *Plan Winnipeg* and any applicable secondary plan;  
*In that, the proposal for the erection of 2 roof signs does not comply with sign standards set out in Section 182(4) the Winnipeg Zoning By-Law. Given this non-compliance, the proposal's alignment with Complete Communities 2.0, including Established Neighbourhoods Section 1.6, which speaks to development being compatible with applicable City-endorsed policies or guidelines, is ambiguous at best.*
- (b) **does** create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;  
*In that, the applicant is proposing to erect 2 roof signs which are not consistent with sign standards of the Winnipeg Zoning By-Law.*
- (c) is **not** the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and  
*In that, the requested Variance is a significant departure from Section 182(4) of the Winnipeg Zoning By-Law, which explicitly states that roof signs are not permitted.*
- (d) is **not** compatible with the area in which the property to be affected is situated.  
*In that, section 182(4) of the Winnipeg Zoning By-Law is clear: “Roof signs, other than signs on mansard style roofs, are not permitted.”*

## OURWINNIPEG 2045 POLICY ALIGNMENT

**City Building Objective 2: Integrate resilient land use, transportation and infrastructure planning, and investments.**

- Ensure that land use, transportation, and infrastructure planning are aligned to provide the conditions for compact, complete and connected communities, supported by sustainable transportation options and municipal infrastructure capacity.

#### **WINNIPEG CLIMATE ACTION PLAN ALIGNMENT**

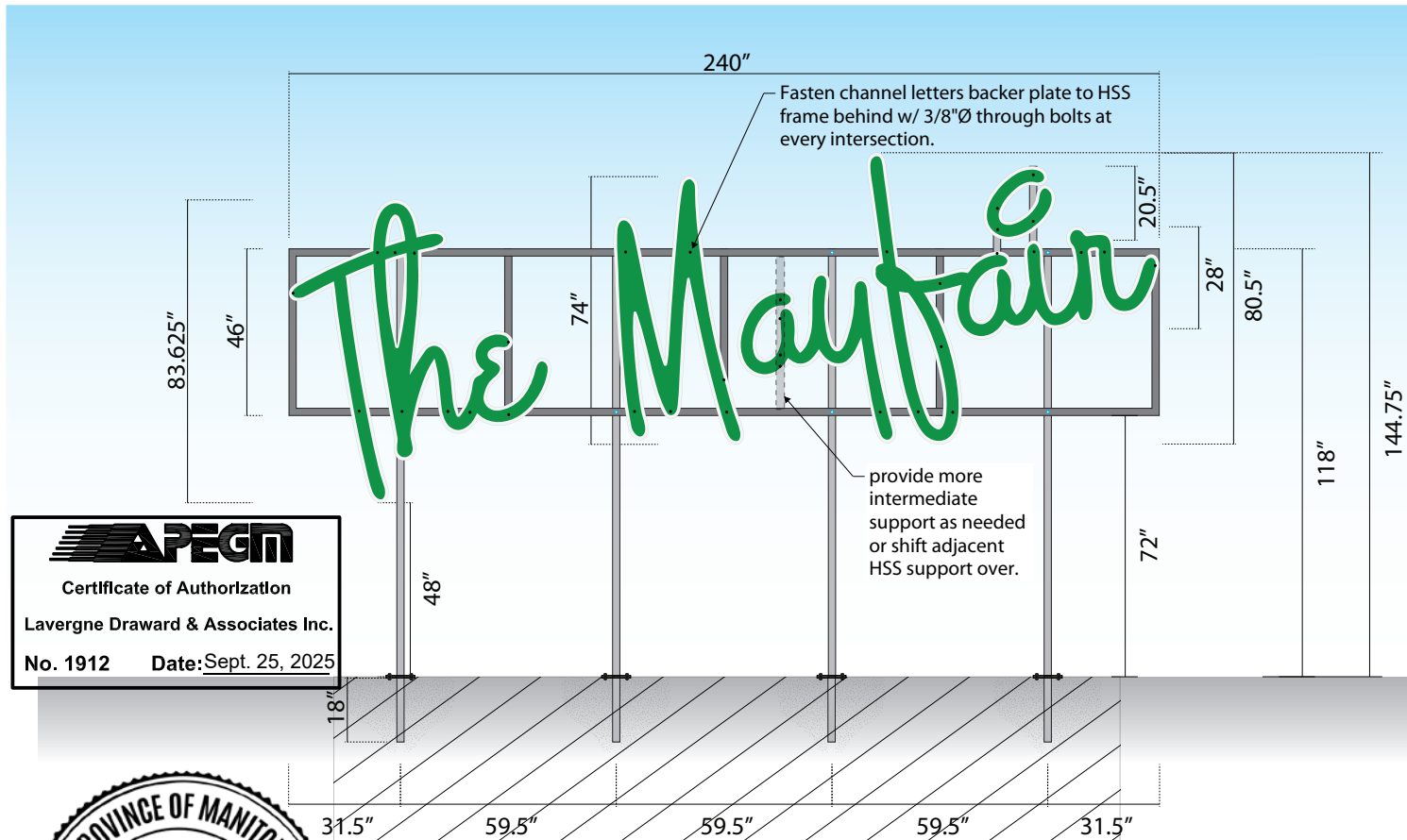
Consideration was given as to whether this report connects to any of the specific Goals and Objectives in the Winnipeg Climate Action Plan and it was determined that the Winnipeg Climate Action Plan is not applicable to this specific report.

#### **WINNIPEG POVERTY REDUCTION STRATEGY ALIGNMENT**

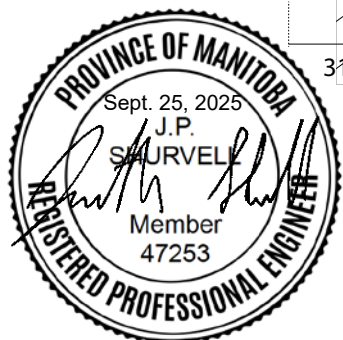
Consideration was given to whether this report connects to any of the specific Goals and Objectives in the *PRS* and it was determined the *PRS* is not applicable to this specific report.

#### **SUBMITTED BY**

Department: Planning, Property and Development  
Division: Urban Planning and Design  
Prepared by: Isaiah Stonehouse, MCP  
Date: Wednesday, July 15, 2026  
File No. DAV 26-164336\C



**APEGM**  
 Certificate of Authorization  
 Lavergne Draward & Associates Inc.  
 No. 1912 Date: Sept. 25, 2025



SEAL APPLIES TO  
 STRUCTURE ONLY  
 LDA PROJECT #25691

**QTY: 2 SETS**

#### GENERAL NOTES

1. DESIGN BASED IN ACCORDANCE WITH THE 2024 MANITOBA BUILDING CODE.
2. ALL CLIMATIC DATA BASED ON WINNIPEG, MB.
3. WIND  $q(1/50) = 0.45 \text{ kPa}$  (9.4 psf)
4. DESIGN WIND  $= q_{\text{UNFACTORED}} = 1.52 \text{ kPa}$  (31.7 psf)
5. DESIGN WIND LOADS CALCULATED IN ACCORDANCE WITH NBCC STATIC PROCEDURE.
6. SEISMIC DESIGN LOAD  $= 0.14W$  (SITE CLASS D ASSUMED)
7. DESIGN SEISMIC LOADS CALCULATED IN ACCORDANCE WITH NBCC 4.1.8.18

#### SIGN FRAMING

1. BOLTS TO BE ASTM A325
2. STRUCTURAL STEEL GRADE 350W
3. HSS SECTIONS TO BE CLASS C, G40.21-13
4. ALL WELDS TO BE IN ACCORDANCE WITH CSA W47.1:19 & W59-18
5. ALL WELDS TO BE FULL STRENGTH U.N.O
6. PROVIDE GASKETS AS REQUIRED BETWEEN ALUMINUM AND STEEL MEMBERS TO PREVENT GALVANIC REACTIONS.
7. ALL ALUMINUM TO BE TYPE T6.
8. ALL EXPOSED FASTENERS AND BOLTS TO BE STAINLESS STEEL OR OTHERWISE PROTECTED.
9. CLADDING/FACE TO BE FASTENED W/ #12 TEK SCREWS @ 12" O.C. U.N.O.
10. ALL SIGN BOXES TO BE FULLY WELDED

CLIENT: WRE DEVELOPMENT LTD

INSTALL  
 ADDRESS: ---

W.O. #: 34497

DESIGNER: MOYIN

DATE: OCT. 10, 2025

PR. MANAGER: DEREK

#### PROJECT OVERVIEW:

Supply and install (2) new sets of illuminated channel letters with aluminum structure.

#### ITEM 1. LETTERS

MODEL: channel letter

TYPE: face lit

FACE: (white) acrylic with applied translucent vinyl

TRIM: 1" x 1.5" angle (painted white)

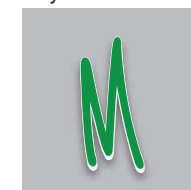
RETURNS: 5" deep (white) channel coil returns

BACKS: 1/4" thick aluminum backs

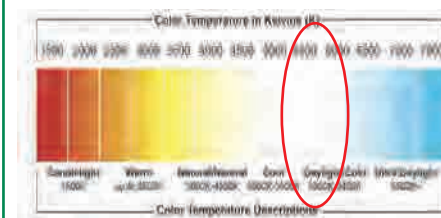
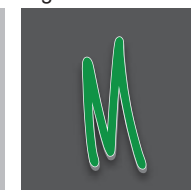
LIGHTING: white LED

MOUNTING: Channel letters mounted to 2" x 2" x 0.25" galv. steel structure (painted galvanized grey), to mount to galvanized steel rooftop hardware provided by others. Additional hardware TBD.

Day View



Night View



#### VINYL COLOURS:

##### Item 1:

- face: tbd

#### PAINT COLOURS:

##### Item 1:

- trim & returns: (white)  
 - aluminum structure: galvanized grey



1520 NOTRE DAME AVE.  
 WINNIPEG, MB, CANADA  
 R3E 0P9

P: (204) 777-7446  
 F: (204) 837-3233  
 WWW.SRSSIGNS.CA



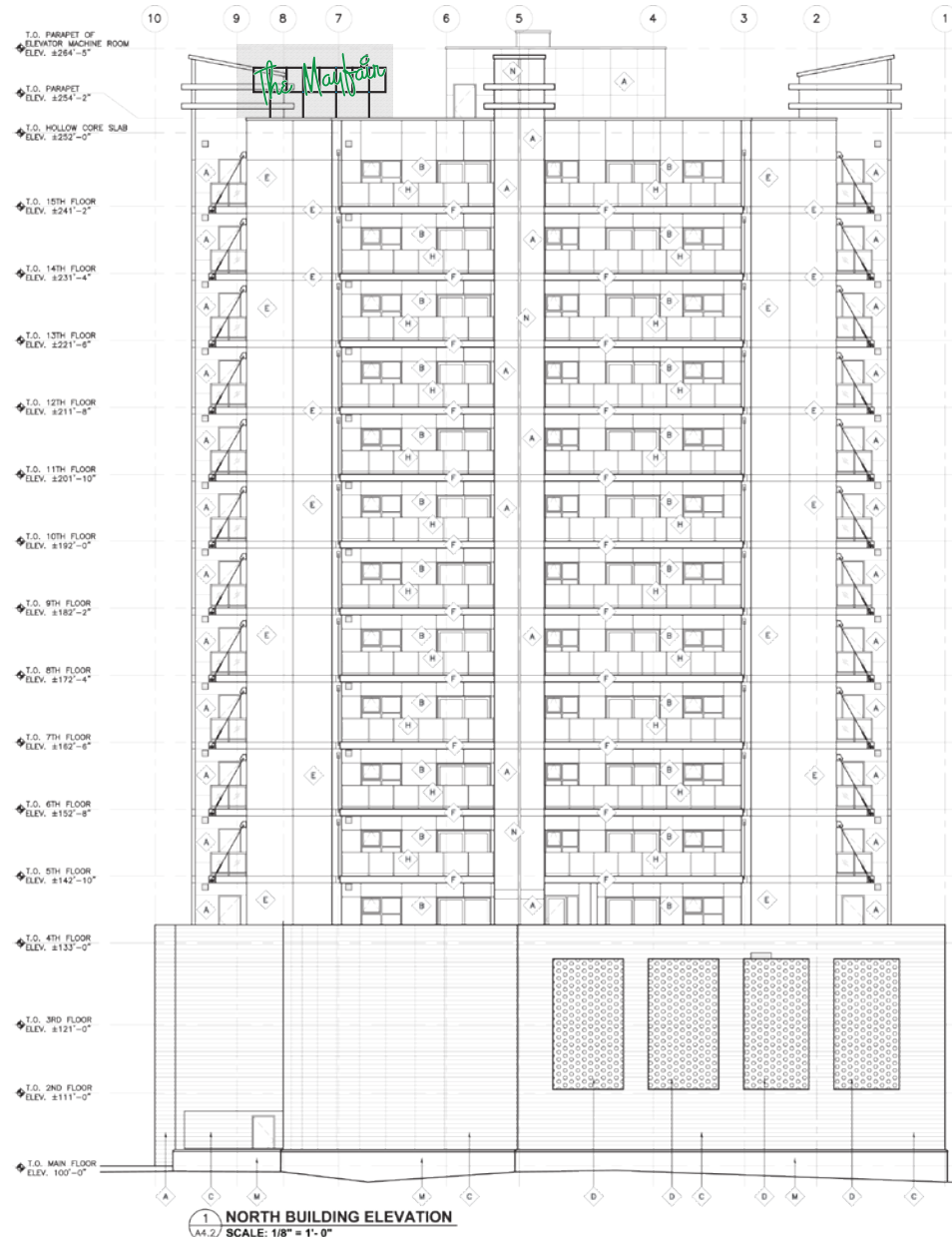
#### CUSTOMER RESPONSIBILITIES:

- LANDLORD APPROVAL
- ELECTRICAL PERMIT AND HOOK UP (UNLESS OTHERWISE STATED)
- DEPOSIT

CLIENT  
 APPROVAL:



## PROPOSAL - North Elevation



CLIENT: WRE DEVELOPMENT LTD

INSTALL  
ADDRESS: ---

W.O. #: 34497

DESIGNER: MOYIN

DATE: OCT. 10, 2025

PR. MANAGER: DEREK

PROJECT OVERVIEW:

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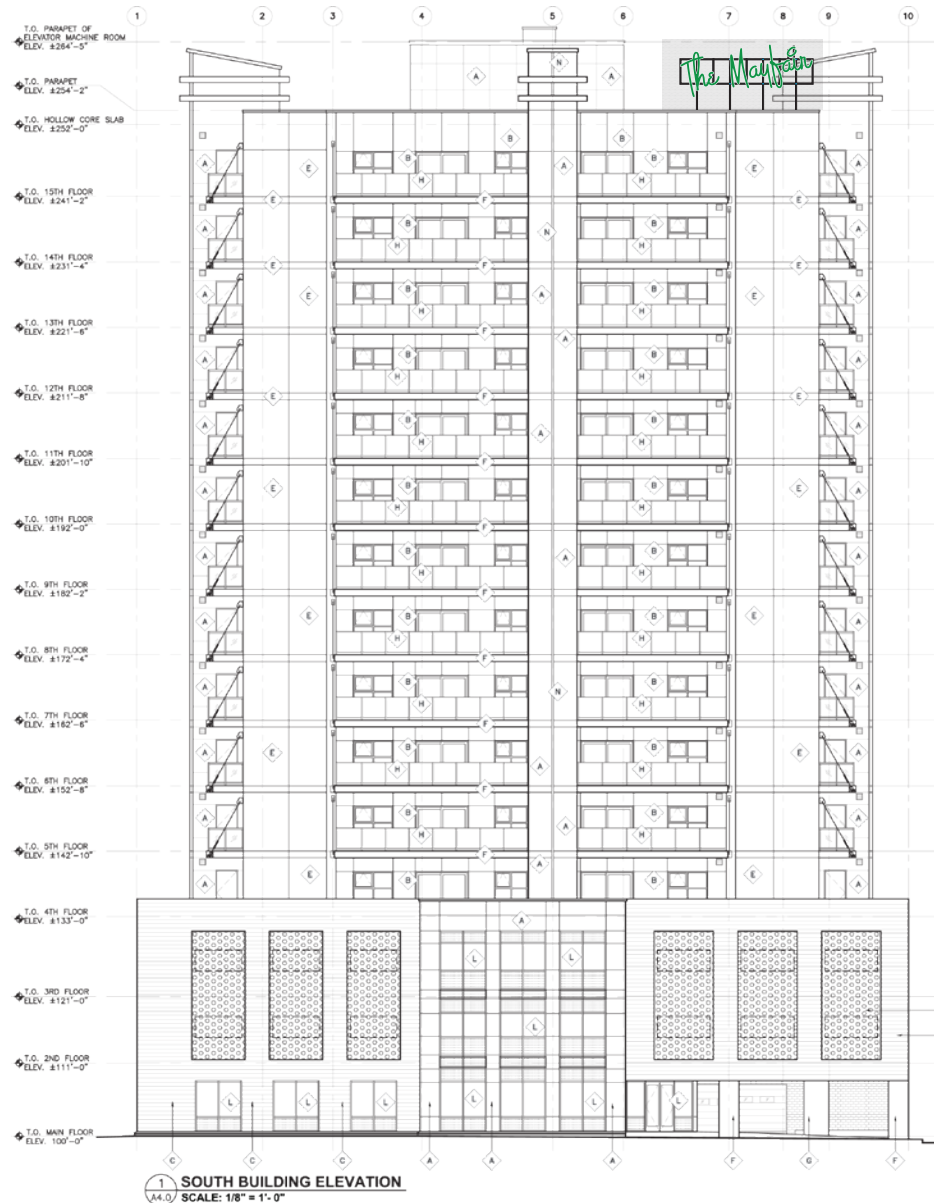
### CUSTOMER RESPONSIBILITIES:

- LANDLORD APPROVAL
- ELECTRICAL PERMIT AND HOOK UP (UNLESS OTHERWISE STATED)
- DEPOSIT

CLIENT  
APPROVAL:

**APPROVED**

## PROPOSAL - South Elevation



CLIENT: **WRE DEVELOPMENT LTD**

INSTALL  
ADDRESS: ---

W.O. #: **34497**

DESIGNER: **MOYIN**

DATE: **OCT. 10, 2025**

PR. MANAGER: **DEREK**

PROJECT OVERVIEW:

Supply and install (2) new sets of illuminated channel letters with aluminum structure.



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WINNIPEG, MB, CANADA  
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### CUSTOMER RESPONSIBILITIES:

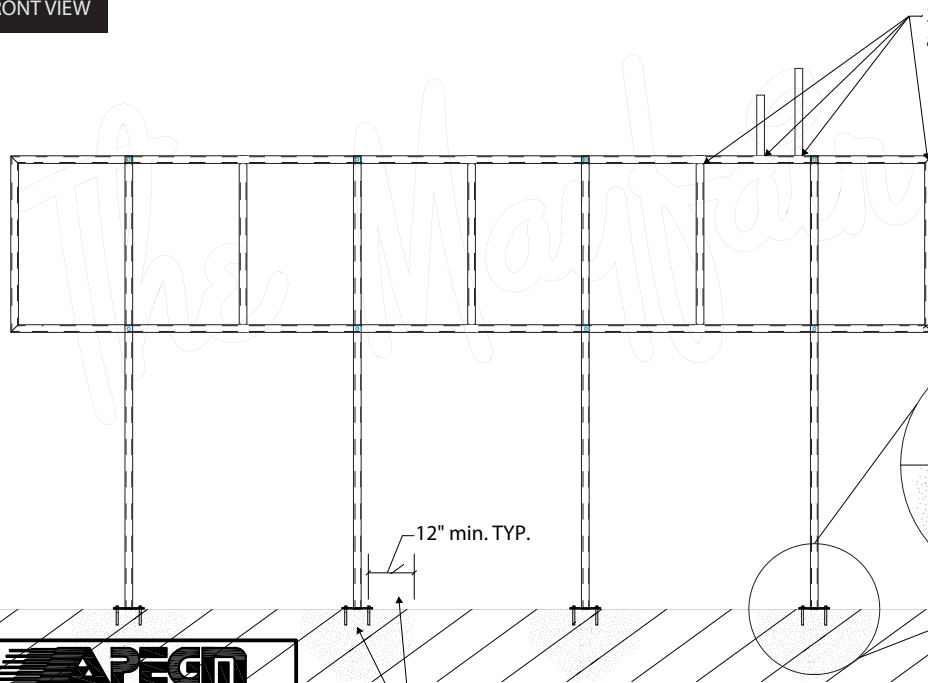
- LANDLORD APPROVAL
- ELECTRICAL PERMIT AND HOOK UP (UNLESS OTHERWISE STATED)
- DEPOSIT

CLIENT  
APPROVAL:

**APPROVED**

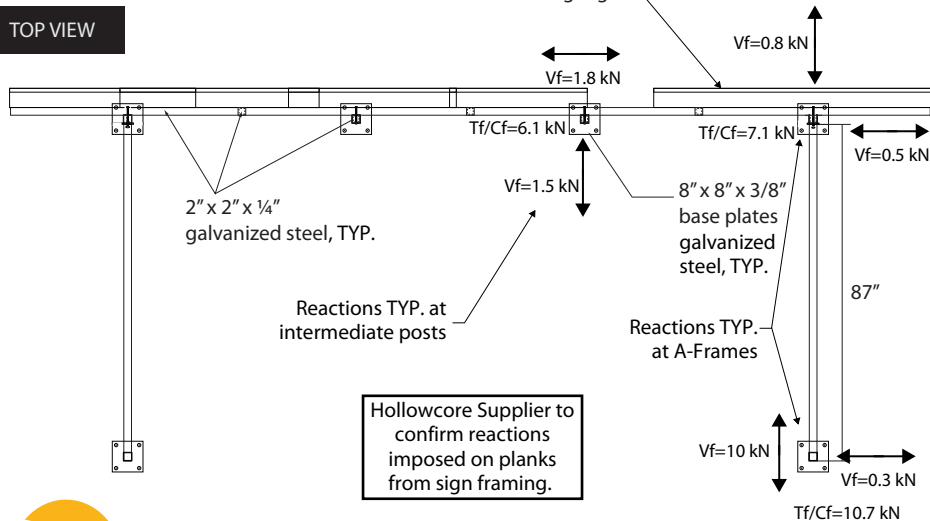
# STRUCTURE DRAWING

FRONT VIEW



grout existing hollow core at anchor area, min. 12" past the anchors e/w, TYP. Grout to be min. 25 MPa.

TOP VIEW



Hollowcore Supplier to confirm reactions imposed on planks from sign framing.

SIDE VIEW

Channel letters signage

1/4" cap plate

2" x 2" x 1/4" galvanized steel

3/16" fillet weld all around. TYP.

8" x 8" x 3/8" galvanized base plates on 1" non-shrink grout

(4) HILTI HAS-V-36 1/2" Ø c/w HILTI HIT-RE 500 V3 4-1/2" min. embedment TYP.

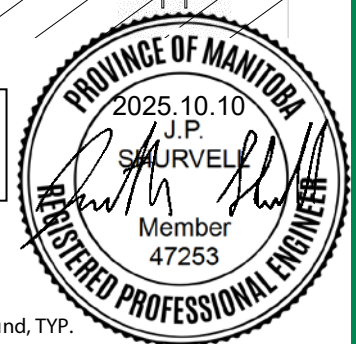
4"x4"x1/4" Galv. Steel plate, 3/16" fillet weld welded to HSS brace, bolted to post and sign frame as shown, TYP.

Provide 1" Ø opening on section wall to install through bolt, TYP.

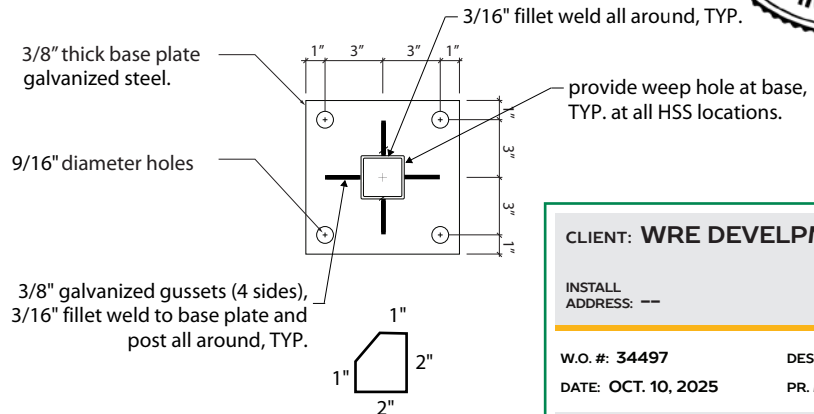
1/2" x 6" grade 5 galvanized bolt and nut, TYP.

2" x 2" x 1/4" galvanized steel

Stamp applies to structure only  
LDA Project #25691



BASEPLATE DETAIL (TYP.)



CLIENT: WRE DEVELOPMENT LTD

INSTALL ADDRESS: ---

W.O. #: 34497

DESIGNER: MOYIN

DATE: OCT. 10, 2025

PR. MANAGER: DEREK

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CUSTOMER RESPONSIBILITIES:

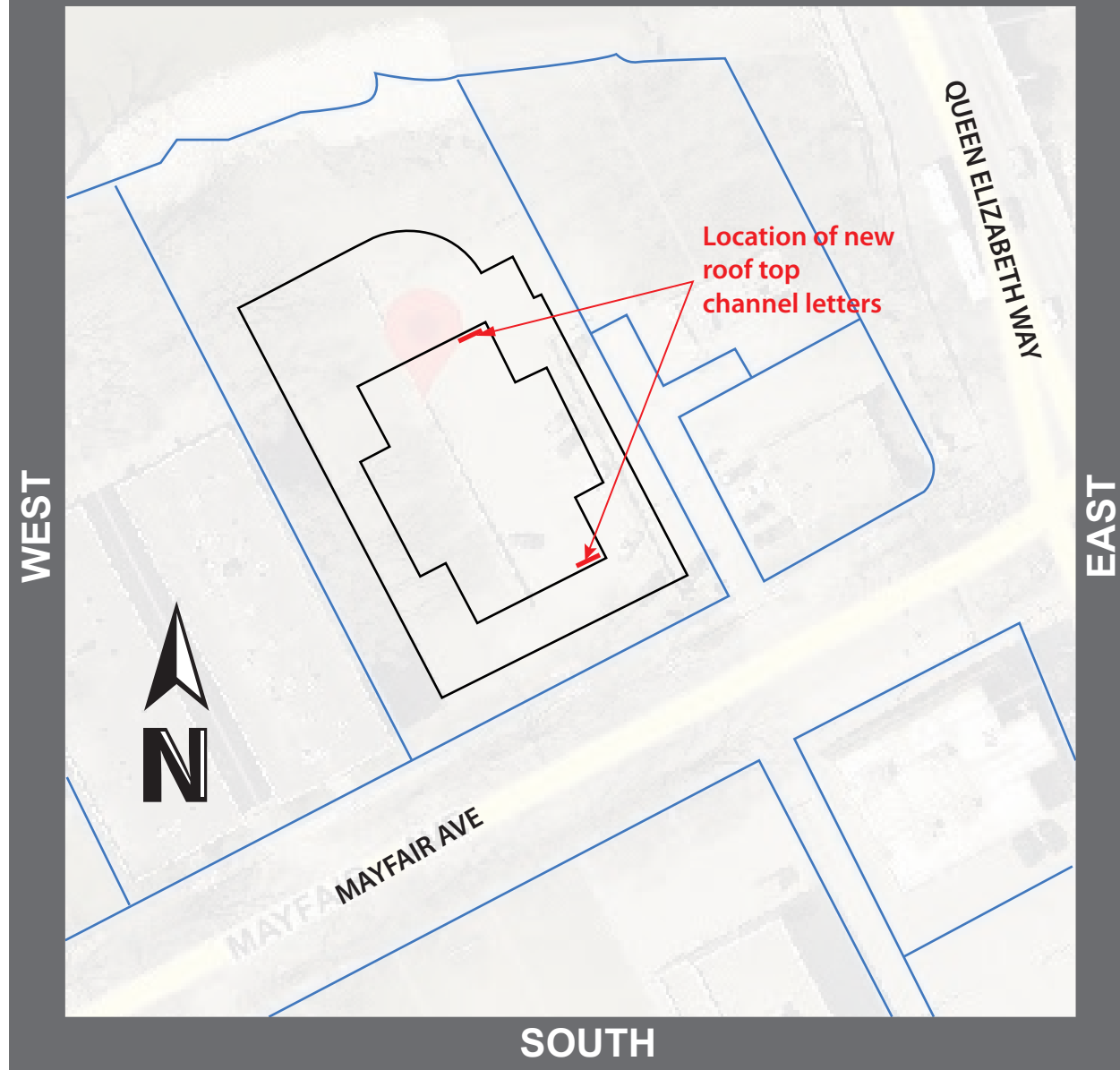
- LANDLORD APPROVAL
- ELECTRICAL PERMIT AND HOOK UP (UNLESS OTHERWISE STATED)
- DEPOSIT

CLIENT APPROVAL:

# SITE MAP

109 MAYFAIR AVE, WINNIPEG, MB R3L 0A1

NORTH



Location of new  
roof top  
channel letters

CLIENT: WRE DEVELOPMENT LTD

INSTALL  
ADDRESS: ---

W.O. #: 34497

DESIGNER: MOYIN

DATE: OCT. 10, 2025

PR. MANAGER: DEREK

## PROJECT OVERVIEW:

Supply and install (2) new sets of illuminated channel letters with aluminum structure.



**LEGEND** — PROPERTY LINES — BUILDING — SIGN(S)



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### CUSTOMER RESPONSIBILITIES:

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- ELECTRICAL PERMIT AND HOOK UP (UNLESS OTHERWISE STATED)
- DEPOSIT

CLIENT  
APPROVAL: **APPROVED**

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