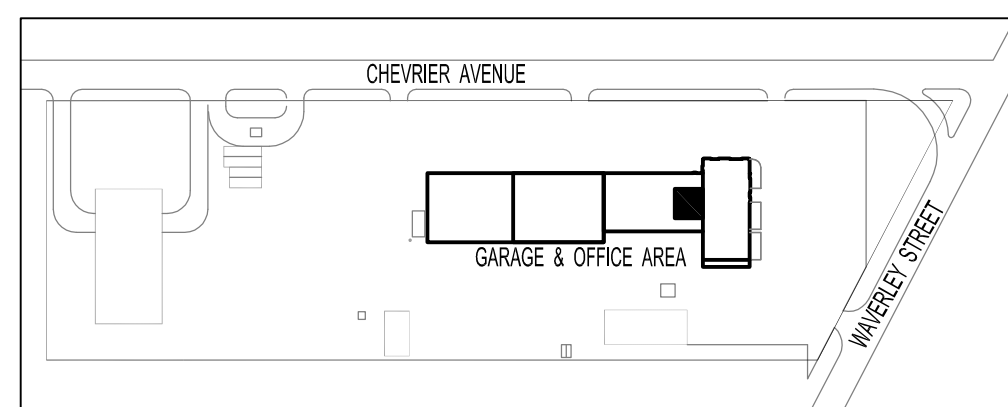
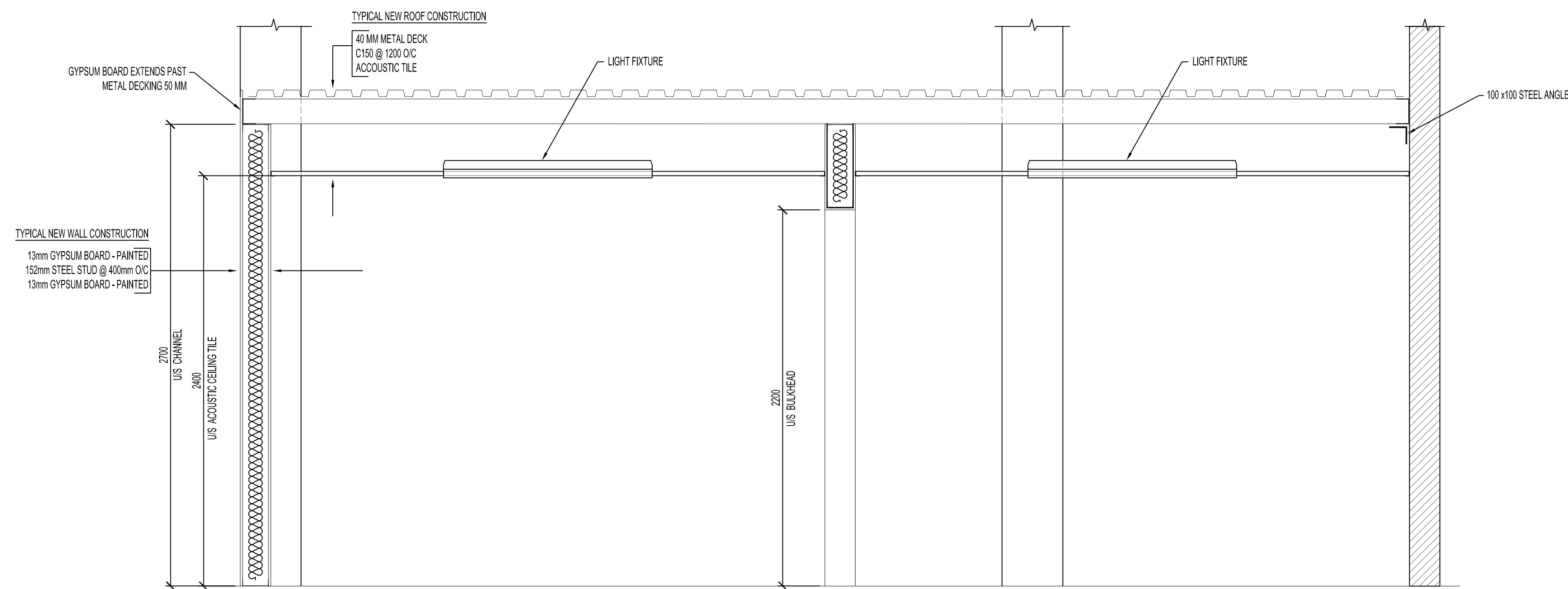


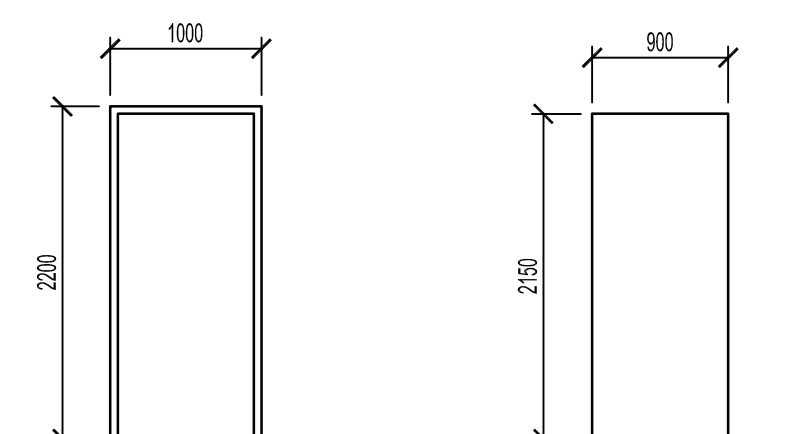
FILE NAME: 06063-OFF-A2.2.dwg DATE: 2007 Apr 12 DESCRIPTION: OFFICE-MAIN FLOOR PLAN-ADDENDUM 1 PROJECT No: 06063 ADDRESS: 1539 Waverley Street, Winnipeg, MB



KEY PLAN
SCALE: NTS



SECTION
A-A
SCALE: 1:20

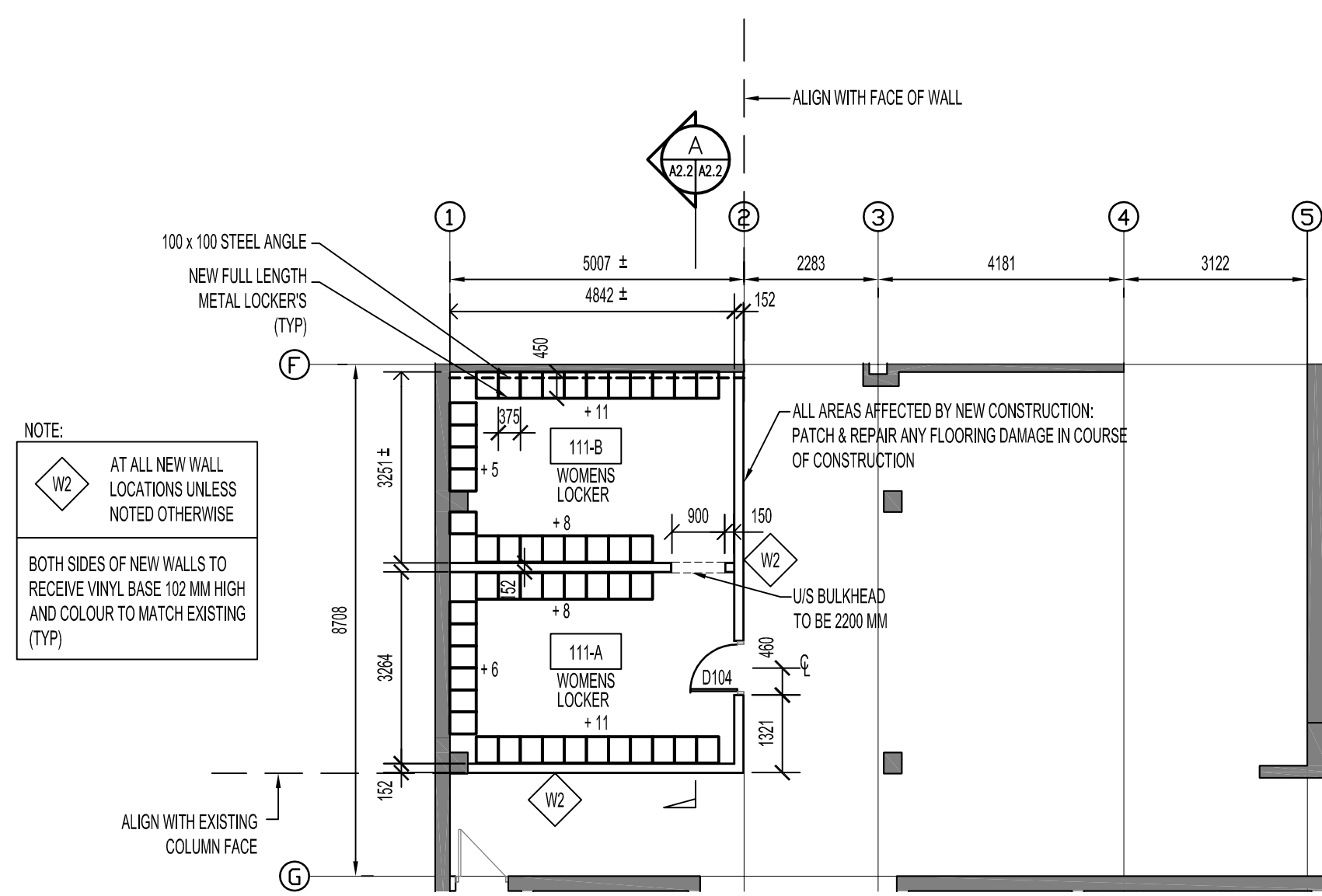


F1 HM FRAME
KNOCK DOWN
PAINT FINISH
D1

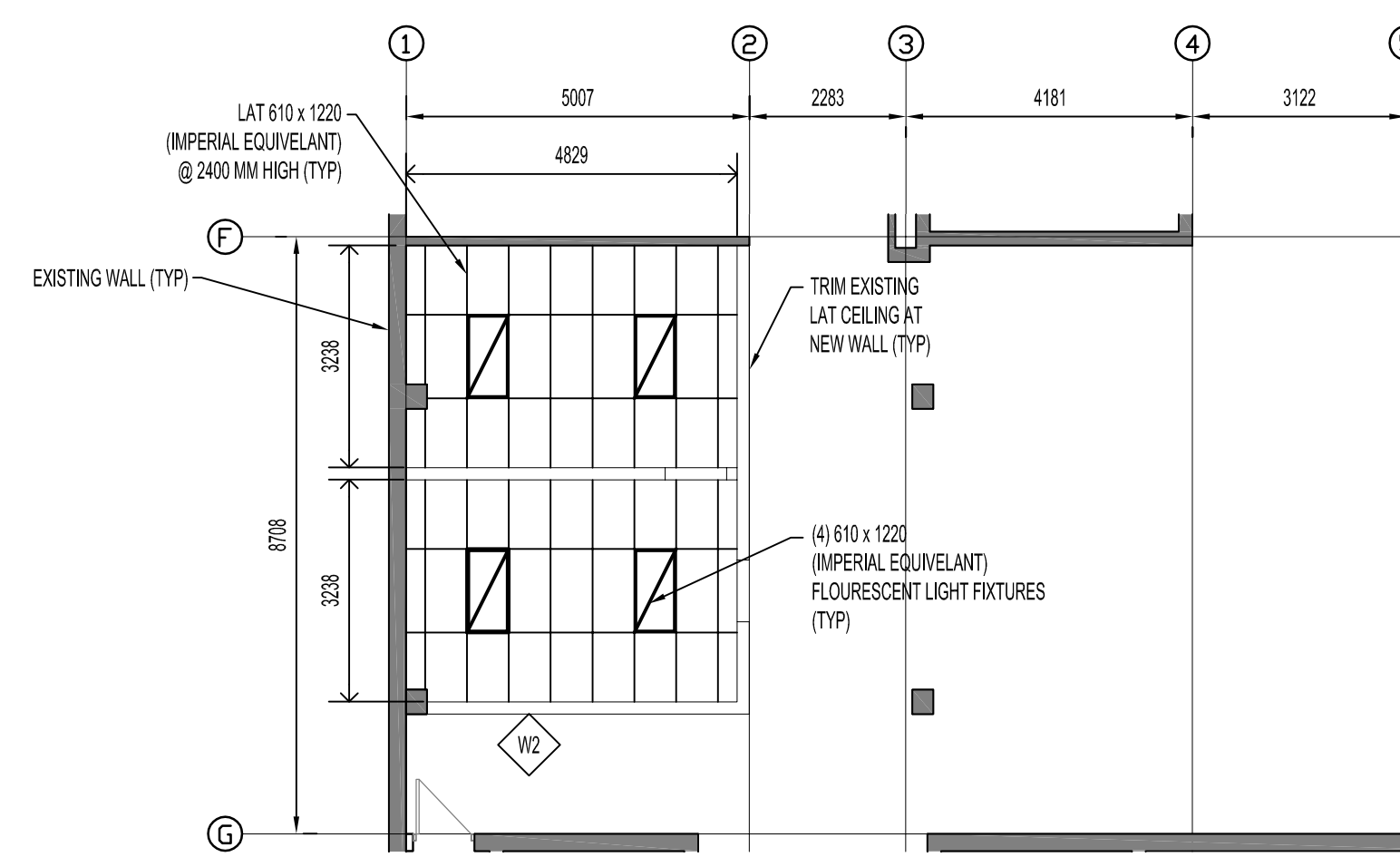
FRAME TYPE
SCALE: 1:50

D1 HM DOOR
HOLLOW CORE
PAINT FINISH
F1

DOOR TYPE
SCALE: 1:50



MAIN FLOOR PLAN
SCALE: 1:100



MAIN FLOOR REFLECTED CEILING PLAN
SCALE: 1:100

NOTE:
◇ W2 AT ALL NEW WALL LOCATIONS UNLESS NOTED OTHERWISE
BOTH SIDES OF NEW WALLS TO RECEIVE VINYL BASE 102 MM HIGH AND COLOUR TO MATCH EXISTING (TYP)

LEGEND	DESCRIPTION
VCB	VINYL COVE BASE (102 HIGH)
DW	DRYWALL
LAT	LAY-IN ACOUSTIC TILE
PT	PAINTED
HM	HOLLOW METAL
HC	HONEY COMB

ROOM NO.	ROOM NAME	FINISH SCHEDULE												COMMENTS				
		FLOORING	BASE	WALLS			CEILING			DOOR								
		MAT	COLOUR	MAT	COLOUR	NORTH	EAST	SOUTH	WEST	MAT	FINISH	COLOUR	MAT	FINISH	COLOUR	HTG	AFF	
111-A	WOMEN'S LOCKER	-	-	VCB	-	DW	PT	-	DW	PT	-	DW	PT	-	LAT	-	2400	MM
111-B	WOMEN'S LOCKER	-	-	VCB	-	DW	PT	-	DW	PT	-	DW	PT	-	LAT	-	2400	MM

HARDWARE GROUP SCHEDULE	
GROUP 3	(R) HWGES
	- PUSH PULL HANDSET
	- KICK PLATE

DOOR SCHEDULE												COMMENTS			
DOOR NO.	TO ROOM	SIZE	SWING	TYPE	MAT	CORE	FINISH	COLOUR	PROFILE	MAT	TYPE		FINISH	COLOUR	GROUP
D104	WOMEN'S LOCKER	50x60x2150	LH	DT	HM	HC	PT	-	-	HM	F1	PT	-	3	-

NOTES:
THESE DRAWINGS SHALL NOT BE SCALED.
THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH ULC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.
ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.
THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.
WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.
WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

NO.	REVISION/DESCRIPTION	BY	DATE
0.1	ADDENDUM 1	DG	NOV 10/07

DRAWN BY	CAD	CHECKED BY	APPROVED
		USER	APPROVAL

CITY OF WINNIPEG
PLANNING, PROPERTY &
DEVELOPMENT DEPARTMENT
CIVIC ACCOMMODATIONS DIVISION
300 - 65 GARRY ST. R3C 4K4

PROJECT
CONSTRUCTION OF OFFICE/GARAGE
RENOVATIONS & STORGE BUILDING
AT 1539 WAVERLEY STREET
1539 Waverley Street, Winnipeg, MB

SHEET TITLE
OFFICE - MAIN FLOOR PLAN
ADDENDUM ITEM 1

SCALE	PROJECT NO.	SHEET NO.
AS SHOWN	06063	OFF - A2.2

DRAWING SHEET SIZE: A1 (841mm x 594mm) PLOT 1:1

Neil Cooper Architect Inc.
10-395 Berry Street, Winnipeg, Manitoba R3J 1N6