



City of Winnipeg

RFP 429-2011 – Design and Construction of the Public Works East Yard  
Complex at the Former Elmwood/Nairn Landfill Site

## **Appendix B. Programming and Design Documents**

**Appendix B1**  
**Basic Program of Requirements**

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# 1. Introduction to Basic Program of Requirements

The following Appendix B1 - Basic Program of Requirements is organized to provide general space planning requirements for a new consolidated facility for the City of Winnipeg Public Works Department on the east side of the Red River in the area of the former Elmwood/Nairn Avenue Landfill Site. The 24 acre facility will include a major office, garage, shop and storage building; smaller unheated garage and storage buildings, and exterior yard areas.

The new facility will provide space for components of four Public Works Divisions, including:

- Bridge Operations Division (BO)
- Centralized Parks Services Division (CS)
- East Area Parks, Parks and Open Spaces Division (EA)
- Streets Maintenance Division – East Area (SM)

In addition some spaces in the new facility, such as entry areas, washrooms and meeting rooms, and general circulation areas will serve as Shared Amenities (SA), used by more than one Division.

There is also the expectation that Winnipeg Fleet Management Agency (WFMA), alternatively referred to as Fleet Management (FM) in the Basic Program of Requirements, will co-locate facilities providing vehicle and equipment maintenance and repair at the Public Works East Yards. Although a minimum space allowance is included in this summary to provide for the WFMA function, development will be limited to the building shell only. In addition two areas to the east of the main office, garage, shop and storage building are designated for possible use by WFMA.

The following terms are in use throughout the Design Build documents:

Contract Administrator = City of Winnipeg  
Design Build Team = design build proponent, including consultants  
Consultant = Design Build Team's Architect or Engineer of Record.

## 2. Related Drawings and Specifications

### 2.1 Design Build Information Package

The Public Works East Yards Design Build Technical Appendices comprises three major components:

1. Appendix B – Program and Design Documents
2. Appendix C - Specifications
3. Appendix D - Background Information

The first and second of these documents were prepared by AECOM and NCA. The final Background Information document is a compendium of pertinent City and Consultant reports and drawings. Each document contains relevant sub-appendices.

### 2.2 Basic Program of Requirements

This Design Build Basic Program of Requirements includes information related to the types and sizes of Public Works East Yards building and site spaces, as well as general design requirements.

### 2.3 Room Data Sheets

This Basic Program of Requirements (Appendix B1) and the Specifications (Appendix C) describe key attributes and general requirements of interior and exterior functional spaces. The Room Data Sheets (Appendix B2) provide additional information concerning specific requirements for each space described in the Basic Program of Requirements. Note that information in the Basic Program of Requirements takes precedence over information in the Room Data Sheets.

### 2.4 Building Schematic Design Drawings

The Basic Program of Requirements should be read in conjunction with the schematic designs for the main office, shop, garage and storage building, including two schematic design diagrams illustrating main floor and second floor functional relationships, as well as a roof plan, building elevations and sections.

- A1 Main Office and Garage Building Schematic Design Drawing - Floor Plans
- A2 Main Office and Garage Building Schematic Design Diagram - Main Floor
- A3 Main Office and Garage Building Schematic Design Diagram - Second Floor
- A4 Main Office and Garage Building Schematic Design Diagram - Roof Plan
- A5 Main Office and Garage Building Schematic Design Diagram - Building Elevations
- A6 Main Office and Garage Building Schematic Design Diagram - Building Sections

The Building Schematic Design Drawings assume a 9,000 ft<sup>2</sup> (836.1 m<sup>2</sup>) Winnipeg Fleet Management Agency Shop and Office component, which will be developed as a building shell only.

### 2.5 Site Design Drawings

The Basic Program of Requirements should also be read in conjunction with the following site drawings relative to the organization of exterior yard spaces:

- 01-C-1001 Subject Site - Existing Conditions
- 01-C-1002 Summary Diagram of Subsurface Investigations
- 01-C-1003 Conceptual Site Plan – Program Elements
- 01-C-1004 Conceptual Site Plan and Details – Surfacing Materials

01-C-1005      Conceptual Site Servicing Plan and Details  
01-C-4001      Gate Details

These conceptual design drawings include some specific details related to elements such as infiltration swales and motorized sliding gates.

## **2.6      Outline Specifications**

The Outline Specifications (Appendix C1) provide general requirements for building and site design and construction, as well as some specific materials and methods, which shall represent minimum standards for particular aspects of the Public Works East Yards building and site development.

Recommendations for achieving the required LEED® Silver Level of Certification are provided as Appendix C2 in Appendix C. Specifications.

## **2.7      Precedence**

The Outline Specifications (Appendix C1) shall govern relative to any conflict between the Basic Program of Requirements, Schematic Drawings, Room Data Sheets and Outline Specifications.

In the event of a discrepancy between the Basic Program of Requirements and the Room Data Sheets or Schematic Drawings, the Program of Requirements shall govern.

### 3. Building and Site Design Considerations

#### 3.1 Former Landfill

The proposed works will be developed on the former Elmwood/Nairn Avenue Landfill Site, which was originally part of an east-west trending depression and swamp area south of Nairn Avenue. This low, swampy area was systematically filled using waste asphalt, concrete, soil, and other construction by-products from the City of Winnipeg Road Renewals Programs from the 1950's to 1990's.

The presence of buried organic material has been identified in areas adjacent to the proposed site, and detectable levels of methane gas have been found in localized areas. Specifications for this project cover performance requirements for mitigation of potential post-construction gas accumulations. Note that Appendix D. Background Information, particularly Appendix D2 – Public Works East Yards - Methane Gas Monitoring, and Appendix D5 – Guidelines for the Mitigation of Methane Gas at Buildings and Utilities and for Construction on Landfill Sites, provides additional information related to mitigation of potential gas accumulations.

In the City of Winnipeg buildings on former landfill sites are allowed subject to compliance with the following conditions in the *City of Winnipeg Policy for Building on Landfill Sites (Policy adopted by Council - December 19, 1984.)*:

1. The elevation of the lowest part of the floor structure shall be a minimum of 750 mm (2.5 feet) above finished grade level.
2. The underside of the structural floor slab shall be free of obstructions to allow free air movement under the building. Vertical piles and shear walls shall be permitted provided they do not substantially obstruct air movement. The underside of the floor slab shall be free from pockets which may accumulate methane gas.
3. A minimum unpaved clear space of 100 percent of the building area shall be maintained equally around all sides of the building to allow for free venting and air movement around the building. Where paving is necessary for access to the building only, the clear space shall be increased by the amount of paved area. Also, the building shall be located in consideration of any existing structures, pavement or operations at the site to prevent obstruction of free venting and air movement under and around new or existing buildings.
4. Underground building services entering the building through the floor slab shall be isolated to prevent any transmission of methane gas through the slab, or within the service lines themselves.
5. Safety procedures during any excavations for the building or services shall be in accordance with the City of Winnipeg, Works and Operations, Standard Construction Specifications, Provisions CW 1100 23. In addition, water shall be added during augering for piles to prevent heating and ignition of combustibles in the fill.
6. The building and underground services shall be designed by a qualified registered engineer. The design of the building and services shall consider the chemical and physical effects of fill materials present at the site on the integrity of the building and services.
7. Twice a year, or at times satisfactory to the Manager of Development & Inspections, the owner shall submit a report to the said Manager, by a qualified registered engineer, certifying
  - (a) that the structure and underground services have been tested for methane gas,
  - (b) that the structure and underground services have been examined structurally, and
  - (c) that venting and free air movement is being maintained under and around the structure in accordance with conditions 1, 2, and 3. The report shall state whether the structure and services are performing as designed. In the event the results of testing and/or inspections indicate unsatisfactory conditions, the report shall set out the recommended remedial measures.
8. The owner shall execute any legal documents required by the City Solicitor.

## 3.2 Requirements for LEED® Silver Certification

This project shall be designed and constructed to achieve a minimum LEED® Silver Level of Certification in accordance with the Canadian Green Building Council (CaGBC) LEED® Canada-NC, Version 1.0 Rating System. The Design Build Team shall apply for a minimum of 36 credits (four more than the minimum for LEED® Silver).

LEED® Requirements, Appendix C2, identifies mandatory Prerequisite Credits as per LEED®, recommended credits and credits that are wholly at the discretion of the Design Build Team. In addition, certain credits have been identified as “Not Recommended” based on the nature of the project and site conditions.

- LEED® Credits are listed in the LEED® Canada-NC 1.0 Project Checklist, Table C2-1
- LEED® Commentary/Potential Strategies is included as Table C2-2. Note that this table included for guidance only. Strategies must comply with LEED® Canada-NC requirements, and shall be confirmed by the Design Build Team.

## 3.3 Architectural Design

### 3.3.1 General Architectural Design Considerations

The contemplated architectural development shall include three main components:

- Two (2) storey, central Administrative and Staff component
- Single (1) storey Heated Garage, Shop and Storage component; in two parts, both contiguous with and on either side of the Administrative and Staff component
- Separate, detached, Unheated Garage and Storage buildings

The Administrative and Staff, and contiguous Garage, Shop and Storage components shall be flat-roofed structures with general spatial organization and adjacencies as illustrated in the accompanying Building Schematic Design Drawings/Diagrams.

Areas and specific requirements are outlined in the Basic Program of Requirements Overall Space Summary and Detailed Descriptions of Functional Spaces (see Section 5, below), and the Room Data Sheets in Appendix B2.

All design shall be in accordance with the requirements of the following:

- National Building Code of Canada, 2010 as amended by the Manitoba Building Code Regulation 31/2011
- National Plumbing Code of Canada, 2010 as amended by the Manitoba Plumbing Code Regulation 32/2011
- National Fire Code of Canada 2005 as amended by the Manitoba Fire Code Regulation 216/2006
- City of Winnipeg “Access Guide to Universal Design”

Numerous design guidelines, material standards and supplementary codes are also applicable as referenced in the Outline Specifications, Appendix C1, and as listed in the above noted codes”. The Design Build Team shall ascertain and comply with the letter and spirit of these documents.

### 3.3.2 Modular and Other Furnishings

Office furnishings are not in contract (NIC) and shall not to be included in Design Build Team proposals.

Information on modular furnishings provided in the “Accessories” notes with descriptions of each space in Section 5 and in Appendix B3 - Furnishings Table, with options for modular furnishings, is intended to be used for space planning only.

Note that the preferred height of workstation partitions shall be 5 ft. (1.53 m).

### 3.3.3 Design Requirements for Spatial Types

All spaces, (offices, meeting rooms, heated garage, shop and storage, and unheated garage and storage, as well as various exterior areas), are described in detail in the Basic Program of Requirements (Appendix B1) and Room Data Sheets (Appendix B2).

Different types of building spaces shall generally incorporate amenities similar to those described below. Exceptions will include spaces with slightly different specifications, or additional or reduced amenity requirements as generally noted in Section 5 and in the Room Data Sheets.

General amenities are as follows:

#### 3.3.3.1 *Administrative and Staff Component*

##### Offices (Separate Rooms and Open Workstation Areas)

Flooring/ Base:	Commercial sheet vinyl/4" (100 mm) vinyl cove bases
Walls:	Drywall partitions, paint finish, STC as indicated
Ceiling:	Acoustic tile systems
Doors:	Hollow-metal frames; solid-core wood, finish paint or wood veneer, commercial grade hardware
	Sidelites, as per Room Data Sheets
Lighting:	General use luminaries
Windows:	Windows or natural light as indicated on Room Data Sheets

##### Conference/Meeting Rooms

Flooring/ Base:	2' x 2' (600 mm x 600 mm) carpet tile/4" (100 mm) carpet bases
Walls:	Drywall partitions, vinyl wall covering finish, STC as indicated
Ceiling:	Acoustic tile systems, 2' x 2' (600 mm x 600 mm), reveal edge acoustic tile
Doors:	Hollow-metal frames; solid-core wood, finish wood veneer, commercial grade hardware
	Sidelites, as per Room Data Sheets
Lighting:	General use luminaries and dimmable supplemental luminaries
Windows:	Windows or natural light as indicated on data sheets
Audio-Visual:	Rough-in for motorized projection screen ceiling – mounted projector, and motorized window coverings

##### Corridors

Flooring/ Base:	Commercial sheet vinyl/4" (100 mm) vinyl cove bases
Walls:	Drywall partitions, paint finish,
Ceiling:	Acoustic tile systems
Doors:	Hollow-metal frames; hollow-metal doors, finish paint or veneer, commercial grade hardware
	Sidelites, as per Room Data Sheets
Lighting:	General use luminaries

##### Public Areas – Vestibules, Lobbies

Flooring/ Base:	Commercial sheet vinyl/4" (100 mm) vinyl cove bases
Walls:	Drywall partitions, paint finish,
Ceiling:	Acoustic tile systems

Doors: Aluminium frames; aluminium/glass doors, commercial grade hardware  
Lighting: General use luminaries

### Store Rooms

Flooring/ Base: Commercial sheet vinyl/4" (100 mm) vinyl cove bases  
Walls: Drywall partitions, paint finish, STC as indicated  
Ceiling: Acoustic tile systems  
Doors: Hollow-metal frames; solid-core wood, finish paint or wood veneer, commercial grade hardware  
Lighting: Troffer luminaries with A19 diffusers

### 3.3.3.2 *Heated Garage, Shop and Storage Component*

#### Heated Garages

Flooring/ Base: Concrete with sealer/ concrete or CMU  
Walls: Concrete or CMU to 8' (2.44 m) AFF minimum, metal liner above  
Ceiling: Metal liners  
Man-Doors: Hollow-metal frames; hollow-metal doors, finish paint, commercial grade hardware  
Overhead Doors: Insulated, 16' x 16' pre-finished aluminium or steel panel, with all panels above 4' (1.22 m) glazed  
Lighting: High bay type

### 3.3.3.3 *Un-heated Garage and Storage Component*

Flooring/ Base: Concrete with sealer/ concrete or CMU  
Walls: Metal liners minimum  
Ceiling: Metal liners  
Man-Doors: Hollow-metal frames; hollow-metal doors, finish paint, commercial grade hardware  
Overhead Doors: Un-insulated, p16' x 16' pre-finished aluminium or steel panels  
Lighting: High bay type

### 3.3.4 Thomas Avenue Building Façade

The Design Build Team (Architectural) Consultant shall articulate the building façade along Thomas Avenue consistent with the requirements of the City of Winnipeg Zoning By-law No. 200/2006, Part 5: Development and Design Standards. The Consultant shall apply one or both of the following requirements:

- Wall plane articulation: no uninterrupted length of façade may exceed 100' (30.5 m)
- Include a parapet visible from the street that varies in height by at least 2' (0.6 m) for each 60' (18.3 m) of façade length

### 3.3.5 Building Entryway Design

The Design Build Team (Architectural) Consultant shall create a clearly defined, highly visible main entrance to the Main Office, Garage, Shop and Storage building from the employee parking area, consistent with the requirements of the *City of Winnipeg Zoning By-law No. 200/2006, Part 5: Development and Design Standards*.

### 3.3.6 Baseline Security Requirements

Security requirements for the Public Works East Yards are documented in the Basic Program of Requirements, Room Data Sheets and Schematic Design Drawings/Diagrams, and Outline Specifications.

Baseline Security Requirements shall be as follows:

#### 3.3.6.1 *Building Security*

Private contractors working for the City would enter the Administrative and Staff Component area from the exterior Marshalling Area (SA-30), to the south, and require access to the Main Floor Male and Female Public/Office Washrooms (SA-04 A&B) and the Lunch/Multi-purpose Room (SA-09). All other adjacent interior areas shall be secure, at all times, from unauthorized entry.

#### Mandatory Building Card Access Security Points

- Marshalling Zone (for private contractors working for the City) with Card Access points in main floor hallway permitting access to the Male/Female Public/Office Washrooms (SA-04 A&B) and Lunch/Multi-purpose Room (SA-09)
- Semi-public Zone with Card Access from Front Entry Vestibule (SA-01) to upstairs areas used for meetings and training. Card Access at stairwells/stairs at either end of the main floor and second floor levels will provide for fire escape but require Card Access going up.
- Administrative Controlled Areas with Card Access from corridors into all office areas and locker/change rooms and related washrooms (SA-10, 11, 14 and 15), as well as the Laundry Room (SA-16)
- Heated Garage/Storage/Shop Controlled Areas with Card Access between the Administrative and Garage, Storage and Shop areas
- BO Heated Garage Component (BO-02 and BO-03) with Card Access point required for the corridor providing access to the Bridge Operations Heated Garage component; to accommodate flow-through access connecting the Streets Maintenance Heated Garage/Storage component (SM-09) with Administrative office areas
- Streets Maintenance Wash Bays (SA-25 and SA-26) with Card Access from Streets Maintenance Garage/Storage (SM-09 and SM-10)
- Telecommunications Rooms (EA-08, SA-22, and SM-12) require Card Access

Lock sets for other spaces shall be as indicated on Room Data Sheets (Appendix B2)

Streets Maintenance shall be provided a secure area for a dedicated colour copier

CCTV monitoring shall include interior public areas and upstairs areas used for meetings and training

#### 3.3.6.2 *Yard Security*

Yard perimeter will have 10' (3.05 m) high chain link fencing enclosing all functional Yard areas

Interior compounds will have 8' (2.44 m) high chain link fencing enclosing specific work areas

- Main East and West Powered Sliding Gates – Card Access entry only (not egress)
- Main East and West Person Gates – Card Access entry only (not egress)

### Keyed Lock Areas

- Unheated Garage and Storage Buildings, including Bridge Operations Storage (BO-05) Centralized Park Services and East Area Parks Unheated Storage and IPM Buildings (CS-13, CS-14/EA-09), and Streets Maintenance Unheated Storage Building (SM-13)
- Secondary Yard access points to the Bridge Operations (2), Centralized Park Services and East Area Parks (2), and Streets Maintenance (1) compounds vehicle gates and man gates. The latter provides access to the Bridge Operations Yard as well.

### CCTV coverage all Yard areas, particularly observing gates and building entrances

#### 3.3.7 Herbicide and Pesticide Storage

The Unheated Garage and Storage building located in shared Centralized Parks Services and East Area Parks Yard area (Area 5 on Drawing 01-C-1003) contains part of the EA-09 component partitioned from CS-14. The building shall include a 500 square foot (46.45 m<sup>2</sup>) insulated, heated and well-ventilated enclosure (with thermostat control to maintain minimum of 5°C) dedicated to storage of twenty 5 US gallon (18.9 L) pails of pesticide, and 792.5 US gallons (3000 L) of herbicide, altogether consisting of 150 boxes at any time, each box typically 12" x 15" x 16" (305 mm x 381 mm x 406 mm) with two 2.64 US gallon (10 L) jugs (See Appendix C4 - Hazardous Material Storage Summary Table). This Unheated Garage and Storage building shall have a heat-traced open topped grit separator pit, and portable eyewash.

#### 3.4 Geotechnical

The Drawing titled "*Summary Diagram of Subsurface Investigations*" (Drawing 01-C-1002, Appendix B4) shows contours, which indicate greater or lesser depths to undisturbed material. This drawing was based on relatively limited test-hole data, and the Design-Build Team is therefore advised to verify the data and accept it at their own risk.

General Note: Geotechnical information provided in these documents is considered accurate at the location and time of investigation; however, variations in soil conditions may exist between test holes, and fluctuation in groundwater levels can be expected seasonally and may occur as a result of construction activities. The nature and extent of variations may not become evident until construction commences. The Design Build Team shall satisfy themselves with the subsurface conditions by conducting an independent assessment, including additional investigations to verify the subsurface conditions.

#### 3.5 Structural

Structural systems shall be designed and constructed in accordance with the requirements of the *National Building Code of Canada (NBCC), 2010*, as amended by the *Manitoba Building Code Regulation 31/2011*, and applicable codes and standards referenced therein and in the Outline Specifications.

Structural systems for all structures shall be designed and constructed in accordance with the NBCC, Part 4, Post-Disaster Importance Category. The design of structural systems shall incorporate the durability requirements in accordance with Outline Specification, Section 01 47 13 – LEED® Requirements.

Due to varying site conditions at the Thomas Avenue Site, shallow foundations on fill material shall not be acceptable. Building structural slabs shall be designed to meet particular Division and WFMA requirements related to vehicles, equipment, and materials loading. The Structural Consultant shall consider maximum loaded vehicle weights in the design of building aprons, grade beams as well as garage and shop floors.

All concrete aprons in front of overhead doors shall be designed as transition slabs.

### **3.6 Mechanical**

#### **3.6.1 General Mechanical**

Mechanical systems shall be designed and installed in accordance with the requirements of the following:

- National Building Code of Canada, 2010 as amended by the Manitoba Building Code Regulation 31/2011
- National Plumbing Code of Canada, 2010 as amended by the Manitoba Plumbing Code Regulation 32/2011
- National Fire Code of Canada 2005 as amended by the Manitoba Fire Code Regulation 216/2006
- City of Winnipeg "Access Guide to Universal Design".

Numerous design guidelines, material standards and supplementary codes are also applicable, as referenced in the Specifications, Appendix C, and listed in the above quoted codes.

#### **3.6.2 Mechanical Room**

Provide either a centrally located mechanical penthouse or two-story space for major mechanical components, including boilers, pumps, air compressors and air-handling equipment. The space shall have a tempered environment, internal access, and all ducting shall be internal to the Main Office, Garage, Shop and Storage building.

#### **3.6.3 Locations**

There will not be an accessible crawlspace under the Main Office, Garage, Shop and Storage building, due to the potential for methane production in the soils below. The only services under the floor slab should be sanitary drains and vents, fixtures like oil/water separators, the cistern, rainwater and Clearwater waste lines, water service to the building, and electrical pathways. All of these require cleanouts, access hatches and access points for use and maintenance. The void under the structural floor slab shall be ventilated with a methane extraction system to prevent gas accumulation and migration into the structure.

#### **3.6.4 Rain Water/Melt Water Collection, Storage and Reuse**

Roof-top collection of rain water and snow melt is a recommended LEED® credit. Collected water should be conveyed to and stored in a cistern under the Vehicle and Heavy Equipment Wash Bays, for use in the wash bays. Wash water from the two wash bays will be treated to stormwater quality and returned to the cistern. Excess stormwater will overflow to the site stormwater management system. Water from the external Wash area (SA-28) should also be treated and stored for reuse.

#### **3.6.5 Plumbing Fixtures**

Plumbing fixtures will be heavy duty, durable, and serviceable commercial models. All toilets will have automatic flush mechanisms. Flush valve urinals are required. All fixtures are to be adequately supported and be easily cleaned and maintained.

#### **3.6.6 HVAC Systems**

HVAC systems shall be designed to reduce energy requirements below the baselines established by the *ASHRAE 90.1-2007* or *Model National Energy Code for Buildings 1997* energy efficiency requirements and qualify for the LEED® credits that have been identified in the LEED® Checklist (Appendix C2-1). The use of geothermal, groundwater based or snow pile melt water in addition to condensing boilers, heat pumps and related hydronic equipment for building and ventilation heating and cooling should be evaluated and employed where feasible.

Enhanced ventilation, control of indoor pollutants, thermal and air quality controls shall provide the basis for achieving LEED® credits to make the facility a comfortable place to work.

### **3.7 Electrical and Telecommunications**

#### **3.7.1 Electrical and Telecommunications Rooms**

The Design Build Team shall provide three Electrical and Telecommunications areas for equipment and controls. Main electrical and telecommunications areas shall be in the two-storey Administrative and Staff office area, with satellite areas in/close to the East Area Parks and central to the Streets Maintenance Heated Garage and Storage areas. Maintain separation between individual electrical and telecommunications spaces to avoid Electromagnetic Interference.

#### **3.7.2 Backup Power**

Because the Public Works East Yards is a Post Disaster Facility, a back up power system shall be installed providing the entire building and Yard areas with backup power capacity for 24 hours. In addition the backup system shall have capacity to provide the Streets Maintenance Administrative and Staff, Heated Garage and Storage components, and the Shared Amenity Administrative and Staff components, as well as the Main Entry Gates and Yard Marshalling Area with 72 hours of full systems power generation. The Design Build Team shall provide for an emergency backup generator and day tank, and related above-ground fuel storage, as required to address backup power needs. Locations for backup power systems shall be coordinated with the overall site design and shall not impede normal building and Yard operations.

#### **3.7.3 Power Smart and Eco-energy Rebates**

The Design Build Team shall investigate and obtain all eligible Power Smart and Eco-energy rebates from Manitoba Hydro and the Federal Government, respectively. Rebate funds shall be turned over to the City of Winnipeg along with appropriate documentation (for LEED® Credits) and O & M manuals.

### **3.8 Site Design**

#### **3.8.1 Employee and Visitor Parking**

Employee and visitor parking requirements for the four Public Works Divisions and Winnipeg Fleet Management Agency should total 242 stalls. Seven (7) accessible parking spaces required for the facility shall be located close to the Administrative and Staff component main entry.

Typical employee stalls shall be 9' (2.7 m) wide and 20' (6.1 m) deep. Accessible stalls shall be 10' (3.05 m) wide, with one stall of 16' (4.9 m) width, including an 8' (2.4 m) loading and manoeuvring area. Not all of the parking stalls require electrical receptacles for winter plug-in: approximately 91 stalls should be un-serviced. Note that the parking allotment for WFMA assumes the basic Shop and Office facility, and may increase with a confirmed WFMA program.

#### **3.8.2 Bicycle Storage Requirements**

Secure, covered bicycle storage shall be provided for a minimum of 12 bicycles (LEED® Credit requirement - at least 5% of building occupants). This should be located in the Main Employee and Visitor Parking Lot (Area 6), close to the main entrance.

A walkway connection should be provided from Thomas Avenue to the main entrance to the Administrative and Staff component and adjacent bicycle storage area.

### 3.8.3 Vehicle and Equipment Storage and Movements

Within the Yard areas, 70 larger stalls shall be allocated to vehicle and equipment parking, including 10 for WFMA Maintenance/Repair Shop stacking. These stalls should typically be 10.8' (3.28 m) wide and 50' (15.3 m) deep. All of these larger stalls should have electrical service. In addition a lay-by of 30' x 200' (9 m x 61 m) should be provided in the Bridge Yard to accommodate storage of the bridge crane.

Design of Yard circulation shall consider the turning radius of the largest vehicles/equipment using various areas of the site. The Conceptual Site Plan assumes two-way access through each of the main motorized sliding gates. This is particularly important to accommodate the Bridge Crane on the west side of the Streets Maintenance Heated Garage and Storage Component, and Centralized Park Services and East Area Parks vehicles, and WFMA operations on the east side.

### 3.8.4 Site Fencing and Gates

Yard areas shall be fenced with 10' (3.05 m) high heavy-duty chain link fencing. Internal fencing shall be 6' (1.83 m) chain link.

Gates at main vehicle and equipment access points on Thomas Avenue to and from the Public Works Yard shall be Motorized Sliding Gates (detailed on Drawing 01-C-4001), one on each side at each of the two main access points. These gates shall be Card Access controlled. (See Electrical Outline Specifications for Access Control details.)

Gates into separate Division areas, including one for the Streets Maintenance Yard; two for the Bridge Yard, including one accessed through the SM Yard, and two for the shared Centralized Park Services and East Area Parks Yard, should be manually locked two-sided swing gates, 20' (6.1 m) wide.

Provide pedestrian access gates near all vehicular gates. Those at main entries shall be Card Access controlled.

### 3.8.5 Site Lighting and Electrical

Lighting design shall address both Yard security and night operations requirements. The Marshalling Area (Area 4), in particular, needs lighting suitable for night-time work.

Provide vehicle electrical receptacles to aid winter weather starting.

### 3.8.6 Site Signage

The Design Build Team shall install signage clearly identifying the City of Winnipeg Public Works East Yards facility in accordance with *City of Winnipeg Zoning By-law No. 200/2006, Part 5: Development and Design Standards – Signs*. Signs should be freestanding signs with appropriate flood lighting.

The Design Build Team should develop a site signage system to provide clear direction to employees, visitors and contractors entering the site.

### 3.8.7 Yard Construction

Typical cross-sections shown on the Conceptual Site Plan - Surfacing Materials drawing (Drawing 01-C-1004) recommend minimum compacted depths of materials required for various types of surfacing.

Yard areas shall be designed to meet particular Division and WFMA requirements related to vehicles, equipment, and materials loading.

### 3.9 Site Servicing

#### 3.9.1 Potential for Water Servicing and Fire Protection

Water servicing and fire protection requirements shall be provided by a 8" (200 mm) loop tying into the 8" (200 mm) AC watermain on Thomas Avenue (installed in 1975). The Conceptual Site Servicing Plan and Details, Drawing 01-C-1005, shows approximate hydrant locations, based on the City's minimum hydrant coverage design standard of 250' (76 m) spacing. Hydrant spacing on Thomas Avenue is sufficient to cover the front and the sides of the Main Office, Shop, Garage and Storage building but not rear lot areas. The rear lot areas will need roughly eight (8) additional hydrants to cover the south side and south wing of the Main Office, Shop, Garage and Storage building, as well as the Unheated Garage and Storage buildings located toward the rear of the lot.

Available fire flows at Thomas Avenue near Kent Street are estimated to be roughly 3280 USgpm (205 LPS) at 20 psi (140 kPa) based on the City's water distribution model and 2000 USgpm (125 LPS) at 45 psi (315 kPa).

Needed Fire Flow (NFF) requirements for the Streets Maintenance Heated Vehicle and Equipment Storage Bays (SM-09), and Streets Maintenance Unheated Garage and Storage building (SM-13), based on preliminary estimates of building materials and fire separations, are calculated to be 3250 USgpm (205 LPS) and 2750 USgpm (175 LPS), respectively, at 20 psi (140 kPa), using the ISOs *Guide for Determining Needed Fire Flow*. These structures shall be serviced by hydrants internal to the site.

Fire flow requirements for a larger Winnipeg Fleet Management Agency (WFMA) Shop and Office component, as well as future structures located in the eastern area of the Public Works East Yards site (Sand Salt Storage Building in SM-18 and future Vehicle Wash in FM-05) could potentially exceed available fire flows in the area, unless additional precautions are taken during the detailed building design, such as careful selection of building materials and fire separations. Another option for significantly reducing fire flow requirements is to incorporate an automatic sprinkler system into critical sections of the Main Office, Shop, Garage, and Storage building.

#### 3.9.2 Potential for Wastewater Servicing

Approximate peak wastewater flows from the site have been estimate to be roughly 0.25 cfs (7.1 LPS). The peak flow is based on average daily consumption of 72 US gallons per capita per day (273 Lpcd), a Harmon Peaking Factor of 4.0, and a full-time and seasonal staff complement of roughly 242 people. Inflow and infiltration was assumed to be 3191.3 US gal/acre/day (29,850 L/ha/day), which is the current City of Winnipeg design standard and represents nearly 60% of the expected wastewater flow generated by the proposed development.

The full-time and seasonal staff complement of 242 people includes nine staff for Winnipeg Fleet Management Agency (FM-01), which would increase with a larger Shop and Office facility. The estimated peak flow would be accommodated by a 8" (200mm) wastewater service connection tied in to the existing combined sewer system just east of Kent Street as shown on the Conceptual Site Servicing Plan and Details (Drawing 01-C-1005). A more conventional estimate of wastewater flows, using the fixture unit method, shall be calculated by the Design Build Team (Civil) Consultant once concept plans for buildings have been more fully developed; however, the size of the service will not likely need to change.

#### 3.9.3 Stormwater Management Servicing

The site is located near the southern limit of the Roland Combined Sewer District which includes a relatively large and underutilized 60" (1500mm) trunk located parallel and just north of Thomas Avenue. A quick review of the 1985 Munroe-Roland-Hart Combined Sewer Relief Study suggests that the Roland system has sufficient capacity in the vicinity of the proposed Public Works East Yards development, assuming that drainage is restricted to pre-development rates; in other words, flows generated by undeveloped prairie or grass lands.

The City of Winnipeg Water and Waste Department (contacted by AECOM) foresees no objections to connecting the site to the Roland Combined Sewer System, as long as this does not jeopardize the existing system with respect to basement flooding. This constraint should not be too onerous as long as the development incorporates on-site stormwater retention as shown on the Drawings.

### 3.9.3.1 *Land Drainage System Connection*

The Water and Waste Department also suggested that, because of the nature of the connection (land drainage into a combined sewer system), a double-backflow prevention setup should be used to prevent sewage or floatables from backing up into the proposed retention basins. A double flap gate configuration shall be incorporated within the existing and last manhole located upstream of the tie in to the combined sewer system plus a "Hickenbottom Surface Inlet" device located within the downstream snow dump retention basin. The Hickenbottom inlet device is designed to prevent silt, sediment and debris from entering the outfall pipe, which in turn should also prevent debris and/or floatables from backing up into the basins. The inlet shall also be set well above the invert of the existing combined sewer system in order to prevent sewage back up into the retention basin should the flap gate devices fail. A similar approach was used at the Schneider's site located on Warman Road just west of Lagimodiere Boulevard (south of the proposed Thomas Avenue development), where the inlet device has been in operation for close to a decade with no apparent problems.

### 3.9.3.2 *On-site Detention*

The Conceptual Site Servicing Plan and Details (01-C-1005) shows stormwater detention basins located near the southwest corner of the proposed site, and along the east edge of the existing snow dump site, north and west of the proposed transportation corridor. Stormwater detention basins will be connected via a pipe under the proposed transportation corridor, in order to optimize the amount of storage available for both the proposed Public Works East Yards development and the existing City snow dump. The approximate live storage area in the southwest basin is 1.22 acres (0.49 ha). The snow dump basin has roughly 0.6 acres (0.25 ha) of live storage area. Total live storage area from both basins is, therefore, approximately 1.82 acres (0.74 ha). See Drawing 01-C-1001, Subject Site – Existing Conditions for the location of the snow dump site relative to the Public Works East Yards.

The total service area of the former Elmwood/Nairn Avenue Landfill Site, including the snow dump site, is approximately 25 acres (10 ha), and the live storage area of the basins represents roughly 3% of the total area, which will provide an expected lake rise close to the City Industrial Lake standard of 6' (1.83 m) under a 25 year design storm condition. Total land requirements for the snow dump basin and the southwest basin are 2.17 acres (0.88 ha) and 4.0 acres (1.62 ha), respectively, or approximately 6.18 acres (2.5 ha). This represents roughly 10% of the proposed service area.

The stormwater detention basins could be configured as dry pond basins, more traditional wet ponds, or some combination, along with potential multi-use facilities. The Conceptual Site Plan assumes 4:1 side slopes, suggesting a single-use dry pond facility, fenced around the exterior. Based on the previous use of the site - a land fill with concrete rubble and asphalt trimmings - this may be the most appropriate stormwater retention basin configuration. More gradual side slopes are possible.

### 3.9.3.3 *Constructed Wetland Basins*

Stormwater detention should be through constructed wetland basins. Note that the stormwater detention basins are intended to capture melt water from adjacent snow storage piles and to accept treated water from the vehicle wash bays, as well as normal site drainage. The melt water and treated discharge would typically have a higher than normal dissolved salt content. Wetland stormwater detention basin vegetation should therefore include salt-tolerant native species.

### 3.9.4 Potential for Electrical Servicing

Manitoba Hydro has confirmed that there is 600 volt 3-phase power readily available to the site. Power transformation would be required for both the Public Works and Winnipeg Fleet Management Agency facilities (2 transformers).

### 3.9.5 Potential for Gas Servicing

Natural gas consumption for ventilation and heating of the Public Works Main Office, Shop, Garage and Storage building, as well as the WFMA Shop and Office, is estimated as approximately 12 million BTU (MMBTU).

There is a large 6" to 9" (150mm or 240mm) natural gas main on Nairn Avenue and a 3" (75mm) feeder down Kent St., dead ending at Thomas Avenue across the street from the proposed facility. Bryan Adamyk of Manitoba Hydro estimated that the 75mm gas main likely has the capacity to meet the needs of the proposed facilities. The Nairn Avenue gas main would definitely have sufficient capacity in the worst case scenario.

Bryan Adamyk also confirmed that there would be no cost to the City for installation of gas service since they would expect sufficient revenue to be generated to amortize the cost of connections.

### 3.9.6 Potential for Telephone and Cable Servicing

Telephone and cable servicing would be available through local providers of these services.

### 3.9.7 Site Servicing Plan – Venting of Trenches

The Conceptual Site Servicing Plan and Details (Drawing 01-C-1005) provides direction related to the layout of water, wastewater and land drainage servicing, as well as surface drainage flows. Details indicate provisions for venting of service trenches to address potential gas build-up in old fill areas.

### 3.9.8 Site Grading

Drainage arrows on the Conceptual Site Servicing Plan and Details (Drawing 01-C-1005) indicate suggested slope directions to catch-basins, grated manholes, culverts, infiltration trenches and swales within the site. Site finished grades shall generally be in the range of 1% for asphalt surfaces and 1% to 2% for granular surfaces. Grades in areas of permeable pavers should be 0.75% to 1%. Grades in landscaped areas where mowing is required should typically not exceed 20% (1:5) or be less than 1%; grades in other landscaped areas should generally not exceed 33% (1:3).

## 3.10 Landfill Gas Migration and Venting

Landfill gas generation resulting from the anaerobic decomposition of waste material has the potential to continue for an indefinite period of time at the former Elmwood /Nairn Avenue Landfill site. Concentrations of methane gas shall not exceed the regulated levels.

Control systems that rely on natural pressure gradients to vent gas are known as passive control systems. Active systems rely on induced venting (vacuum) to remove gas from the soil. Installation of passive gas venting trenching along the proposed utilities is particularly attractive since a large percentage of the proposed buildings will be surrounded by these proposed utilities. A suggested venting system is provided in the Drawings.

To prevent gas accumulations in enclosed structures, a combination of under-slab venting and low-permeability barriers is required. Permanent gas monitors with alarm systems to warn of hazardous concentrations may also be

necessary. The venting pipes would ultimately be connected to vacuum pumps, blowers or alternatively to turbines on the roof of the building.

### **3.11 Traffic**

Traffic impacts of the former Elmwood/Nairn Landfill Site were reviewed in a separate AECOM report, which indicated that the impact of the facility on surrounding streets would be manageable with only minor intersection upgrades.

## 4. Overall Space Summary

### 4.1 Development Areas

The site has been organized into eleven different areas related to different functions and design requirements, as follows:

AREA	FACILITIES	TYPE	APPROX. AREA
Area 1	Main Office, Shop, Garage and Storage Building (without Winnipeg Fleet Management Agency space)	Heated Building	6,328 m <sup>2</sup>
Area 2	Streets Maintenance Yard	Heavy Duty Granular Surface Large Unheated Building	17,413 m <sup>2</sup>
Area 3	Bridge Operations Yard	Light/Heavy Duty Granular Small Unheated Building	9,132 m <sup>2</sup>
Area 4	Marshalling Yard – Streets Maintenance and other Divisions	Asphalt Surface, including entrances	33,534 m <sup>2</sup>
Area 5	Combined Centralized Park Services and East Area Parks Yard	Heavy Duty Granular Multiple Unheated Buildings	21,616 m <sup>2</sup>
Area 6	Combined Employee Parking, Main Building Entry and Employee Outdoor Seating	Permeable Pavers, Pavers, Planting Beds, Infiltration Trenches and Sod	15,740 m <sup>2</sup>
Area 7	Winnipeg Fleet Management Agency Building and Yard (including future development areas)	Heated Shop and Garage Building, Sod, Rough Seeding	7,966 m <sup>2</sup>
Area 8	Street Maintenance Future Salt & Sand Facility	Rough Seeding	20,695 m <sup>2</sup>
Area 9	Stormwater Retention Basins and Swales	Naturalized SRB, Native Grasses	29,355 m <sup>2</sup>
Area 10	South Boulevard of Thomas Avenue	Sod and Trees	2,207 m <sup>2</sup>
Area 11	Future BRT Corridor	Rough Seeding and/or Cleanup	5,274 m <sup>2</sup>

Space requirements for the Public Works East Yard components are summarized in Table 1 to Table 3 in the following section.

### 4.2 Overall Space Summary by Division and WFMA

Overall total space requirements (from Table 1 Overall Space Summary by Division), including gross up should be as follows:

- **Total site area required (including allowance for WFMA): 1,049,609 ft<sup>2</sup> (97,508 m<sup>2</sup>)**
- Total area of main office and garage building (including minimum allowance for WFMA): 82,706 ft<sup>2</sup> (7,683 m<sup>2</sup>)
- Total area of unheated storage buildings: 22,890 ft<sup>2</sup> (2,127 m<sup>2</sup>)

- Total Yard area required (including minimum allowance for WFMA): 944,013 ft<sup>2</sup> (87,699 m<sup>2</sup>)

**Note:** The total area of finished Yard, both hard surfaced and soft surfaced (including a minimum allowance provided for WFMA), is less than the overall total site area. The remaining area includes land allocated to two stormwater detention basins and drainage swales; allowance for a future Sand and Salt Building and related Yard space, allowance for future development by WFMA along Thomas Avenue and contingency/future expansion areas.

Actual exterior areas on the Site Plans may show some deviation from the Basic Program of Requirements due to overlapping functions and slightly different actual gross up areas.

The following Tables summarize Program information, including:

- Table 1 Overall Space Summary by Division indicates net and gross developed and undeveloped building areas by major type of space (Administrative; Heated Garage, Storage and Shop, and Unheated Garage/Storage) for each Public Works Division, including Shared Amenity areas, assuming an allocation for Winnipeg Fleet Management Agency, and net and gross site areas.
- Table 2 Summary of Building Space indicates details for buildings, summarizing individual rooms and providing notes on occupancy.
- Table 3 Summary of Yard Space provides details for outdoor spaces, with notes on parking and storage requirements.

Table 1 - Overall Space Summary by Division

Component	Net Area (ft <sup>2</sup> )	Gross	Net Area (m <sup>2</sup> )	Gross	Notes
<b>Administrative Component (Office)</b>					
Component 1 BO Bridge Operations	120	162	11.15	15.05	
Component 2 CS Centralized Park Services	1,040	1,404	96.62	130.44	
Component 3 EA East Area Parks	820	1,107	76.18	102.84	
Component 4 SA Shared Amenities	10,675	14,411	991.71	1,338.81	Developed
SA Shared Amenities	1,905	2,572	176.98	238.92	Undeveloped
Component 5 SM Streets Maintenance	2,525	3,409	234.57	316.67	
<b>Total (gross area)</b>	<b>17,085</b>	<b>23,065</b>	<b>1,587.21</b>	<b>2,142.73</b>	
<b>Heated Garage/Storage/Shop Component</b>					
Component 1 BO Bridge Operations	6,810	7,151	632.65	664.28	
Component 2 CS Centralized Park Services	3,600	3,780	334.44	351.16	
Component 3 EA East Area Parks	3,610	3,791	335.37	352.14	
Component 4 SA Shared Amenities	2,510	2,636	233.18	244.84	Developed
SA Shared Amenities	1,700	1,785	157.93	165.83	Undeveloped
Component 5 SM Streets Maintenance	30,010	31,511	2787.93	2927.33	
Component 6 FM Fleet Management Agency	8,571	9,000	796.25	836.06	by WFMA
<b>Total (gross area)</b>	<b>56,811</b>	<b>59,602</b>	<b>5,277.75</b>	<b>5,541.64</b>	
<b>Unheated Garage/Storage Component</b>					
Component 1 BO Bridge Operations	600	630	55.74	58.53	
Component 2 CS Centralized Park Services	3,200	3,360	297.28	312.14	
Component 3 EA East Area Parks	3,200	3,360	297.28	312.14	
Component 4 SA Shared Amenities	0	0	0.00	0.00	
Component 5 SM Streets Maintenance	13,600	14,280	1263.44	1326.61	
Component 6 FM Fleet Management Agency	1,200	1,260	111.48	117.05	by WFMA
<b>Total (gross area)</b>	<b>21,800</b>	<b>22,890</b>	<b>2,025.22</b>	<b>2,126.47</b>	
<b>Overall Buildings Area</b>	<b>95,696</b>	<b>105,607</b>	<b>8,890.18</b>	<b>9,810.84</b>	
<b>Exterior Yard/Storage Component</b>					
Component 1 BO Bridge Operations	93,000	106,950	8,639.70	9,935.66	
Component 2 CS Centralized Park Services	28,800	33,120	2,675.52	3,076.85	
Component 3 EA East Area Parks	138,700	159,505	12,885.23	14,818.01	
Component 4 SA Shared Amenities	2,750	3,163	255.48	293.80	
Component 5 SM Streets Maintenance	469,800	540,270	43,644.42	50,191.08	
Component 6 FM Fleet Management Agency	87,830	101,005	8,159.40	9,383.31	by WFMA
<b>Total (gross area)</b>	<b>820,880</b>	<b>944,013</b>	<b>76,259.75</b>	<b>87,698.71</b>	
<b>Overall Site Area (including building footprints)</b>	<b>916,566</b>	<b>1,049,620</b>	<b>85,149.93</b>	<b>97,509.55</b>	
<b>Total Area in Acres/ha</b>	<b>21</b> Acres	<b>24.1</b> Acres	<b>8.51</b> ha	<b>9.75</b> ha	

**Table 2 – Summary of Building Space**

CITY OF WINNIPEG PUBLIC WORKS EAST YARDS BUILDING SPACE PROGRAM						
DIVISION	COMPONENT	ROOM #	SPACE	NET AREA	GROSS UP 1.35 Adm; 1.05 Gar	NOTES
BRIDGE OPERATIONS	BO Administrative	BO-01	Bridge Operations Office	120	162	2 people; mezzanine location
	SUB TOTAL			120	162	
	BO Heated Garage	BO-02	Bridge Operations Work Area (and office mezzanine)	5,100	5,355	3 Bays; Entire Area Securable
		BO-03	Bridge Crane Bay	1,700	1,785	0 8 people, intermittent occupancy
		BO-04	Eye Wash	10	11	Entire Area Securable
SUB TOTAL			6,810	7,151		
BO Unheated Garage/Storage	BO-05	Unheated Storage Shed	600	630	Entire Area Securable	
SUB TOTAL			600	630		
TOTAL			7,530	7,943		
CENTRALIZED PARK SERVICES	CS Administrative - Permanent	CS-01	Foreman II Office	120	162	1 person
		CS-02	Utility N / Foreman I Office	100	135	1 person
		CS-03	Utility I Office Area	340	459	people - Shop workers
		CS-04	Utility II Office	100	135	1 person - Shop worker
		CS-05	Shared Files Storage	80	108	
		CS-06	Office Support	120	162	1 person plus fax/copier/supplies
		CS-07	Eyewash	10	14	
		(T)CS-08	Weed Inspectors	170	230	2 people - seasonal
	SUB TOTAL			1,040	1404	
	CS Heated Garage	CS-09	Vehicle and Equipment Storage Bay	900	945	
		CS-10	Woodwork Shop	900	945	
		CS-11	Small Tool Storage Area	900	945	
CS-12		Small Tool Storage - IPM Services	900	945		
SUB TOTAL			3,600	3,780		
CS Unheated Garage/Storage	CS-13	Unheated Storage Area	350	368	Share building with East Area Parks	
	CS-14	IPM Storage	2,850	2,993	Share building with East Area Parks	
SUB TOTAL			3,200	3,360		
TOTAL			7,840	8,544		
EAST AREA PARKS	EA Administrative	EA-01	Foreman I/Technician Office	700	945	7 people - 6 Foremen and Tech
		EA-02	Senior Foreman Office	120	162	1 person
	SUB TOTAL			820	1,107	
	EA Heated Garage	EA-03	Small Tools Storage Bay	1,000	1,050	
		EA-04	Grass Seed and Fertilizer Storage	1,300	1,365	
		EA-05	Site Repair Shop	1,300	1,365	
		EA-06	Eyewash	10	11	
		EA-07	ELEC 2 - Sub Electrical Room A			as required (part of gross up space)
		EA-08	TELE 2 - Sub Telecommunications Rm A			as required (part of gross up space)
	SUB TOTAL			3,610	3,791	
EA Unheated Garage/Storage	OS-07	Unheated Storage Area	3,200	3,360	Share building with Centralized Parks	
SUB TOTAL			3,200	3,360		
TOTAL			7,630	8,258		
SHARED AMENITIES	SA Administrative	SA-01	Front Vestibule	100	135	
		SA-02	General Waiting	200	270	
		SA-03	Reception / Service Counter	175	236	
		SA-04A & B	Public/Office Washrooms (Main Floor)	100	135	
		SA-04C	Male Public/Office Washroom (2nd)	155	209	
		SA-04D	Female Public/Office Washroom (2nd)	155	209	
		SA-05	Staff Vestibule	100	135	
		SA-06	A & B Photocopier Areas (2)	150	203	easily accessible on each floor
		SA-07	A & B Large Meeting Rooms (2)	840	1,134	Each with space for 24
		SA-08	Small Meeting Room	285	385	Space for 12
		SA-09	Lunch/Multi-Purpose Room	2,200	2,970	Used for marshalling
		SA-10	Men's Shop/Locker Washrooms (2)	530	716	
		SA-11	Women's Shop/Locker Washrooms (2)	530	716	
		SA-12	First Aid Room/Nurse's Station	125	169	
		SA-13	Housekeeping Supplies (2)	200	270	
		SA-14	Men's Lockers and Showers	2,250	3,038	
		SA-15	Women's Lockers and Showers	1,250	1,688	
		SA-16	Laundry Room	120	162	
		SA-17	Additional Training Room	1,200	1,620	Sub-dividable (movable partition)
		SA-18	Additional Storage Space (Unfinished)	520	702	
		SA-19	Additional Office Area (Unfinished)	1,385	1,870	
		SA-20	ELEC 1 - Main Electrical Room			as required (part of gross up space)
		SA-21A	MECH 1 - Mechanical Room			as required (part of gross up space)
	SA-21B	MECH 2 - Mechanical Duct/Pipe Shaft			as required (part of gross up space)	
	SA-22	TELE 1 - Main Telecommunications Rm			as required (part of gross up space)	
SA-23	Eye Wash	10	14			
SUB TOTAL			12,580	16,983		
SA Heated Garage	SA-24	Additional Truck Bay	1,700	1,785		
	SA-25	Vehicle Wash Bay	1,250	1,313	two modules	
	SA-26	Heavy Equipment Wash Bay	1,250	1,313	two modules; fit Bridge Crane	
	SA-27	Dousing Shower	10	11		
SUB TOTAL			4,210	4,421		
TOTAL			16,790	21,404		
STREETS MAINTENANCE	SM Administrative	SM-01	Formen General Office Area (12)	1,200	1,620	12 people
		SM-02	Clerical Office	200	270	2 people
		SM-03	Regional Streets Inspectors Office	125	169	2 people
		SM-04	Streets Supervisor Office	150	203	1 person
		SM-05	Asset Manager Officer	100	135	1 person
		SM-06	Supplies Storage Room	100	135	
		SM-07	Small Tools Storage Room	500	675	
		SM-08	File Storage Room	150	203	
	SUB TOTAL			2,525	3,409	
	SM Heated Garage	SM-09	Heated Vehicle & Equip. Storage Bays	30,000	31,500	min. 7 bays (see equipment list/ sizes)
		SM-10	Eyewash	10	11	
		SM-11	ELEC 3 Sub Electrical Room B			as required (part of gross up space)
SM-12		TELE 3 Sub Telecommunications Rm B			as required (part of gross up space)	
SUB TOTAL			30,010	31,511		
SM Unheated Garage/Storage	SM-13	Unheated Storage Area	13,600	14,280	8 bays	
SUB TOTAL			13,600	14,280		
TOTAL			46,135	49,199		
GRAND TOTAL				85,925	95,347	
PUBLIC WORKS FACILITIES				square feet		
				acres	1.97	2.19
FLEET MANAGEMENT AGENCY	FM Heated Garage	FM-01	Shop and Office	8,571	9,000	three bays (by WFMA) 10 staff
		SUB TOTAL		8,571	9,000	
	FM Unheated Garage/Storage	FM-02	Tire/Miscellaneous Storage	1,200	1,260	(by Fleet Management)
	SUB TOTAL			1,200	1,260	
TOTAL			9,771	10,260		
FLEET FACILITIES						

**Table 3 – Summary of Yard Space**

CITY OF WINNIPEG PUBLIC WORKS EAST YARDS YARD SPACE PROGRAM SUMMARY						
						20-Apr-11
DIVISION	COMPONENT	SPACE #	SPACE	AREA (sq. ft.)	GROSS UP	
					15%	NOTES
BRIDGE OPERATIONS	BO Exterior Components	BO-06	Employee and Visitor Parking	3,000	3,450	10 stalls, serviced
		BO-07	Storage Compound	90,000	103,500	secure compound
<b>TOTAL</b>	<b>TOTAL</b>			<b>93,000</b>	<b>106,950</b>	
CENTRALIZED PARK SERVICES	CS Exterior Components	CS-15	Employee and Visitor Parking	11,000	12,650	36 stalls, 10 serviced
		CS-16	Vehicle and Equipment Parking	10,800	12,420	20 large stalls, serviced
		CS-17	Storage Compound	7,000	8,050	addition'l to unheated storage building
<b>TOTAL</b>	<b>TOTAL</b>			<b>28,800</b>	<b>33,120</b>	
EAST AREA PARKS	EA Exterior Components	EA-10	Employee and Visitor Parking Area	22,500	25,875	75 stalls, 20 serviced
		EA-11	Vehicle and Equipment Parking	16,200	18,630	30 stalls, serviced
		EA-12	Storage Compound	100,000	115,000	shared with CS
<b>TOTAL</b>	<b>TOTAL</b>			<b>138,700</b>	<b>159,505</b>	
SHARED COMPONENTS	SA Exterior Components	SA-28	Exterior Vehicle and Equipment Wash	1,250	1,438	
		SA-29	Additional Employee Parking	1,500	1,725	5 stalls
		SA-30	Yard Marshalling Area			part of SM-17
		SA-31	General Landscaped Areas			2,207 sq. ft.
		SA-32	SRB and Swales			29,355 sq. ft.
<b>TOTAL</b>	<b>TOTAL</b>			<b>2,750</b>	<b>3,163</b>	
STREETS MAINTENANCE	SM Exterior Components	SM-14	Foreman/Office Staff Parking	4,800	5,520	serviced, 16 stalls
		SM-15	General Employee and Visitor Parking	24,000	27,600	80 stalls, serviced (5 for visitors)
		SM-16	Vehicle and Equipment Parking	5,400	6,210	10 large stalls, serviced
		SM-17	Storage Compound (10 acres)	435,600	500,940	Marshalling Area and Sand and Salt areas are included; structure 100' X 280'
		SM-18	Future Sand and Salt Yard			building 28,000 sq. ft.
<b>TOTAL</b>	<b>TOTAL</b>			<b>469,800</b>	<b>540,270</b>	
<b>GRAND TOTAL (Public Works)</b>			square feet acres	<b>733,050</b> 16.83	<b>843,008</b> 19.35	
<hr/>						
WINNIPEG FLEET MANAGEMENT AGENCY	FM Exterior Components	FM-03	Employee Parking	3,000	3,450	9 stalls (see additional parking, +1)
		FM-04	Vehicle and Equipment Storage/Access	7,650	8,798	10 stalls, serviced
		FM-05	Other Areas - Future Building Expansion and Vehicle Wash (Undeveloped)	77,180	88,757	
<b>TOTAL</b>	<b>TOTAL</b>			<b>87,830</b>	<b>101,005</b>	
<b>GRAND TOTAL (WFMA)</b>			square feet acres	<b>87,830</b> 2.02	<b>101,005</b> 2.32	
		<b>Notes:</b>	Employee Parking stall - 20'x9' = 180 sq. ft. Aisle per double-loaded parking stall - 12.5'x9' = 112.5 sq. ft. Vehicle/Equipment Parking - 30'x10' = 300 sq. ft. Parking for training to be partially informal - on street			

## 5. Detailed Descriptions of Functional Spaces

The Detailed Description of Functional Spaces, below, provides the following information:

- Room designator for each interior space, including the Division code and number, and a name, and a similar designator for each exterior Yard area
- Important adjacencies
- Information about accessories, or the intended furnishing of spaces (generally NIC – Not in Contract) and other detail design requirements

In some cases additional notes and equipment schedules provide further design related information.

Further detail on the Functional Spaces is provided in the accompanying Room Data Sheets (Appendix B2).

### 5.1 Component 1 - Public Works - Bridge Operations Division (BO)

**Total Staff: full-time 7; seasonal 3**

#### 5.1.1 BO Administrative Component

**BO-01 Bridge Operations Office** 120 ft<sup>2</sup> 11.15 m<sup>2</sup>

Description: enclosed office for Bridge Operations  
 Adjacencies: close proximity to Bridge Operations Work Area (BO-02)  
 Accessories: fax machine, electrical, data and telephone outlets  
 (Note: finished office to include two desks or modular work surfaces, small meeting table, four chairs, file pedestal, partition hung accessories to take various forms of files, NIC)

#### Summary – Bridge Operations Division: Administrative Component

<b>Subtotal</b>	<b>120.0 ft<sup>2</sup></b>	<b>11.15 m<sup>2</sup></b>
<b>Gross-up @ 35%</b>	<b>42.0 ft<sup>2</sup></b>	<b>3.90 m<sup>2</sup></b>
<b>Total</b>	<b>162.0 ft<sup>2</sup></b>	<b>15.05 m<sup>2</sup></b>

#### 5.1.2 BO Heated Garage Component

**BO-02 Bridge Operations Work Area** 5,100 ft<sup>2</sup> 473.79 m<sup>2</sup>

Description: three bays, each 1,700 ft<sup>2</sup> (157.93 m<sup>2</sup>), providing secure work and storage areas for Bridge Operations functions  
 Adjacencies: close to Bridge Operations Office (BO-01) and Bridge Crane Bay (BO-03) for the under-bridge crane  
 Accessories: minimum 16' (4.9 m) ceiling height, loading dock, drainage pit, heavy-duty power garage door operator, minimum of three insulated garage doors, electrical receptacles, compressed air line, plumbing, work benches and shelves

**BO-03 Bridge Crane Bay** 1,700 ft<sup>2</sup>      157.93 m<sup>2</sup>

Description: extra-large storage bay for under-bridge crane storage  
 Adjacencies: close to Bridge Operations Work Area (BO-02) and Bridge Operations Office (BO-01)  
 Accessories: drainage pit, heavy-duty power garage door operator, minimum 16' (4.9 m) vertical clearance for insulated garage doors located at each end of the bay, electrical receptacles and vehicle wash capability  
 Notes: continuous concrete apron extending 40' in front of overhead doors  
 pump and hose to provide compressed air for tire maintenance; hoses to cover 50' (15.3 m) radius  
 CO and NO<sub>x</sub> monitoring equipment

**BO-04 Eye Wash** 10 ft<sup>2</sup>      0.93 m<sup>2</sup>

Description: small area for First Aid  
 Adjacencies: adjacent to Bridge Operations Work Area (BO-02)  
 Accessories: eyewash basin and faucet, and First Aid cabinet  
 Note: direct access from Work Area

5.1.3 BO Unheated Garage and Storage Component

**BO-05 Unheated Storage Shed** 600 ft<sup>2</sup>      55.74 m<sup>2</sup>

Description: single storage shed 20' x 30' (6.1 m x 9.15 m) for Bridge Operations equipment  
 Adjacencies: within the Bridge Operations Storage Compound, (BO-07)  
 Accessories: heavy-duty power garage door operator, 8' (2.44 m) vertical clearance for garage doors, electrical receptacles

<b>Summary – Bridge Operations Division: Heated and Unheated Garage and Storage Components</b>		
<b>Subtotal</b>	<b>7,410.0 ft<sup>2</sup></b>	<b>688.39 m</b>
<b>Gross-up @ 5%</b>	<b>370.5 ft<sup>2</sup></b>	<b>34.42 m<sup>2</sup></b>
<b>Total</b>	<b>7,780.5 ft<sup>2</sup></b>	<b>722.81 m<sup>2</sup></b>

5.1.4 BO Exterior Yard Components

**BO-06 Employee and Visitor Parking Area** 3,000 ft<sup>2</sup>      278.70 m<sup>2</sup>

Description: part of main employee parking area (Area 6), outdoor parking for 10 staff  
 Adjacencies: close to Administrative Component, and close to employee access/egress points at start of shifts  
 Accessories: permeable pavement, parking fence, electrical receptacles, low-mast LED lighting, pavement markings for stalls, stall numbering and markings on fence, signage and landscaping as required  
 Notes: typical parking stalls to be 9' x 20' (2.7 m x 6.1 m)

**BO-07 Storage Compound** 90,000 ft<sup>2</sup>      8,361.00 m<sup>2</sup>

Description: secure drive-through compound (chain link fence) with gates at either end to accommodate Bridge Operations equipment and materials (Area 3)  
 Adjacencies: adjacent to the main employee access/egress points  
 Accessories: gravel surface, 8' (2.4 m) chain link fence; lockable gates, 20' wide (6.1 m), at each end of the compound; high-mast metal halide lighting; landscaping as required  
 Notes: including space for metal storage sheds; crane and 60' (18.3 m) long trailer heavy-duty base for centre drive-through aisle of storage compound

<b>Summary – Bridge Operations Division: Exterior Yard Components</b>		
<b>Subtotal</b>	<b>90,000.0 ft<sup>2</sup></b>	<b>8,361.00 m<sup>2</sup></b>
<b>Gross-up @ 15%</b>	<b>13,500.0 ft<sup>2</sup></b>	<b>1,254.15 m<sup>2</sup></b>
<b>Total</b>	<b>103,500.0 ft<sup>2</sup></b>	<b>9,615.15 m<sup>2</sup></b>

<b>Total requirements for Bridge Operations Division: Interior and Exterior Space Components</b>		
<b>Administrative</b>	<b>162.0 ft<sup>2</sup></b>	<b>15.05 m<sup>2</sup></b>
<b>Heated/Unheated Garage/Storage</b>	<b>7,780.5 ft<sup>2</sup></b>	<b>722.81 m<sup>2</sup></b>
<b>Exterior Yard</b>	<b>103,500.0 ft<sup>2</sup></b>	<b>9,615.15 m<sup>2</sup></b>
<b>Overall Total - Streets Maintenance</b>	<b>121,442.5 ft<sup>2</sup></b>	<b>10,353.01 m<sup>2</sup></b>
	<b>2.79 acres</b>	<b>1.04 ha</b>

**5.2 Component 2 - Public Works - Centralized Park Services Division (CS)**

**Total Staff: approx. 36 full-time and seasonal**

**5.2.1 CS Administrative Component**

**Permanent Staff**

**CS-01 Foreman II Office** 120 ft<sup>2</sup>      11.15 m<sup>2</sup>

Description: enclosed office for a Foreman II  
 Adjacencies: close proximity to other administrative staff  
 Accessories: electrical, data and telephone outlets  
 (Note: finished office to include desk or modular work surface, small meeting table, three (3) chairs, file pedestal, accessories to take various forms of files, NIC)

**CS-02 Utility IV/Foreman I Office** 100 ft<sup>2</sup>      9.29 m<sup>2</sup>

Description: enclosed office for a Foreman I  
 Adjacencies: adjacent to Foremen II Office (CS-01)  
 Accessories: office shall include 24' (7.3 m) of working counter space; electrical, data and telephone outlets

<b>CS-03 Utility IV Office Area</b>	340 ft <sup>2</sup>	31.59 m <sup>2</sup>
Description: workstations/cubicles for four (4) Shop workers		
Adjacencies: close to Utility IV Woodwork Shop work area (CS-10)		
Accessories: electrical, data and telephone outlets		
(Note: each workstation/cubicle to include systems furniture partitions, desk or modular work surface, chair, file pedestal, partition hung accessories to take various forms of file, NIC)		
<b>CS-04 Utility II Office</b>	100 ft <sup>2</sup>	9.29 m <sup>2</sup>
Description: workstation/cubicle for a Shop worker		
Adjacencies: adjacent to Utility IV Office Area (CS-03)		
Accessories: electrical, data and telephone outlets		
(Note: each workstation/cubicle to include systems furniture partitions, desk or modular work surface, chair, file pedestal, partition hung accessories to take various forms of files, NIC)		
<b>CS-05 Shared Files Storage</b>	80 ft <sup>2</sup>	7.43 m <sup>2</sup>
Description: additional storage area		
Adjacencies: adjacent to Utility II Office (CS-04)		
Accessories: storage space for shared files and binders		
<b>CS-06 Office Support</b>	120 ft <sup>2</sup>	11.15 m <sup>2</sup>
Description: workstation/cubicle for office support person with space for fax, copier, supplies		
Adjacencies: adjacent to Utility office areas, above		
Accessories: electrical, data and telephone outlets		
(Note: workstation/cubicle to include systems furniture partitions, desk or modular work surface, chair, file pedestal, partition hung accessories to take various forms of files, NIC)		
<b>CS-07 Eye Wash</b>	10 ft <sup>2</sup>	0.93 m <sup>2</sup>
Description: small area for First Aid		
Adjacencies: adjacent to Utility IV Office Area (CS-03)		
Accessories: eyewash basin and faucet, and First Aid cabinet		
<b>Temporary Staff</b>		
<b>(T)CS-08 Weed Inspectors Office</b>	170 ft <sup>2</sup>	15.79 m <sup>2</sup>
Description: enclosed office for two (2) seasonal weed inspectors		
Adjacencies: close to other Utility workers		
Accessories: electrical, data and telephone outlets		
(Note: each workstations/cubicle to include systems furniture partitions, desk or modular work surface, chair, file pedestal, partition hung accessories to take various forms of files)		

<b>Summary - Centralized Parks Services Division: Administrative Component</b>		
<b>Subtotal</b>	<b>1,040.0 ft<sup>2</sup></b>	<b>96.62 m<sup>2</sup></b>
<b>Gross-up @ 35%</b>	<b>364.0 ft<sup>2</sup></b>	<b>33.82 m<sup>2</sup></b>
<b>Total</b>	<b>1,404.0 ft<sup>2</sup></b>	<b>130.44 m<sup>2</sup></b>

5.2.2 CS Heated Garage Component

**CS-09 Vehicle and Equipment Storage Bay** 900 ft<sup>2</sup> 8.36 m<sup>2</sup>

Description: heated garage storage with overhead doors  
 Adjacencies: close to administrative offices and adjacent to Landscape Development Services  
 Accessories: drainage pit, heavy-duty power garage door operator, insulated garage doors (all) and electrical receptacles  
 Notes: continuous concrete apron extending 25' (7.6 m) in front of all overhead doors  
 pump and hose to provide compressed air for tire maintenance; hoses to cover 50' (15.3 m) radius  
 CO monitoring and NO<sub>x</sub> control equipment  
 Equipment: cube vans and miscellaneous equipment

**CS-10 Woodwork Shop** 900 ft<sup>2</sup> 8.36 m<sup>2</sup>

Description: woodworking shop for assembly of Centralized Park Services components  
 Adjacencies: close to Vehicle and Equipment Storage Bay and Unheated Garage/Storage  
 Accessories: work counters, dedicated electrical power and work hood, and centralized dust collector

**CS-11 Small Tool Storage Area** 900 ft<sup>2</sup> 8.36 m<sup>2</sup>

Description: lockable room for storage of small tools  
 Adjacencies: in close proximity to Vehicle and Equipment Storage Bay (CS-09) and Unheated Storage Area (CS-13)  
 Accessories: 25 sections of 24" x 48" x 84" (610mm x 1220mm x 2134mm) high heavy-duty shelving, workbench

**CS-12 Small Tool Storage – IPM Services** 900 ft<sup>2</sup> 8.36 m<sup>2</sup>

Description: storage of equipment, chains, fasteners, paint  
 Adjacencies: close to Woodwork Shop (CS-10)  
 Accessories: lockable, 30 sections of 24" x 48" x 84" (610mm x 1220mm x 2134mm) high heavy-duty shelving, workbench

## 5.2.3 CS Unheated Garage/Storage Component

**CS-13 Unheated Storage Area** 350 ft<sup>2</sup> 32.52 m<sup>2</sup>

Description: storage area/bay for small equipment (in Area 5)  
 Adjacencies: close to administrative offices; adjacent to IPM (CS-14) and shared with East Area Parks Unheated Storage Areas (EA-09), same free-standing unheated structure  
 Accessories: drainage pit, heavy-duty power garage door operator, insulated garage doors and electrical receptacles

**CS-14 IPM Storage Area** 2,850 ft<sup>2</sup> 264.77 m<sup>2</sup>

Description: unheated storage area/bay for small equipment (in Area 5), with enclosed 500 ft<sup>2</sup> (insulated and heated) storage area for chemicals  
 Adjacencies: close to administrative offices; adjacent to Centralized Park Services and East Area Parks Unheated Storage Areas (CS-13 and EA-09)  
 Accessories: drainage pit, heavy-duty power garage door operator, insulated garage doors and electrical receptacles, lockable cabinets and eye wash area  
 Example: Storage Building at 1539 Waverley Street for Forestry and Landscape Development

**Summary - Centralized Park Services Division: Heated and Unheated Garage and Storage Components**

<b>Subtotal</b>	<b>6,800.0 ft<sup>2</sup></b>	<b>631.72 m<sup>2</sup></b>
<b>Gross-up @ 5%</b>	<b>340.0 ft<sup>2</sup></b>	<b>31.59 m<sup>2</sup></b>
<b>Total</b>	<b>7,140.0 ft<sup>2</sup></b>	<b>663.31 m<sup>2</sup></b>

## 5.2.4 CS Exterior Yard Components

**CS-15 Employee and Visitor Parking Area** 11,000 ft<sup>2</sup> 1,021.90 m<sup>2</sup>

Description: main employee parking area (Area 6), outdoor parking for 36 staff and visitors, including 10 serviced stalls  
 Adjacencies: close to administrative offices  
 Accessories: permeable pavement, parking fence, electrical receptacles, low-mast LED lighting, pavement markings for stalls, stall numbering and markings on fence, signage and landscaping as required  
 Notes: include two (2) extra-wide handicap stalls, 12' x 20' (3.6 m x 6.1 m) with signage typical parking stalls to be 9' x 20' (2.7 m x 6.1 m)

**CS-16 Vehicle and Equipment Parking** 10,800 ft<sup>2</sup> 1,003.32 m<sup>2</sup>

Description: outdoor parking/storage for various Centralized Park Services vehicles and equipment: 20 larger stalls (CS-17/Area 5)

Adjacencies: close proximity to main building within secure storage compound  
 Accessories: paved surface, parking fence, high-mast metal halide lighting, pavement markings for stalls, stall numbering and markings on fence, electrical outlets installed at higher than hood-height, landscaping as required  
 Notes: parking stalls to be 12' x 30' (3.7 m x 9.2 m) include 6 half-ton trucks, plus 4 more seasonally (May – Nov.); 1 three-ton truck, tractors, loader, shop truck, utility trailers

**CS-17 Storage Compound** 7,000 ft<sup>2</sup> 650.30 m<sup>2</sup>

Description: area for outdoor storage of materials, with vehicle and equipment staging and loading areas, including a secure compound for storage of play equipment and site furnishings (between Unheated Storage Buildings)  
 Adjacencies: shared with EA-12, and containing the Unheated Garage/Storage and IPM Storage Areas (EA-09, CS-13 and CS-14) and adjacent to main employee access/egress points  
 Accessories: granular surface, 8' (2.4 m) high chain link security fence, lockable gate 20' wide (6.1 m), high-mast metal halide lighting, concrete storage bunkers shared with East Area Parks, landscaping as required  
 Note: compound (Area 5) is shared with East Area Parks (EA-12); includes refuse/dumpster and dust collector areas

**Summary - Centralized Parks Division: Exterior Yard Components**

<b>Subtotal</b>	<b>28,800.0 ft<sup>2</sup></b>	<b>2,675.52 m<sup>2</sup></b>
<b>Gross-up @ 15%</b>	<b>4,320.0 ft<sup>2</sup></b>	<b>401.33 m<sup>2</sup></b>
<b>Total</b>	<b>33,120.0 ft<sup>2</sup></b>	<b>3,076.85 m<sup>2</sup></b>

**Total requirements for Centralized Park Services Division: Interior and Exterior Spaces**

<b>Administrative</b>	<b>1,404.0 ft<sup>2</sup></b>	<b>130.44 m<sup>2</sup></b>
<b>Heated/Unheated Garage/Storage</b>	<b>7,140.0 ft<sup>2</sup></b>	<b>663.31 m<sup>2</sup></b>
<b>Exterior Yard</b>	<b>33,120.0 ft<sup>2</sup></b>	<b>3,076.85 m<sup>2</sup></b>
<b>Overall Total – Centralized Park Services</b>	<b>41,664.0 ft<sup>2</sup></b>	<b>3,870.60 m<sup>2</sup></b>
	<b>0.96 acres</b>	<b>0.39 ha</b>

**5.3 Component 3 - Public Works - East Area Parks, Parks and Open Spaces Division (EA)**

**Total Staff: full-time 20; seasonal 55**

**5.3.1 EA Administrative Component**

**EA-01 Foreman I/Technician Office** 700 ft<sup>2</sup> 65.03 m<sup>2</sup>

Description: enclosed office for six (6) Foreman I and one Technician  
 Adjacencies: close proximity to other administrative staff  
 Accessories: electrical, data and telephone outlets  
 (Note: workstations/cubicles to include systems furniture partitions, desks or modular work surface, chair, file pedestal, partition hung accessories to take various forms of files, NIC)

**EA-02 Senior Foreman Office** 120 ft<sup>2</sup> 11.15 m<sup>2</sup>

Description: office for a Senior Foreman  
 Adjacencies: adjacent to Foremen I/Technician Office (EA-01), and other administrative staff  
 Accessories: electrical, data and telephone outlets  
 (Note: office to include desk or modular work surface, chair, file pedestal, accessories to take various forms of files, NIC)

Summary – East Area Parks: Administrative Component		
<b>Subtotal</b>	<b>820.0 ft<sup>2</sup></b>	<b>76.18 m<sup>2</sup></b>
<b>Gross-up @ 35%</b>	<b>278.0 ft<sup>2</sup></b>	<b>26.66 m<sup>2</sup></b>
<b>Total</b>	<b>1,107.0 ft<sup>2</sup></b>	<b>102.84 m<sup>2</sup></b>

5.3.2 EA Heated Garage Component

**EA-03 Small Tools Storage Bay** 1000 ft<sup>2</sup> 92.90 m<sup>2</sup>

Description: storage bay for small tools and consumables  
 Adjacencies: close to Foreman I/Technician Office (EA-01)  
 Accessories: drainage pit, heavy-duty power garage door operator, insulated garage doors and electrical receptacles

**EA-04 Grass Seed and Fertilizer Storage** 1300 ft<sup>2</sup> 120.77 m<sup>2</sup>

Description: storage for grass seed and fertilizer  
 Adjacencies: close to Small Tools Storage Bay (EA-03)  
 Accessories: shelving, closed-off room with a lockable man door

**EA-05 Site Repair Shop** 1300 ft<sup>2</sup> 120.77 m<sup>2</sup>

Description: repair shop for small equipment  
 Adjacencies: close to Small Tools Storage Bay (EA-03)  
 Accessories: shelving, work counter, electrical service, lighting, closed-off room with a lockable man door

**EA-06 Eye Wash** 10 ft<sup>2</sup> 0.93 m<sup>2</sup>

Description: small area for First Aid  
 Adjacencies: adjacent to Site Repair Shop (EA-05)  
 Accessories: eyewash basin and faucet, and First Aid cabinet  
 Note: direct access from Shop area

**EA-07 ELEC 2 – Sub Electrical Room A** Area as required

Description: small area for electrical equipment, unoccupied  
 Adjacencies: locate in the vicinity of 'gridline 20' on drawing A-1 (Main Office & Garage Bldg: Schematic Design Drawing - Floor Plans); close to the Sub Telecommunications Room A, but with sufficient separation to address EMI

Accessories: thermostat, exhaust fan  
 Note: size space and electrical distribution sufficient to accommodate future building expansion and independent vehicle wash facility

**EA-08 TELE 2 - Sub Telecommunications Room A** Area as required

Description: small area for telecommunications equipment and controls, occupied intermittently  
 Adjacencies: locate in the vicinity of 'gridline 20' on drawing A-1 (Main Office & Garage Bldg: Schematic Design Drawing - Floor Plans); close to the Sub Electrical Room A, but with sufficient separation to address EMI  
 Accessories: card access control, intrusion detection, thermostat, separate A/C  
 Note: size space sufficient to accommodate future WFMA building expansion and independent vehicle wash facility

5.3.3 EA Unheated Garage/Storage Component

**EA-09 Unheated Storage Area** 3,200 ft<sup>2</sup> 297.28 m<sup>2</sup>

Description: storage area/bay for small equipment  
 Adjacencies: close to Administrative offices; adjacent to Centralized Park Services Unheated Garage/Storage areas (same free-standing unheated structure) in EA-12; shared with CS-13. Adjacent to CS-14, IPM  
 Accessories: drainage pit, heavy-duty power garage door operator, insulated garage doors and electrical receptacles  
 Example: New Storage Building at 1539 Waverley Street for Forestry and Landscape Development

**Summary – East Area Parks: Heated and Unheated Garage and Storage Components**

<b>Subtotal</b>	<b>6,810.0 ft<sup>2</sup></b>	<b>632.65 m<sup>2</sup></b>
<b>Gross-up @ 5%</b>	<b>340.5 ft<sup>2</sup></b>	<b>31.63 m<sup>2</sup></b>
<b>Total</b>	<b>7,150.5 ft<sup>2</sup></b>	<b>664.28 m<sup>2</sup></b>

5.3.4 EA Exterior Yard Components

**EA-10 Employee and Visitor Parking Area** 22,500 ft<sup>2</sup> 2,090.25 m<sup>2</sup>

Description: main employee parking area (Area 6), outdoor parking for 75 staff and visitors, including 20 serviced stalls  
 Adjacencies: close to administrative offices and adjacent to the main employee access/egress points at start of shifts  
 Accessories: permeable pavement, parking fence, electrical receptacles, low-mast LED lighting, pavement markings for stalls, stall numbering and markings on fence, signage and landscaping as required  
 Notes: include 3 extra-wide handicap stalls, 12' x 20' (3.6 m x 6.1 m) with signage typical parking stalls to be 9' x 20' (2.7 m x 6.1 m)

**EA-11 Vehicle and Equipment Parking** 16,200 ft<sup>2</sup> 1,504.98 m<sup>2</sup>

Description: outdoor parking/storage for various East Area Parks' vehicles and equipment (30 stalls (Area 5))

Adjacencies: close proximity to main building within secure storage compound  
 Accessories: paved surface, parking fence, high-mast metal halide lighting, pavement markings for stalls, stall numbering and markings on fence, electrical outlets installed at higher than hood-height, landscaping as required  
 Notes: parking stalls to be 12' x 30' (3.7 m x 9.2 m)

**EA-12 Storage Compound** 100,000 ft<sup>2</sup> 9,290.90 m<sup>2</sup>

Description: outdoor storage of materials and equipment, and vehicle and equipment staging and loading areas (Area 5)  
 Adjacencies: containing the unheated garage/storage component and adjacent to the main employee access/egress points  
 Accessories: granular surface, 8' (2.4 m) high chain link security fence, lockable gates 20' wide (6.1 m) at each end of the compound, high-mast metal halide lighting, concrete storage bunkers shared with Centralized Park Services, landscaping as required  
 Note: compound is shared with Centralized Park Services (CS-17)  
 include: 12' x 12' x 20' (3.6 m x 3.6 m x 6.1 m) wood chip stockpile; 20 yd (15.3 m<sup>3</sup>) bins for refuse and scrap metal; materials bunkers for sand and playground stone, ¼" and ¾" (6mm and 20mm) limestone, infield mix, topsoil, topdressing, peat moss, compost

Summary – East Area Parks: Exterior Yard Components		
<b>Subtotal</b>	<b>138,700.0 ft<sup>2</sup></b>	<b>12,885.23 m<sup>2</sup></b>
<b>Gross-up @ 15%</b>	<b>20,805.0 ft<sup>2</sup></b>	<b>1,932.78 m<sup>2</sup></b>
<b>Total</b>	<b>159,505.0 ft<sup>2</sup></b>	<b>14,818.01 m<sup>2</sup></b>

Total requirements for East Area Parks: Interior and Exterior Spaces		
<b>Administrative</b>	<b>1,107.0 ft<sup>2</sup></b>	<b>102.84 m<sup>2</sup></b>
<b>Heated/Unheated Garage/Storage</b>	<b>7,150.5 ft<sup>2</sup></b>	<b>664.28 m<sup>2</sup></b>
<b>Exterior Yard</b>	<b>159,505.0 ft<sup>2</sup></b>	<b>14,818.01 m<sup>2</sup></b>
<b>Overall Total – East Area Parks</b>	<b>167,762.5 ft<sup>2</sup></b>	<b>15,585.12 m<sup>2</sup></b>
<b>3.85 acres</b>	<b>1.56 ha</b>	

**5.4 Component 4 - Public Works - Shared Amenities (SA)**

**5.4.1 SA Administrative Component**

**SA-01 Front Vestibule** 100 ft<sup>2</sup> 9.29 m<sup>2</sup>

Description: secure transition space for public visiting the facility  
 Adjacencies: direct exterior access, main door, and adjacent to General Waiting (SA-02) where employees control facility admittance  
 Accessories: transitional temperature control; metal grate and grit trough; durable, low-maintenance finishing materials; Lees "Neofloor" or ceramic tile

<b>SA-02 General Waiting</b>	200 ft <sup>2</sup>	18.58 m <sup>2</sup>
Description: area for visitor waiting and orientation		
Adjacencies: adjacent to Front Vestibule (SA-01), Reception/Service Counter (SA-03) and Public Washrooms (SA-04), with controlled access to the remainder of the facility		
Accessories: (Note to include chairs, coffee table and end tables to accommodate 10 visitors; brochure rack, bulletin boards, visual access by reception desk employee, NIC)		
<b>SA-03 Reception/Service Counter</b>	175 ft <sup>2</sup>	16.25 m <sup>2</sup>
Description: reception desk served by up to two employees; Service Counter is control point and information centre for facility visitors		
Adjacencies: adjacent to the Front Vestibule (SA-01, General Waiting (SA-02) and controlled access point to the remainder of the administrative offices/facility		
Accessories: network computer connections, networked printer(s), electrical, data and telephone; mail slots (4" x 9.5" x 11" or 100mm x 241mm x 279mm deep) for each of 240 employees (Note: to include two-person reception desk with a handicap-accessible section, NIC)		
<b>SA-04A &amp; B Male and Female Public/Office Washrooms - Main Floor</b>	100 ft <sup>2</sup> (total)	9.29 m <sup>2</sup> (total)
Description: single-occupant, accessible male and female washrooms (2 x 50 ft <sup>2</sup> or 2 x 15.3 m <sup>2</sup> )		
Adjacencies: adjacent to General Waiting (SA-02) on main floor		
Accessories: each with automatic flush toilet and sink, and all fittings and handrails as noted in the current edition of "Access: A Guide to Accessible Design for Designers, Builders, Facility Owners and Managers"; fold-out baby-change station, toilet paper dispenser, mirror, liquid soap dispenser, paper towel dispenser, fan, napkin dispenser and disposal, refuse container; door closer, "Occupied" lock or light visible from Service Counter; exaggerated drainage to floor drain with sufficient capacity to handle a broken sprinkler head (69.7 US gallons/minute or 263.7 litres/minute); vandal-proof sprinkler head and negative air pressure to control odours.		
<b>SA-04C Male Public/Office Washroom – Second Floor</b>	155 ft <sup>2</sup>	14.40 m <sup>2</sup>
Description: male washroom on second floor		
Adjacencies: central to second floor administrative area		
Accessories: two urinals, two automatic flush toilets and three sinks in continuous counter, including one accessible stall with all fittings and handrails as noted in the current edition of "Access: A Guide to Accessible Design for Designers, Builders, Facility Owners and Managers, toilet paper dispensers, continuous mirror over counter, two liquid soap dispenser, paper towel dispenser, fan, refuse container; "Occupied" lock or light visible from Service Counter; exaggerated drainage to floor drain with sufficient capacity to handle a broken sprinkler head (69.7 US gallons/minute or 263.7 litres/minute); vandal-proof sprinkler head and negative air pressure to control odours.		

<b>SA-04D Female Public/Office Washroom – Second Floor</b>	155 ft <sup>2</sup>	14.40 m <sup>2</sup>
Description:	female washroom	
Adjacencies:	central to second floor administrative area	
Accessories:	three automatic flush toilets and three sinks in continuous counter, including one accessible stall with all fittings and handrails as noted in the current edition of “Access: A Guide to Accessible Design for Designers, Builders, Facility Owners and Managers, toilet paper dispensers, continuous mirror over counter, two liquid soap dispenser, napkin dispenser and disposal, paper towel dispenser, fan, refuse container; “Occupied” lock or a light visible from Service Counter; exaggerated drainage to floor drain with sufficient capacity to handle a broken sprinkler head (69.7 US gallons/minute or 263.7 litres/minute); vandal-proof sprinkler head and negative air pressure to control odours.	
<b>SA-05 Staff Vestibule</b>	100 ft <sup>2</sup>	9.29 m <sup>2</sup>
Description:	secondary employee entry point	
Adjacencies:	located as required in the facility close to the main staff parking area	
Accessories:	transitional temperature control; metal grate and grit trough; durable, low-maintenance finishing materials; Lees “Neofloor” or ceramic tile	
<b>SA-06A &amp; B Photocopier Areas (2)</b>	150 ft <sup>2</sup>	27.87 m <sup>2</sup>
Description:	two (2) areas, with network printers, photocopiers, fax machines; space for collating, and mail sorting and distribution	
Adjacencies:	centrally located within the administrative areas, one per floor situated to provide easy access to all employees	
Accessories:	galley style configuration (Note: to include large capacity photocopier and fax machine on one side; multiple, large-capacity refuse containers; NIC) continuous counter on the opposite side for collating materials; all machines to have separate circuits; telephone and data connections, with additional electrical receptacles above the collating counter, and one below the counter for paper shredder; under-counter storage cupboards for paper supplies; open cupboards above counter for paper supplies; lockable steel storage cupboards for small supplies; cabinet design to accommodate the extra height of network printers; some cabinets lockable; four sections of steel shelving (18” deep x 36” x 84” high, or 457mm deep x 914mm x 2133mm high) with various adjustable shelves and dividers for storage of multiple forms and other stationary supplies, some lockable	
<b>SA-07A &amp; B Large Meeting Rooms (2)</b>	840 ft <sup>2</sup>	78.04 m <sup>2</sup>
Description:	two meeting rooms for 24 people, each (2 x 420 ft <sup>2</sup> or 2 x 39 m <sup>2</sup> )	
Adjacencies:	close proximity to Front Vestibule (SA-01) and General Waiting (SA-02); Large Meeting Rooms to be adjacent to each other	
Accessories:	fluorescent lights and pot lights on dimmers; separate HVAC control in room; power, telephone and data connections and cable television connection (Note: to include meeting table and chairs for 24, small credenza, whiteboard, NIC)	
Note:	the two separate meeting rooms to have a moveable partition between them to allow for use of combined space	

<b>SA-08 Small Meeting Room</b>	285 ft <sup>2</sup>	26.48 m <sup>2</sup>
<p>Description: meeting room for 12</p> <p>Adjacencies: close proximity to Front Vestibule (SA-01) and General Waiting (SA-02)</p> <p>Accessories: meeting table and chairs for 12, small credenza, whiteboard; fluorescent lights and pot lights on dimmers; separate HVAC control in room; power, telephone and data connections and cable television connection</p>		
<b>SA-09 Lunch/Multi-purpose Room</b>	2,200 ft <sup>2</sup>	204.38 m <sup>2</sup>
<p>Description: common space for lunches/coffee breaks and marshalling of approximately 100 hired contractors and City staff; high ceiling of 16' to 20' (4.9 m to 6.1 m)</p> <p>Adjacencies: adjacent to the Staff Vestibule (SA-05)</p> <p>Accessories: electrical outlets for large equipment and appliances, and on counter for small appliances – all on separate circuits; large capacity refuse containers; separate HVAC with controls in the space (Note: to include tables and chairs for 100 people; upper and lower kitchen-style cupboards and drawers; also provide space for large refrigerator, dishwasher, microwave, coffee machine, three vending machines, NIC)</p>		
<b>SA-10A &amp; B Men's Shops/Locker Washrooms (2)</b>	530 ft <sup>2</sup>	37.16 m <sup>2</sup>
<p>Description: two (2) separate washroom facilities (2 x 265 ft<sup>2</sup> or 2 x 24.6 m<sup>2</sup>) serving all male employees; final fixture totals to fit total employees per floor or per specific building zone</p> <p>Adjacencies: one washroom to be adjacent to Men's Lockers and Showers (SA-14) and in close proximity to the Lunch/Multi-purpose Room (SA-09); one easily accessible from garage/shop areas.</p> <p>Accessories: each with minimum three automatic flush toilets, three urinals and four sinks set in a continuous counter, continuous mirror over counter, as well as one accessible toilet with sink inside the stall and with all fittings and handrails as noted in the current edition of "Access: A Guide to Accessible Design for Designers, Builders, Facility Owners and Managers"; coat hooks and toilet paper dispensers in each toilet, liquid soap dispensers for each sink, paper towel dispenser, electric hand dryer, electric hair dryer, large capacity refuse container; fan and negative air pressure to control odours</p>		
<b>SA-11A &amp; B Women's Shops/Locker Washrooms (2)</b>	530 ft <sup>2</sup>	37.16 m <sup>2</sup>
<p>Description: two washroom facilities (2 x 265 ft<sup>2</sup> or 2 x 24.6 m<sup>2</sup>) for all female employees; final fixture totals to fit total employees per floor or per specific building zone</p> <p>Adjacencies: one washroom to be adjacent to Women's Lockers and Showers (SA-15) and in close proximity to the Lunch/Multi-purpose Room (SA-09); one easily accessible from garage/shop areas.</p> <p>Accessories: each with minimum four automatic flush toilets, and four sinks set in a continuous counter, continuous mirror over counter, as well as one accessible toilet with sink inside the stall and with all fittings and handrails as noted in the current edition of "Access: A Guide to Accessible Design for Designers, Builders, Facility Owners and Managers"; coat hooks and toilet paper dispensers in each toilet, liquid soap dispensers for each sink, paper towel dispenser, electric hand dryer, electric hair dryer, napkin/tampon dispenser and disposal, large capacity refuse container; fan and negative air pressure to control odours</p>		

<b>SA-12 First Aid Room/Nurse's Station</b>	125 ft <sup>2</sup>	11.61 m <sup>2</sup>
Description: enclosed space for First Aid treatment and emergency waiting		
Adjacencies: close to heated garage space		
Accessories: lockable first aid cabinet; small sink and refuse container (Note: room to include small table, chair and cot, NIC)		
<b>SA-13A &amp; B Housekeeping Supplies</b>	200 ft <sup>2</sup>	18.58 m <sup>2</sup>
Description: two separate spaces for storage of housekeeping supplies		
Adjacencies: centrally located, one near Staff Vestibule (SA-05); one per floor if two storey administrative area		
Accessories: lockable storage, shelving		
<b>SA-14 Men's Lockers and Showers</b>	2,250 ft <sup>2</sup>	92.90 m <sup>2</sup>
Description: lockers and showers for approximately 160 male employees		
Adjacencies: adjacent to one of the Men's Shop/Locker Washrooms (SA-10) with easy access to the Staff Vestibule (SA-05)		
Accessories: individual showers for 20, complete with drying area; 15" x 18" deep (375mm x 457mm) lockers with benches for 150, plus 10 larger lockers 18"x 18" deep (457mm x 457mm) for Bridge Operations; there are about 120 users in peak times; shaving sinks, sections of coat closets disbursed throughout the locker area for storage of seasonal clothing (Provide for wall-mounted hair dryers, NIC)		
Note: flexible demising wall between Men's and Women's Lockers and Showers (SA-14 and SA-15) to allow for future space adjustments		
<b>SA-15 Women's Lockers and Showers</b>	1,250 ft <sup>2</sup>	116.13 m <sup>2</sup>
Description: lockers and showers for approximately 80 female employees		
Adjacencies: adjacent to one of the Women's Shop/Locker Washrooms (SA-11) with easy access to the Staff Vestibule (SA-05)		
Accessories: individual showers for 2, complete with drying area; 15" x 18" deep (375mm x 457mm) lockers with benches for 76 people, plus 4 larger lockers 18"x 18" deep (457mm x 457mm); sinks with mirrors above, hair dryers, sections of coat closets disbursed throughout the locker area for storage of seasonal clothing (Provide for wall-mounted hair dryers, NIC)		
Note: flexible demising wall between Men's and Women's Lockers and Showers (SA-14 and SA-15) to allow for future space adjustments		
<b>SA-16 Laundry Room</b>	120 ft <sup>2</sup>	11.15 m <sup>2</sup>
Description: laundry area for work clothes, particularly IPM staff		
Adjacencies: adjacent to Men's and Women's Lockers and Showers (SA-14 and SA-15)		
Accessories: large covered hamper; heavy duty industrial washer and drier; hanging storage area for freshly laundered clothes		

<b>SA-17 Additional Training Room</b>	1,200 ft <sup>2</sup>	111.48 m <sup>2</sup>
<p>Description: enclosed classroom with partition to subdivide into two smaller spaces</p> <p>Adjacencies: adjacent to exit/secondary entrance, with access to Additional Truck Bay (SA-21)</p> <p>Accessories: upper and lower kitchen-style cupboards and drawers; electrical, data, telephone and computer outlets; separate HVAC system with controls in the space; roughed-in electrical and IT cabling for an ceiling-mounted overhead projector and motorized screen; four flush-mounted electrical outlets; access to an air compressor; movable screen to separate the space into two units (Note: to include tables and chairs for 60 students, white board, chalk board, bulletin board, NIC)</p>		
<b>SA-18 Additional Storage Space (Unfinished Space)</b>	520 ft <sup>2</sup>	48.31 m <sup>2</sup>
<p>Description: additional lockable room for storage</p> <p>Adjacencies: opening to the Additional Training Room (SA-18)</p> <p>Accessories: undeveloped, space for eight sections of 24" x 48" x 84" (610mm x 1220 mm x 2134mm) heavy-duty shelving and room for file cabinets</p>		
<b>SA-19 Additional Office Area (Unfinished Space)</b>	1,385 ft <sup>2</sup>	128.67 m <sup>2</sup>
<p>Description: additional office space, upper floor</p> <p>Adjacencies: adjacent to additional garage – direct stair access (SA-1)</p> <p>Accessories: undeveloped, space for 14 to 15 staff in offices and cubicles (partitions and cubicles NIC)</p>		
<b>SA-20 ELEC 1 – Main Floor Electrical Room</b>	as required	
<p>Description: space for electrical equipment and controls, unoccupied</p> <p>Adjacencies: central location on the main floor; close to Main Telecommunications Room (SA-22) but with sufficient separation to address EMI</p> <p>Accessories: thermostat, exhaust fan</p>		
<b>SA-21A MECH 1 – Mechanical Space</b>	+/- 500 ft <sup>2</sup> (46.45 m <sup>2</sup> ) or as required	
<p>Description: space for mechanical equipment, occupied by two people, intermittently; tempered environment; internal access; all ducting to be internal to building</p> <p>Adjacencies: adjacent to Mechanical Duct (SA-21B)</p> <p>Equipment: boiler, supply air units, make-up air units, temperature controls, exhaust fans, heat exchangers, pumps, floor drains (3), interior hose bib, air compressor and compressed air station, computer and telephone connections</p>		
<b>SA-21BMECH 2 – Mechanical Duct/Pipe Shaft</b>	as required	

**SA-22 TELE 1 – Main Telecommunications Room** as required

Description: space for electrical equipment and controls, occupied by two people, intermittently; tempered environment

Adjacencies: central location on the main floor; close to Main Floor Electrical Room (SA-20) but with sufficient separation to address EMI

Accessories: computer and telephone connections

**SA-23 Eye Wash** 10 ft<sup>2</sup> 0.93 m<sup>2</sup>

Description: small area for First Aid

Adjacencies: adjacent to Additional Truck Bay (SA-21)

Accessories: eyewash basin and faucet, and First Aid cabinet

Note: direct access from Additional Truck Bay area

**Summary – Shared Amenities: Administrative Component**

<b>Subtotal</b>	<b>12,580.0 ft<sup>2</sup></b>	<b>1,168.68 m<sup>2</sup></b>
<b>Gross-up @ 35%</b>	<b>4,403.0 ft<sup>2</sup></b>	<b>409.04 m<sup>2</sup></b>
<b>Total</b>	<b>16,983.0 ft<sup>2</sup></b>	<b>1,577.72 m<sup>2</sup></b>

## 5.4.2 SA Heated Garage Component

**SA-24 Additional Truck Bay (Unfinished Space)** 1,700 ft<sup>2</sup> 157.93 m<sup>2</sup>

Description: additional truck storage or general heated storage area

Adjacencies: close to Additional Training Room (SA-18)

Accessories: drainage pit, heavy-duty power garage door operator, insulated garage doors and electrical receptacles

**SA-25 Vehicle Wash Bay** 1,250 ft<sup>2</sup> 116.13 m<sup>2</sup>

Description: vehicle-wash station (car wash) with multiple wash/foamy brush/rinse/vacuum selections

Adjacencies: adjacent to Heavy Equipment Wash Station (SA-23)

Accessories: wash bay equipment, drainage pit, heavy duty power garage door operator, insulated garage door, additional low level luminaries at 5' (1.5 m) to illuminate vehicle undercarriage – separately controlled from general lighting

Note: include two (2) flow-through wash modules  
continuous heavy-duty concrete apron extending 25' (7.6 m) from overhead doors

**SA-26 Heavy Equipment Wash Bay** 1,250 ft<sup>2</sup> 116.13 m<sup>2</sup>

Description: heavy equipment wash station (car wash) with degreaser/wash/wax/rinse/vacuum selections

Adjacencies: adjacent to Vehicle Wash Bay (SA-22)

Accessories: wash bay equipment, drainage pit, heavy duty power garage door operator, insulated garage door, additional low level luminaries at 5' (1.5 m) to illuminate vehicle undercarriage – separately controlled from general lighting

Note: include two flow-through (2) wash modules  
continuous heavy-duty concrete apron extending 25' (7.6 m) from overhead doors

**SA-27 Dousing Shower** 10 ft<sup>2</sup> 0.93 m<sup>2</sup>

Description: emergency shower/wash facility  
 Adjacencies: exterior access to active area of yard  
 Accessories: dousing shower, soap dispenser, drying facilities

**Summary – Shared Amenities: Heated and Unheated Garage and Storage Components**

<b>Subtotal</b>	<b>4,210.0 ft<sup>2</sup></b>	<b>391.11 m<sup>2</sup></b>
<b>Gross-up @ 5%</b>	<b>210.5 ft<sup>2</sup></b>	<b>19.56 m<sup>2</sup></b>
<b>Total</b>	<b>4,420.5 ft<sup>2</sup></b>	<b>410.67 m<sup>2</sup></b>

## 5.4.3 Exterior Yard Components

**SA-28 Exterior Vehicle and Equipment Wash** 1,250 ft<sup>2</sup> 116.13 m<sup>2</sup>

Description: heavy-duty outdoor vehicle and equipment wash facility  
 Adjacencies: adjacent to indoor Vehicle Wash Bay (SA-17) and Heavy Equipment Wash Bay (SA-18)  
 Accessories: concrete pad, drain-away trench and exterior lighting

**SA-29 Additional Employee Parking** 1,500 ft<sup>2</sup> 139.4 m<sup>2</sup>

Description: main employee parking area (Area 6), outdoor parking for 5 staff, serviced  
 Adjacencies: close to the main employee access/egress points at start of shifts  
 Accessories: paved surface, parking fence, electrical receptacles, lighting, pavement markings for stalls, stall numbering and markings on fence, signage and landscaping as required  
 Notes: typical parking stalls to be 9 ft x 20 ft (2.7 m x 6.1 m)

**SA-30 Yard Marshalling Area**

Description: includes yard areas located south, east, and west of the main office garage building, within security gates and fencing, asphalt surfaced  
 Adjacencies: adjacent to garage/shop overhead doors for BO, CS, EA, SM and FM facilities part of overall SM-17  
 Accessories: mechanical sliding gates, security fencing, lighting, concrete aprons into garages and shops, some parking and line painting, hydrants, catch basins and manholes

**SA-31 General Landscaped Areas**

Description: includes buffer planting zones along public streets, and around parking and yard areas  
 Accessories: trees, shrubs and ground cover plantings

**SA-32 SRB and Swales**

Description: two naturalized stormwater retention basins on the west side of the main yard area, grassed swales leading to SRB (Stormwater Retention Basins)  
 Adjacencies: SRB south and west of the main SM Compound (Area 2), swales both peripheral to the yard and between major areas

Accessories: salt-tolerant wetland plantings in SRB and native grasses in swales

#### Summary – Shared Amenities: Exterior Yard Components

<b>Subtotal</b>	<b>2,750.0 ft<sup>2</sup></b>	<b>255.48 m<sup>2</sup></b>
<b>Gross-up @ 15%</b>	<b>412.5 ft<sup>2</sup></b>	<b>38.32 m<sup>2</sup></b>
<b>Total</b>	<b>3,162.5 ft<sup>2</sup></b>	<b>293.80 m<sup>2</sup></b>

#### Total requirements for Shared Amenities: Interior and Exterior Spaces

<b>Administrative</b>	<b>12,778.0 ft<sup>2</sup></b>	<b>1,187.05 m<sup>2</sup></b>
<b>Heated/Unheated Garage/Storage</b>	<b>4,420.5 ft<sup>2</sup></b>	<b>410.67 m<sup>2</sup></b>
<b>Exterior Yard</b>	<b>3,162.5 ft<sup>2</sup></b>	<b>293.80 m<sup>2</sup></b>
<b>Overall Total – Shared Amenities</b>	<b>20,361.0 ft<sup>2</sup></b>	<b>1,891.52 m<sup>2</sup></b>
	<b>0.47 acres</b>	<b>0.19 ha</b>

### 5.5 Component 1 - Public Works - Streets Maintenance Division – East Area (SM)

Total Staff: approx. 136 full-time and seasonal.

#### 5.6 SM Administrative Component

**SM-01 Foremen General Office Area** 1200 ft<sup>2</sup> 111.48 m<sup>2</sup>

Description: open office area comprising workstations/cubicles for 12 foremen  
 Adjacencies: exterior access and Indoor Heated Vehicle and Equipment Bays (SM-09)  
 Accessories: electrical, data and telephone outlets  
 (Note: each workstation/cubicle to include systems furnishings partitions, desk or modular work surface, chair, file pedestal, partition hung accessories to take various forms of files, NIC)  
 Note: to be located on main floor of the Administrative area

**SM-02 Clerical Office** 200 ft<sup>2</sup> 18.58 m<sup>2</sup>

Description: separate office area with two (2) clerical work stations/cubicles  
 Adjacencies: near Foremen General Office Area (SM-01) and other administrative office functions  
 Accessories: electrical, data and telephone outlets  
 (Note: each workstation/cubicle to include systems furnishings partitions, desk or modular work surface, chair, file pedestal, partition hung accessories to take various forms of files, NIC)

**SM-03 Regional Streets Inspectors Office** 125 ft<sup>2</sup> 11.61 m<sup>2</sup>

Description: separate office area for two (2) Regional Streets Inspectors  
 Adjacencies: near Clerical Office and Foremen General Office Area (SM-01)  
 Accessories: electrical, data and telephone outlets

(Note: each workstation/cubicle to include systems furnishings partitions, desks or modular work surface, chair, file pedestal, partition hung accessories to take various forms of files, NIC)

**SM-04 Streets Supervisor Office** 150 ft<sup>2</sup> 13.94 m<sup>2</sup>

Description: office for Streets Area Supervisor  
 Adjacencies: adjacent to Foremen General Office Area (SM-01) and other administrative offices  
 Accessories: electrical, data and telephone outlets  
 (Note: office to include desk or modular work surface, chair, file pedestal, accessories to take various forms of files, NIC)

**SM-05 Asset Manager Office** 100 ft<sup>2</sup> 9.29 m<sup>2</sup>

Description: office for Asset Manager  
 Adjacencies: adjacent to Streets Supervisor Office (SM-04) and near Foremen General Office Area (SM-01)  
 Accessories: electrical, data and telephone outlets  
 (Note: office to include desk or modular work surface, chair, file pedestal, accessories to take various forms of files, NIC)

**SM-06 Supplies Storage Room** 100 ft<sup>2</sup> 9.29 m<sup>2</sup>

Description: lockable room for storage of supplies and seasonal materials  
 Adjacencies: adjacent to main floor Photocopier Area (SA-06)  
 Accessories: five sections of 24" x 48" x 84" (610mm x 1220mm x 2134mm) high heavy-duty shelving

**SM-07 Small Tools Storage Room** 500 ft<sup>2</sup> 27.87 m<sup>2</sup>

Description: lockable room for storage of small tools  
 Adjacencies: in close proximity to Foremen General Office Area (SM-01)  
 Accessories: 25 sections of 24" x 48" x 84" (610mm x 1220mm x 2134mm) high heavy-duty shelving

**SM-08 File Storage Room** 150 ft<sup>2</sup> 13.94 m<sup>2</sup>

Description: lockable room for storage of files  
 Adjacencies: adjacent to main floor Photocopier Area (SA-06)  
 Accessories: (Note: storage room to include lateral or four-drawer file cabinets, NIC)

**Summary - Streets Maintenance Division – East Area: Administrative Component**

<b>Subtotal</b>	<b>2,525.0 ft<sup>2</sup></b>	<b>234.57 m<sup>2</sup></b>
<b>Gross-up @ 35%</b>	<b>883.8 ft<sup>2</sup></b>	<b>82.10 m<sup>2</sup></b>
<b>Total</b>	<b>3,408.8 ft<sup>2</sup></b>	<b>316.67 m<sup>2</sup></b>

5.6.1 SM Heated Garage Component

**SM-09 Indoor Heated Vehicle and Equipment Storage Bays** 30,000 ft<sup>2</sup> 2,787 m<sup>2</sup>

Description: heated garage bays with overhead doors  
 Adjacencies: near Foremen General Office Area (SM-01)  
 Accessories: drainage pit, heavy-duty power garage door operator  
 includes motor oil storage area  
 Notes: design to accommodate equipment listed below (Equipment List SM-09)  
 continuous concrete apron extending 25' (7.6 m) in front of all overhead doors  
 two or three pumps and hoses to provide compressed air for tire maintenance; hoses to  
 cover 50' (15.3 m) radius  
 CO and NO<sub>x</sub> monitoring equipment

**Vehicle and Equipment List (SM-09)**

No.	Type	Size		
		Length (ft)	Width (ft)	Area (ea) (ft <sup>2</sup> )
4	Motor graders (CAT 143H)	39.0	13	507
2	Rubber tired front end loaders (c/w blower)	30.5	9.5	290
3	Rubber tired front end loaders	24.0	8.5	204
12	T/A sand spreaders (400-4201)	34.0	12.0	420
6	S/A truck plows (271-2723)	20.5	12.5	256
2	Fastrac tractor c/w plow	25.6	12.5	320
4	Sidewalk plows (Bombardier)	13.0	4.5	59
4	Sidewalk plows (trackless, c/w sander)	28.0	5.0	140
6	Crew trucks (207-2475)	23.0	9.0	207
1	S/A truck loaded with coal asphalt mix (271-2723)	23.0	9.0	207
1	S/A truck, saw trailer	41.0	9.5	207
2	Rubber tired loader-mountable snow blowers			
1	Flusher/anti-icing truck (tandem)	35.0	12.0	420
1	Asphalt transporter (single axel)	41.0	9.5	390

**SM-10 Eye Wash** 10 ft<sup>2</sup> 0.93 m<sup>2</sup>

Description: small area for First Aid  
 Adjacencies: adjacent to Indoor Heated Vehicle and Equipment Storage Bays (SM-09)  
 Accessories: eyewash basin and faucet, and First Aid cabinet

**SM-11 ELEC 3 – Sub Electrical Room B** Area as required

Description: small area for electrical equipment, unoccupied  
 Adjacencies: locate in the vicinity of 'gridlines M-N' on drawing A-1 (Main Office & Garage Bldg: Schematic Design Drawing - Floor Plans); close to the Sub Telecommunications Room B, but with sufficient separation to address EMI  
 Accessories: thermostat, exhaust fan

**SM-12 TELE 3 - Sub Telecommunications Room B** Area as required

Description: small area for telecommunications equipment and controls, occupied intermittently  
 Adjacencies: locate in the vicinity of 'gridlines M-N' on drawing A-1 (Main Office & Garage Bldg: Schematic Design Drawing - Floor Plans); close to the Sub Electrical Room B, but with sufficient separation to address EMI  
 Accessories: card access control, intrusion detection, thermostat, separate A/C

5.6.2 SM Unheated Garage/Storage Component

**SM-13 Unheated Storage Area** 13,600 ft<sup>2</sup> 1263.44 m<sup>2</sup>

Description: eight (8) unheated bays with overhead doors (stand alone structure)  
 Adjacencies: inside secure area, convenient access for field staff  
 Accessories: overhead door access  
 Notes: within Storage Compound (SM-17)  
 storage of concrete forms, screeds, curing compound, signage etc.  
 design to accommodate equipment listed below:

Equipment: Type:  
 8 high-pressure steamers  
 2 air compressors  
 2 street flushers  
 2 steel drum rollers  
 2 large concrete saws

Summary - Streets Maintenance Division – East Area: Heated and Unheated Garage and Storage Components		
<b>Subtotal</b>	<b>43,610.0 ft<sup>2</sup></b>	<b>4,051.37 m<sup>2</sup></b>
<b>Gross-up @ 5%</b>	<b>2,180.5 ft<sup>2</sup></b>	<b>202.57 m<sup>2</sup></b>
<b>Total</b>	<b>45,790.5 ft<sup>2</sup></b>	<b>4,253.94 m<sup>2</sup></b>

5.6.3 SM Exterior Yard Components

**SM-14 Foremen/Office Staff Parking Area** 4,800 ft<sup>2</sup> 445.92 m<sup>2</sup>

Description: outdoor parking for 16 foremen and office staff  
 Adjacencies: close to administrative offices  
 Accessories: permeable pavement, parking fence, electrical receptacles, low-mast LED lighting, pavement markings for stalls, stall numbering and markings on fence, signage and landscaping as required  
 Notes: include one extra-wide handicap stall with appropriate signage, 12' x 20' (3.6 m x 6.1 m)  
 typical employee parking stalls to be 9' x 20' (2.7 m x 6.1 m)

**SM-15 General Employee and Visitor Parking** 24,000 ft<sup>2</sup> 2229.60 m<sup>2</sup>

Description: outdoor scramble parking for 75 employees and 5 visitors  
 Adjacencies: close to the accesses/egresses that employees use at the start of their shifts; visitor parking close to the main office entry

Accessories: permeable pavement, parking fence, electrical receptacles, low-mast LED lighting, pavement markings for stalls, stall numbering and markings on fence, signage and landscaping as required

Notes: include three (3) extra-wide handicap stalls with signage two as per SM-14 above and one 16' x 20' (4.9 m x 6.1 m) half striped for side loading; visitor parking signage typical employee parking stalls to be 9' x 20' (2.7 m x 6.1 m)

**SM-16 Vehicle and Equipment Parking** 5,400 ft<sup>2</sup> 501.66 m<sup>2</sup>

Description: outdoor parking/storage for various Streets Maintenance vehicles and equipment: 10 larger stalls

Adjacencies: close proximity to main building within secure storage compound, near Storage Compound (SM-17)

Accessories: paved surface, parking fence, high-mast metal halide lighting, pavement markings for stalls, stall numbering and markings on fence, electrical outlets installed at higher than hood-height, landscaping as required

Notes: typical vehicle and equipment parking stalls to be 12' x 30' (3.67 m x 9.15 m)

**SM-17 Storage Compound** 435,600 ft<sup>2</sup> 40,467.24 m<sup>2</sup>

Description: outdoor storage of materials, and vehicle and equipment staging and loading areas (Areas 2 and 4)

Adjacencies: close proximity to heated and unheated garage/storage components

Accessories: some paved surfaces, some granular surfaces, security gates and fencing, high-mast metal halide lighting, materials storage bins, materials stockpiles, smaller unheated storage facilities,

Notes: includes Unheated Storage Building for Streets Maintenance (SM-11)  
includes paved Marshalling Area for City and Contractor equipment (SA-30), and two major entrances/egresses (with concrete approaches) off Thomas Avenue, complete with motorized sliding security gates  
includes refuse/dumpster and dust collector areas  
adjacent to Vehicle and Equipment Parking (SM-16) and Vehicle & Equipment Storage and Access for the WFMA Shop (FM-04)  
graders have 30' (9.15 m) turning radii

**SM-18 Future Sand and Salt Yard (Undeveloped)**

Description: undeveloped area on the east side of the site with direct access to Thomas Avenue, providing sufficient area for a Sand & Salt Storage Building, some materials storage, and vehicle and equipment staging and loading areas

Adjacencies: direct access to Thomas Avenue

Accessories: rough landscaping using hardy/native plant materials, drainage to swales to the east, west and south

Notes: (including space for a future salt-sand storage building of approx. 28,000 ft<sup>2</sup> (2601.2 m<sup>2</sup>) NIC)

**Summary - Streets Maintenance Division – East Area: Exterior Yard Components**

<b>Subtotal</b>	<b>469,800.0 ft<sup>2</sup></b>	<b>43,644.42 m<sup>2</sup></b>
<b>Gross-up @ 15%</b>	<b>70,470.0 ft<sup>2</sup></b>	<b>6,546.66 m<sup>2</sup></b>
<b>Total</b>	<b>540,270.0 ft<sup>2</sup></b>	<b>50,191.08 m<sup>2</sup></b>

**Total requirements for Streets Maintenance Division – East Area: Interior and Exterior Spaces (including Gross-up)**

<b>Administrative</b>	<b>3,408.8 ft<sup>2</sup></b>	<b>316.67 m<sup>2</sup></b>
<b>Heated/Unheated Garage/Storage</b>	<b>45,790.5 ft<sup>2</sup></b>	<b>4,253.94 m<sup>2</sup></b>
<b>Exterior Yard</b>	<b>540,270.0 ft<sup>2</sup></b>	<b>50,191.08 m<sup>2</sup></b>
<b>Overall Total - Streets Maintenance</b>	<b>589,469.3 ft<sup>2</sup></b>	<b>54,761.69 m<sup>2</sup></b>
	<b>13.53 acres</b>	<b>5.48 ha</b>

**5.7 Component 7 - Fleet Management Agency (FM)**

Total Staff: estimated, 9

**5.7.1 Heated Shop and Office Component****FM-01 Shop and Office** 8,571 ft<sup>2</sup> 796.25 m<sup>2</sup>

Description: a three-bay Shop/Office Facility – Winnipeg Fleet Management Agency separate program  
 Adjacencies: adjacent to west end of the Public Works Heated Garage and Storage Component  
 Accessories: to be determined by Winnipeg Fleet Management Agency (WFMA)  
 Notes: assume development of building shell only  
 90' x 100' (27.4 m x 30.1 m) gross area

**5.7.2 Unheated Garage and Storage Component****FM-02 Tire/Miscellaneous Storage Shed** 1,200 ft<sup>2</sup> 111.48 m<sup>2</sup>

Description: unheated and non-contiguous storage structure suitable for tire and miscellaneous parts storage  
 Adjacencies: near WFMA Shop and Office Component  
 Accessories: to be determined by WFMA  
 Notes: assume developed independently by WFMA  
 provide suitable location and space

**Summary – Fleet Management Agency: Heated and Unheated Garage and Storage Components**

<b>Subtotal</b>	<b>9,771.0 ft<sup>2</sup></b>	<b>907.73 m<sup>2</sup></b>
<b>Gross-up @ 5%</b>	<b>488.6 ft<sup>2</sup></b>	<b>45.39 m<sup>2</sup></b>
<b>Total</b>	<b>10,259.6 ft<sup>2</sup></b>	<b>953.12 m<sup>2</sup></b>

## 5.7.3 Exterior Yard Components

<b>FM-03 Employee Parking</b>	3,000 ft <sup>2</sup>	278.70 m <sup>2</sup>
Description:	outdoor parking for 10 staff and visitors, serviced	
Adjacencies:	main employee parking lot (Area 6), close to the WFMA Shop and Office employee access/egress points at start of shifts	
Accessories:	permeable paving, parking fence, electrical receptacles, low-mast LED lighting, pavement markings for stalls, stall numbering and markings on parking fence, signage and landscaping as required, infiltration trench	
Notes:	include 1 extra-wide handicap stall, 12'x 20' (3.6 m x 6.1 m) with signage typical employee parking stalls - 9' x 20' (2.7m x 6.1 m)	
<b>FM-04 Yard Space for Vehicle &amp; Equipment Storage and Access</b>	7,650 ft <sup>2</sup>	710.69 m <sup>2</sup>
Description:	staging area for 10 larger vehicles in SA-30, Yard Marshalling Area.	
Adjacencies:	opposite the WFMA Shop and Office (FM-1)	
Accessories:	to be determined by WFMA	
<b>FM-05 Other Areas (Undeveloped)</b>	77,180 ft <sup>2</sup>	7,170.00 m <sup>2</sup>
Description:	undeveloped area (Area 7), including land adjacent to the Shop and Office to the east 164' x 90' (50 m x 27.4 m), and land fronting Thomas Avenue, east of main employee parking lot, outside Public Works Yard security gates and fencing 380' x 164' (116 m x 50 m)	
Adjacencies:	part adjacent to the WFMA Shop and Office Component (FM-01) part with direct access to Thomas Avenue	
Accessories:	to be determined by WFMA, temporary rough seeding	
Note:	independent development by WFMA potential for additional storage (5 stalls) to the east of the WFMA Shop and Office (Area 7)	

**Summary – Winnipeg Fleet Management Agency: Exterior Yard Components**

<b>Subtotal</b>	<b>87,830.0 ft<sup>2</sup></b>	<b>8,159.40 m<sup>2</sup></b>
<b>Gross-up @ 15%</b>	<b>13,174.5 ft<sup>2</sup></b>	<b>1,223.91 m<sup>2</sup></b>
<b>Total</b>	<b>101,004.5 ft<sup>2</sup></b>	<b>9,383.31 m<sup>2</sup></b>

**Total requirements for WFMA: Interior and Exterior Spaces**

<b>Heated/Unheated Garage/Storage</b>	<b>10,259.6 ft<sup>2</sup></b>	<b>953.12 m<sup>2</sup></b>
<b>Exterior Yard</b>	<b>101,004.5 ft<sup>2</sup></b>	<b>9,383.31 m<sup>2</sup></b>
<b>Overall Total – WFMA</b>	<b>111,264.1 ft<sup>2</sup></b>	<b>10,336.43 m<sup>2</sup></b>
	<b>2.57 acres</b>	<b>1.04 ha</b>

**Appendix B2**  
**Room Data Sheets**

## BRIDGE OPERATIONS

BO 01 - BRIDGE OPERATIONS OFFICE  
BO 02 - BRIDGE OPERATIONS WORK AREA  
BO 03 - BRIDGE CRANE BAY  
BO 04 - EYE WASH  
BO 05 - UNHEATED STORAGE SHED  
BO 06 - EMPLOYEE AND VISITOR PARKING AREA  
BO 07 - STORAGE COMPOUND

## CENTRALIZED SERVICES (PARKS )

CS 01 - FOREMAN II OFFICE  
CS 02 - UTILITY IV/FOREMAN I OFFICE  
CS 03 - UTILITY IV OFFICE AREA  
CS 04 - UTILITY II OFFICE  
CS 05 - SHARED FILES STORAGE  
CS 06 - OFFICE SUPPORT  
CS 07 - EYE WASH  
CS 08 - WEED INSPECTORS OFFICE  
CS 09 - VEHICLE AND EQUIPMENT STORAGE BAY  
CS 10 - WOODWORK SHOP  
CS 11 - SMALL TOOL STORAGE AREA  
CS 12 - SMALL TOOL STORAGE - IPM SERVICES  
CS 13 - UNHEATED STORAGE AREA  
CS 14 - IPM STORAGE AREA  
CS 15 - EMPLOYEE AND VISITOR PARKING AREA  
CS 16 - VEHICLE AND EQUIPMENT PARKING  
CS 17 - STORAGE COMPOUND

## EAST AREA PARKS

EA 01 - FOREMAN 1/TECHNICIAN OFFICE  
EA 02 - SENIOR FOREMAN OFFICE  
EA 03 - SMALL TOOLS STORAGE BAY  
EA 04 - GRASS SEED AND FERTILIZER STORAGE  
EA 05 - SITE REPAIR SHOP  
EA 06 - EYE WASH  
EA 07 - ELEC 2 - SUB ELECTRICAL ROOM A  
EA 08 - TELE 2 - SUB TELECOMMUNICATION ROOM A  
EA 09 - UNHEATED STORAGE AREA  
EA 10 - EMPLOYEE AND VISITOR PARKING AREA  
EA 11 - VEHICLE AND EQUIPMENT PARKING  
EA 12 - STORAGE COMPOUND

## SHARED AMENITIES

SA 01 - FRONT VESTIBULE  
SA 02 - GENERAL WAITING  
SA 03 - RECEPTION/SERVICE COUNTER  
SA 04A - MALE PUBLIC/OFFICE WASHROOM (MAIN FLOOR)  
SA 04B - FEMALE PUBLIC/OFFICE WASHROOM (MAIN FLOOR)  
SA 04C - MALE PUBLIC/OFFICE WASHROOM (SECOND FLOOR)  
SA 04D - FEMALE PUBLIC/OFFICE WASHROOM (SECOND FLOOR)  
SA 05 - STAFF VESTIBULE  
SA 06A - PHOTOCOPIER 1  
SA 06B - PHOTOCOPIER 2  
SA 07A - LARGE MEETING 1  
SA 07B - LARGE MEETING 2  
SA 08 - SMALL MEETING ROOM

SA 09 - LUNCH/MULTI-PURPOSE ROOM  
SA 10A - MEN'S SHOPS - LOCKER WASHROOMS 1  
SA 10B - MEN'S SHOPS - LOCKER WASHROOMS 2  
SA 11A - WOMEN'S SHOPS - LOCKER WASHROOMS 1  
SA 11B - WOMEN'S SHOPS - LOCKER WASHROOMS 2  
SA 12 - FIRST AID ROOM/NURSE'S STATION  
SA 13A - HOUSEKEEPING SUPPLIES 1  
SA 13B - HOUSEKEEPING SUPPLIES 2  
SA 14 - MEN'S LOCKERS AND SHOWERS  
SA 15 - WOMEN'S LOCKERS AND SHOWERS  
SA 16 - LAUNDRY ROOM  
SA 17 - ADDITIONAL TRAINING ROOM  
SA 18 - ADDITIONAL STORAGE SPACE (UNFINISHED SPACE)  
SA 19 - ADDITIONAL OFFICE AREA (UNFINISHED SPACE)  
SA 20 - (ELEC 1) - MAIN ELECTRICAL ROOM  
SA 21A - (MECH-1) - MECHANICAL ROOM  
SA 21B - (MECH-2) - MECHANICAL DUCT/PIPE SHAFT  
SA 22 - (TELE 1) - MAIN TELECOM ROOM  
SA 23 - EYE WASH  
SA 24 - ADDITIONAL TRUCK BAY  
SA 25 - VEHICLE WASH BAY  
SA 26 - HEAVY EQUIPMENT WASH BAY  
SA 27 - DOUSING SHOWER  
SA 28 - EXTERIOR VEHICLE AND EQUIPMENT WASH  
SA 29 - ADDITIONAL EMPLOYEE PARKING  
SA 30 - YARD MARSHALING AREA  
SA 31 - GENERAL LANDSCAPED AREAS  
SA 32 - SRB AND SWALES

#### STREETS MAINTENANCE

SM 01 - FOREMEN GENERAL OFFICE  
SM 02 - CLERICAL OFFICE  
SM 03 - REGIONAL STREETS INSPECTORS OFFICE  
SM 04 - STREETS SUPERVISOR OFFICE  
SM 05 - ASSET MANAGER OFFICE  
SM 06 - SUPPLIES STORAGE ROOM  
SM 07 - SMALL TOOLS STORAGE ROOM  
SM 08 - FILE STORAGE ROOM  
SM 09 - INDOOR HEATED VEHICLE AND EQUIPMENT STORAGE BAYS  
SM 10 - EYE WASH  
SM 11 - (ELEC 3) - SUB ELECTRICAL ROOM B  
SM 12 - (TELE 3) - SUB TELECOMMUNICATION ROOM B  
SM 13 - UNHEATED STORAGE AREA  
SM 14 - FOREMEN/OFFICE STAFF PARKING AREA  
SM 15 - GENERAL EMPLOYEE AND VISITOR PARKING  
SM 16 - VEHICLE AND EQUIPMENT PARKING  
SM 17 - STORAGE COMPOUND  
SM 18 - FUTURE SAND AND SALT YARD

#### FLEET MANAGEMENT

FM 01 - SHOP AND OFFICE  
FM 02 - TIRE/MISCELLANEOUS STORAGE  
FM 03 - EMPLOYEE PARKING  
FM 04 - YARD SPACE FOR VEHICLE AND EQUIPMENT STORAGE AND ACCESS  
FM 05 - OTHER AREAS (UNDEVELOPED)

ROOM DATA SHEET GLOSSARY

CAT.	ITEM	DESCRIPTION	ACRONYM	DEFINITION
FINISHES	Wall	Area partition type	CBP	Concrete Block partitions
			CONC	Concrete
			DW/PT	Drywall - Paint
			DW/CT	Drywall - Ceramic Tile
	Base	Floor foundation system	CT	Ceramic Tile
			CONC	Concrete Cast-in-Place floor slab
			VB	Vinyl Base
			VCB	Vinyl Cove Base
	Floor	Floor finish system	CONC	Concrete
			CT	Ceramic Tile
			CPT	Carpet
			SV	Sheet Vinyl
	Ceiling	Ceiling finish system	ACT	Acoustic Panel
DW			Drywall	
DW/ACT			Acoustic Drywall	

CAT.	ITEM	DESCRIPTION	ACRONYM	DEFINITION
DOOR	Type		HM/ALU	Hollow Metal - Aluminum
			HM/ST	Hollow Metal - Steel
			WOOD	Wood
	Finish		ANO	Anodized
			PT	Paint
			STAIN	Stained

CAT.	ITEM	DESCRIPTION	ACRONYM	DEFINITION
SECURITY DOOR SET MILLWORK LOCKS	Doorset		LS	Lock Set
			PP	Push-Pull
			PS	Passage Set

CAT.	ITEM	DESCRIPTION	ACRONYM	DEFINITION
ACOUSTICS	Wall SCT	i.e. 45	STC	Sound Transmission Class

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	BRIDGE OPERATIONS
Component (Floor)	BO ADMINISTRATION (2nd)

**BRIDGE OPERATIONS OFFICE**

Room #	BO 01
--------	-------

Area SM	11.2
Area SF	120

Rating:	
Occ Load	4 Adults Peak
	2 Adults Continuous
Outside View	Y
Natural Light	Y

**Finishes**

Wall	DW/PT
Base	VCB
Floor	SV
Ceiling	ACT
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	Y
Sidelite	

**HVAC**

Supply Air	Y
Air Conditioning	Y
Thermostat	Y
Make-Up Air	
Separate A/C	
Exhaust Fan	
Humidified	Y
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
NOx Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
------------------	--

**Millwork**

Counter	
Credenza	
Lower cabinet	
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	45
Door Sealing	

**Electronic Equipment**

Computer/Telephone	Y (3)
Wall Telephone	
Photocopier	
Network Printer	Y
Facsimile	Y
Two-Way Radio Base	
Television	
Wall Clock	Y
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

Additional Comments:

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	BRIDGE OPERATIONS
Component	BO HEATED GARAGE

**WORK AREA**

Rating:	
Occ Load	4 Adults Continuous
Outside View	
Natural Light	Y

Room #	BO 02
--------	-------

Area SM	473.8
Area SF	5,100

<b>Finishes</b> Wall <input type="checkbox"/> CONC Base <input type="checkbox"/> CONC Floor <input type="checkbox"/> CONC Ceiling <input type="checkbox"/> METAL Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Y Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Y Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> Y CO Monitoring <input type="checkbox"/> Y VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Y Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Y Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Y Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Y (4) Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> Grit separator to be open pit with grating cover in room. Space pressure to be negative with respect to adjacent spaces.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	BRIDGE OPERATIONS
Component	BO HEATED GARAGE

**BRIDGE CRANE BAY**

Room #	BO 03
--------	-------

Area SM	157.9
Area SF	1,700

Rating:	
Occ Load	3 Adults Continuous
Outside View	
Natural Light	Y

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Y Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y Air Conditioning _____ Thermostat _____ Y Make-Up Air _____ Y Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ Y NOx Control _____ Y CO Monitoring _____ Y VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Mop Sink _____ Floor Drain _____ Y Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Y Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Y (2 wands) Air Compressor _____ Wash Water Treat. _____	
				<b>Other</b> Compress Air St. _____ Y (1) Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____	
<p><b>Additional Comments:</b> Grit separator to be open pit with grating cover in room. Provide 40' concrete apron at overhead doors.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	<b>BRIDGE OPERATIONS</b>
Component	<b>BO HEATED GARAGE</b>

**EYE WASH**

Rating:	
Occ Load	1 Adult intermittent
Outside View	
Natural Light	

Room #	BO 04
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Area SM	0.93
Area SF	10

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____ Y (1)</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____ Y (1)</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
<p><b>Additional Comments:</b> First aid cabinet.</p>		
<p>Refer to Program of Requirements for additional commentary.</p>		

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	BRIDGE OPERATIONS
Component	BO UNHEATED GARAGE/STORAGE

**UNHEATED STORAGE SHED**

Room #	BO 05
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Area SM	55.7
Area SF	600

Rating:	
Occ Load	2 Adults intermittent
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____ CONC</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____ Y</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NO<sub>x</sub> Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____ Y</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p> <p><b>Electrical Outbuilding</b></p> <p>Lighting Required _____ Y</p> <p>Electrical Required _____ Y</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
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**Additional Comments:** Stand alone outbuilding located in Bridge Operations Yard. 10' overhead door

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	BRIDGE OPERATIONS
Component	BO PARKING

**EMPLOYEE & VISITOR PARKING AREA**

Room #	BO-06
Yard Area #	

Area SM	278.7
Area SF	3,000

LEED	

<p><b>Base Course (Depth)</b></p> <table border="1"> <tr><td>Subbase 450 - 150 mm</td><td></td></tr> <tr><td>Subbase 425 - 150 mm</td><td></td></tr> <tr><td>Base 300 - 150mm Down</td><td></td></tr> <tr><td>Base 150 - 50 mm Down</td><td>CLEAN</td></tr> <tr><td>Base 300 - 50 mm Down</td><td></td></tr> <tr><td>Base 200 - 20 mm Down</td><td></td></tr> <tr><td>Base 100 - 20 mm Down</td><td>CLEAN</td></tr> <tr><td>Base 75 - 20 mm Down</td><td></td></tr> <tr><td>Base 50 - 20mm Down</td><td></td></tr> <tr><td>Bedding Sand 50</td><td></td></tr> <tr><td>Geotextile</td><td>Y</td></tr> <tr><td>Compacted Subbase</td><td></td></tr> <tr><td>Bedding 6.5mm</td><td>Y</td></tr> </table> <p><b>Surfacing Materials (Type)</b></p> <table border="1"> <tr><td>Asphalt 100 mm</td><td></td></tr> <tr><td>Concrete Apron 200 mm</td><td></td></tr> <tr><td>Conc. Sidewalk/Bulnose</td><td>Y</td></tr> <tr><td>Granular 150 - 50mm Down</td><td></td></tr> <tr><td>Granular 125 - 20mm Down</td><td></td></tr> <tr><td>Paving Stone 75mm</td><td>Y</td></tr> <tr><td>Permeable Pavers</td><td>Y</td></tr> </table> <p><b>Features</b></p> <table border="1"> <tr><td>Curbing</td><td></td></tr> <tr><td>Parking Stalls</td><td>Y (10)</td></tr> <tr><td>Parking Lot Screen Fence</td><td>Y</td></tr> <tr><td>Gravel Road/Yard</td><td></td></tr> <tr><td>Light Duty Yard</td><td></td></tr> <tr><td>Conc. Storage Bunkers</td><td></td></tr> <tr><td>Mtl's Stockpiles</td><td></td></tr> <tr><td>Directional Signage</td><td>Y</td></tr> </table>	Subbase 450 - 150 mm		Subbase 425 - 150 mm		Base 300 - 150mm Down		Base 150 - 50 mm Down	CLEAN	Base 300 - 50 mm Down		Base 200 - 20 mm Down		Base 100 - 20 mm Down	CLEAN	Base 75 - 20 mm Down		Base 50 - 20mm Down		Bedding Sand 50		Geotextile	Y	Compacted Subbase		Bedding 6.5mm	Y	Asphalt 100 mm		Concrete Apron 200 mm		Conc. 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Refueling</td><td></td></tr> <tr><td>Fut. Sand/Salt</td><td></td></tr> <tr><td>Vehicle Wash</td><td></td></tr> <tr><td>Air Compressor</td><td></td></tr> </table> <p><b>Buildings</b></p> <table border="1"> <tr><td>Storage Bldg</td><td></td></tr> <tr><td>Storage Shed</td><td></td></tr> <tr><td>Main</td><td></td></tr> </table>	Sod	Y	Rough Seed		Lake Slopes		Planting Beds 300mm Soil	Y	Wood Chip Mulch 75mm	Y	Trees	Y	Shrubs	Y	Ground Cover		Benches	Y	Waste Receptacles	Y	Bicycle Storage	Y	Bollards	Y	Picnic Benches		Marshalling		Circulation		Employee Parking 2.7x6	Y	Truck Parking 3x12		Materials Storage		Equipment Storage		Tire Storage		Fut. Refueling		Fut. Sand/Salt		Vehicle Wash		Air Compressor		Storage Bldg		Storage Shed		Main	
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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	Bridge Operations
<b>Component</b>	BO YARD

**STORAGE COMPOUND**

	<b>LEED</b>	Permeable surface
		LED lighting
		Recycled steel fencing

<b>Room #</b>	BO 07
---------------	-------

<b>Area SM</b>	8,361
<b>Area SF</b>	90,000

<b>Base Course (Depth)</b>	
Subbase 450 -150 mm	Y
Subbase 425 -150 mm	
Base 300 - 150mm Down	
Base 150 - 50 mm Down	
Base 300 - 50 mm Down	Y(LD)
Base 200 - 20 mm Down	
Base 100 - 20 mm Down	
Base 75 - 20 mm Down	
Base 50 - 20mm Down	
Bedding Sand 50	
Geotextile	Y
Compacted Subbase	Y

<b>Surfacing Materials (Type)</b>	
Asphalt Yard 100 mm	
Concrete Apron 200 mm	
Conc. Sidewalk/Bulnose	
Granular 150 - 50mm Dow	Y(LD)
Granular 125 - 20mm Dow	Y
Paving Stone 75mm	
Permeable Pavers	

<b>Features</b>	
Curbing	
Parking Lot Screen Fence	
Gravel Road/Yard	Y
Light Duty Yard	Y(LD)
Stor'g Bunkers	
Mtl's Stockpiles	
Directional Signage	

<b>Electrical</b>	
Lighting Type	Yard
Poles	
Luminaires	
Plug-ins	
Building Service	Y
Signage Lighting	

<b>Security</b>	
Fencing - External	Y
Fencing - Internal	Y
Gates - Vehicle	Y(2)
Gates - People	
Card Access Control	
Arm/Disarm Keypa	
CCTV Camera	

<b>UG Servicing</b>	
Water Line	
Wastewater Sewer	
Land Drainage Sewer	Y
Fire Hydrant	
Catchbasin	
Catchbasin Lead	
Manhole	Y
Vent Pipe	Y
Swale	
SRB Wetland	
Infiltrat'n Trench	
Hose Bibb	
Grit Separator	
Oil/Water Separator	

<b>Landscaping</b>	
Sod	
Rough Seed	
Lake Slopes	
Planting Beds 300mm Soil	
Wood Chip Mulch 75mm	
Trees	
Shrubs	
Ground Cover	
Benches	
Waste Receptacles	
Bicycle Storage	
Bollards	
Picnic Benches	

<b>Use</b>	
Marshalling	
Circulation	Y
Employee Parking 2.7x6	
Truck Parking 3x12	
Materials Storage	Y(LD)
Equipment Storage	
Tire Storage	
Fut. Refueling	
Fut. Sand/Salt	
Vehicle Wash	
Air Compressor	

<b>Buildings</b>	
Storage Bldg	
Small Shed	Y(BO 05)
Main	

**Additional Comments:** LD - "Light Duty" areas where base and surface materials only 450mm depth.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component (Floor)	CS ADMINISTRATIVE (2nd)

**FOREMAN II OFFICE**

Room #	CS 01
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Area SM	11.2
Area SF	120

Rating:	
Occ Load	1 Adult continuous 2 Adults peak
Outside View	
Natural Light	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> 24 LF Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (2) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: Owner will provide one (1) workstation; 24 LF counter (30" wide 36" height)					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component (Floor)	CS ADMINISTRATIVE (2nd)

**UTILITY IV / FOREMAN I OFFICE**

Room #	CS 02
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Area SM	9.3
Area SF	100

Rating:	
Occ Load	1 Adult continuous 2 Adults intermittent
Outside View	
Natural Light	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (2) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: Owner will provide one (1) workstation.					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	CENTRALIZED PARKS
<b>Component (Floor)</b>	CS ADMINISTRATIVE (2nd)

**UTILITY IV OFFICE AREA**

<b>Room #</b>	CS 03
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<b>Area SM</b>	31.6
<b>Area SF</b>	340

<b>Rating:</b>	
<b>Occ Load</b>	4 Adults continuous 6 Adults peak
<b>Outside View</b>	
<b>Natural Light</b>	Y

**Finishes**

Wall	DW/PT
Base	VCB
Floor	SV
Ceiling	ACT
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	Y
Sidelite	

**HVAC**

Supply Air	Y
Air Conditioning	Y
Thermostat	Y
Make-Up Air	
Separate A/C	
Exhaust Fan	
Humidified	Y
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
NOx Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
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**Millwork**

Counter	
Credenza	
Lower cabinet	
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	45
Door Sealing	

**Electronic Equipment**

Computer/Telephone	Y (6)
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	
Wall Clock	
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

**Additional Comments:** The Owner will provide four (4) workstations.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>CENTRALIZED PARKS</b>
<b>Component (Floor)</b>	<b>CS ADMINISTRATIVE (2nd)</b>

**UTILITY II OFFICE**

<b>Room #</b>	<b>CS 04</b>
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<b>Area SM</b>	<b>9.3</b>
<b>Area SF</b>	<b>100</b>

<b>Rating:</b>	
<b>Occ Load</b>	1 Adult continuous 2 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (2) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<b>Additional Comments:</b> The Owner will provide one (1) workstations. <div style="border: 1px solid black; height: 20px; width: 100%;"></div>					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component (Floor)	CS ADMINISTRATIVE (2nd)

**SHARED FILES STORAGE**

Rating:	
Occ Load	1 Adult intermittent
Outside View	
Natural Light	

Room #	CS 05
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Area SM	7.4
Area SF	80

<b>Finishes</b> Wall <table border="1"><tr><td>DW/PT</td></tr></table> Base <table border="1"><tr><td>VCB</td></tr></table> Floor <table border="1"><tr><td>SV</td></tr></table> Ceiling <table border="1"><tr><td>ACT</td></tr></table> Window Treatment <table border="1"><tr><td></td></tr></table>		DW/PT	VCB	SV	ACT		<b>Millwork</b> Counter <table border="1"><tr><td></td></tr></table> Credenza <table border="1"><tr><td></td></tr></table> Lower cabinet <table border="1"><tr><td></td></tr></table> Upper cabinet <table border="1"><tr><td></td></tr></table> Shelving Unit <table border="1"><tr><td></td></tr></table> Shelves <table border="1"><tr><td></td></tr></table>								<b>Acoustics</b> Wall STC <table border="1"><tr><td>45</td></tr></table> Door Sealing <table border="1"><tr><td></td></tr></table>		45																																			
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**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>CENTRALIZED PARKS</b>
<b>Component (Floor)</b>	<b>CS ADMINISTRATIVE (2nd)</b>

**OFFICE SUPPORT**

<b>Room #</b>	<b>CS 06</b>
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<b>Area SM</b>	<b>11.2</b>
<b>Area SF</b>	<b>120</b>

<b>Rating:</b>	
<b>Occ Load</b>	1 Adult continuous 2 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (3) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Y (1) Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Y (1) Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Y Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> Y CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> The Owner will provide one (1) workstation. Space pressure to be negative in relation to surrounding spaces. Photocopier. Fax machine. Fume extraction over copiers/fax</p>					
<p align="center"><b>Refer to Program of Requirements for additional commentary.</b></p>					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS ADMIN. HEATED GARAGE

**EYE WASH**

Rating:	
Occ Load	1 Adult Intermittent
Outside View	
Natural Light	

Room #	CS 07
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Area SM	0.93
Area SF	10

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____ Y (1)</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____ Y (1)</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
<p><b>Additional Comments:</b> First aid cabinet.</p>		
<p>Refer to Program of Requirements for additional commentary.</p>		

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS ADMIN. HEATED GARAGE

**WEED INSPECTORS OFFICE**

Room #	CS 08
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Area SM	15.8
Area SF	170

Rating:	
Occ Load	1 Adult continuous 3 Adults intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (2) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: Owner will provide 2 work stations					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS HEATED GARAGE

**VEHICLE & EQUIPMENT STORAGE BAY**

Room #	CS 09
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Area SM	8.4
Area SF	900

Rating:	
Occ Load	3 Adults intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Y Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y Air Conditioning _____ Thermostat _____ Y Make-Up Air _____ Y Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Y Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ NOx Control _____ Y CO Monitoring _____ Y VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____ --	
				<b>Other</b> Compress Air St. _____ Y (4) Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____	
Additional Comments: Space pressure to be negative with respect to adjacent spaces.					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS HEATED GARAGE

**WOODWORK SHOP**

Room #	CS 10
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Area SM	8.4
Area SF	900

Rating:	1 HR FRR
Occ Load	2 Adults continuous 3 Adults intermittent
Outside View	
Natural Light	

**Finishes**

Wall	CONC
Base	CONC
Floor	CONC
Ceiling	METAL
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	Y
Sidelite	

**HVAC**

Supply Air	Y
Air Conditioning	
Thermostat	Y
Make-Up Air	Y
Separate A/C	
Exhaust Fan	Y
Humidified	
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
NOx Control	
CO Monitoring	
VOC Monitoring	Y
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
------------------	--

**Millwork**

Counter	20'	1
Credenza		
Lower cabinet		
Upper cabinet		
Shelving Unit		
Shelves		

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	
Door Sealing	

**Electronic Equipment**

Computer/Telephone	
Wall Telephone	Y
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	
Wall Clock	
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	
DUST COLLECTOR	Y (1)
WORK HOOD	Y
12X48X84 ST RACKS	Y (12)

**Other**

Compress Air St.	Y (2)
Vehicle Hoist	
Dust Collection	Y (2)
Hazmat Storage	
Paper Shredder	

**Additional Comments:** Millwork 20" counter. Dust collector and filtration

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS HEATED GARAGE

**SMALL TOOL STORAGE AREA**

Room #	CS 11
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Area SM	8.4
Area SF	900

Rating:	
Occ Load	1 Adult continuous 2 Adults intermittent
Outside View	
Natural Light	Y

<b>Finishes</b> Wall <input type="checkbox"/> CONC Base <input type="checkbox"/> CONC Floor <input type="checkbox"/> CONC Ceiling <input type="checkbox"/> METAL Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Y Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/> 12x48x84 ST RACKS <input type="checkbox"/> Y (25) WORK HOOD <input type="checkbox"/> Y	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Y (2) Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: <input type="text"/>					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS HEATED GARAGE

**SMALL TOOL STORAGE - IPM**

Room #	CS 12
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Area SM	8.4
Area SF	900

Rating:	
Occ Load	2 Adults intermittent
Outside View	
Natural Light	Y

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ 80 LF 1 Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Y Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Y Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y Air Conditioning _____ Thermostat _____ Y Make-Up Air _____ Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ Y NOx Control _____ CO Monitoring _____ VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____ 12X48X84 ST RACKS _____ Y (30) HEAVY DUTY _____	
		<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Y Paper Shredder _____			
Additional Comments: _____ _____ _____					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	CENTRALIZED PARKS
<b>Component</b>	CS UNHEATED GARAGE/STORAGE

**UNHEATED STORAGE AREA**

<b>Rating:</b>	
<b>Occ Load</b>	Unoccupied
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Room #</b>	CS 13
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<b>Area SM</b>	32.5
<b>Area SF</b>	350

<p><b>Finishes</b></p> <p>Wall <input type="checkbox"/></p> <p>Base <input type="checkbox"/></p> <p>Floor <input type="checkbox"/></p> <p>Ceiling <input type="checkbox"/></p> <p>Window Treatment <input type="checkbox"/></p> <p><b>Door</b></p> <p>Type <input type="checkbox"/></p> <p>Finish <input type="checkbox"/></p> <p>Rating <input type="checkbox"/></p> <p>Window <input type="checkbox"/></p> <p>Sidelite <input type="checkbox"/></p> <p><b>HVAC</b></p> <p>Supply Air <input type="checkbox"/></p> <p>Air Conditioning <input type="checkbox"/></p> <p>Thermostat <input type="checkbox"/> Y</p> <p>Make-Up Air <input type="checkbox"/></p> <p>Separate A/C <input type="checkbox"/></p> <p>Exhaust Fan <input type="checkbox"/> Y</p> <p>Humidified <input type="checkbox"/></p> <p>Dehumidified <input type="checkbox"/></p> <p>Range Hood <input type="checkbox"/></p> <p>Odour Control <input type="checkbox"/></p> <p>Fume Extraction <input type="checkbox"/></p> <p>Vehicle Exhaust <input type="checkbox"/></p> <p>CO<sub>2</sub> Control <input type="checkbox"/></p> <p>NOx Control <input type="checkbox"/></p> <p>CO Monitoring <input type="checkbox"/></p> <p>VOC Monitoring <input type="checkbox"/></p> <p>CH<sub>4</sub> Monitoring <input type="checkbox"/></p> <p>Clothes Drier <input type="checkbox"/></p> <p>Heat Curtains at Door <input type="checkbox"/></p> <p><b>Special Power</b></p> <p>Generator Backup <input type="checkbox"/></p> <p><b>Outbuilding Electrical</b></p> <p>Lighting required <input type="checkbox"/> Y</p> <p>Electrical required <input type="checkbox"/> Y</p>	<p><b>Millwork</b></p> <p>Counter <input type="checkbox"/></p> <p>Credenza <input type="checkbox"/></p> <p>Lower cabinet <input type="checkbox"/></p> <p>Upper cabinet <input type="checkbox"/></p> <p>Shelving Unit <input type="checkbox"/></p> <p>Shelves <input type="checkbox"/></p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset <input type="checkbox"/></p> <p>Millwork Locks <input type="checkbox"/></p> <p>Card Access Control <input type="checkbox"/></p> <p>Intrusion Detection <input type="checkbox"/></p> <p>Arm/Disarm Keypad <input type="checkbox"/></p> <p>CCTV Camera <input type="checkbox"/></p> <p>CCTV Display Monitor <input type="checkbox"/></p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp <input type="checkbox"/></p> <p>SS Sink - Double Comp <input type="checkbox"/></p> <p>Lavatory - Countertop <input type="checkbox"/></p> <p>Lavatory - Freestanding Gang <input type="checkbox"/></p> <p>Toilet (Auto Flush) <input type="checkbox"/></p> <p>Toilet - Handicapped (Auto Flush) <input type="checkbox"/></p> <p>Urinal - Waterless <input type="checkbox"/></p> <p>Water Fountain <input type="checkbox"/></p> <p>Dispenser Hook-up <input type="checkbox"/></p> <p>Dishwasher Hook-up <input type="checkbox"/></p> <p>Mop Sink <input type="checkbox"/></p> <p>Floor Drain <input type="checkbox"/> Y</p> <p>Hose Bibb (Interior) <input type="checkbox"/></p> <p>Oil/Water Separator <input type="checkbox"/></p> <p>Grit Separator <input type="checkbox"/> Y</p> <p>Eyewash Station <input type="checkbox"/></p> <p>Shower <input type="checkbox"/></p> <p>Clothes Washer <input type="checkbox"/></p> <p>Dousing Shower <input type="checkbox"/></p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. <input type="checkbox"/></p> <p>Projection Screen <input type="checkbox"/></p>	<p><b>Acoustics</b></p> <p>Wall STC <input type="checkbox"/></p> <p>Door Sealing <input type="checkbox"/></p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone <input type="checkbox"/></p> <p>Wall Telephone <input type="checkbox"/></p> <p>Photocopier <input type="checkbox"/></p> <p>Network Printer <input type="checkbox"/></p> <p>Facsimile <input type="checkbox"/></p> <p>Two-Way Radio Base <input type="checkbox"/></p> <p>Television <input type="checkbox"/></p> <p>Wall Clock <input type="checkbox"/></p> <p>Intercom <input type="checkbox"/></p> <p>Other: <input type="checkbox"/></p> <p><b>Special Lighting</b></p> <p>Decorative - Wall <input type="checkbox"/></p> <p>Decorative - Pendant <input type="checkbox"/></p> <p>Direct/Indirect <input type="checkbox"/></p> <p>Display <input type="checkbox"/></p> <p>Millwork <input type="checkbox"/></p> <p>Pendant Area Ltg. <input type="checkbox"/></p> <p>Pot Lights <input type="checkbox"/></p> <p>Signage <input type="checkbox"/></p> <p>Task, Perm Installed <input type="checkbox"/></p> <p><b>Equipment</b></p> <p>Bridge crane <input type="checkbox"/></p> <p>Vehicle Wash <input type="checkbox"/></p> <p>Air Compressor <input type="checkbox"/></p> <p>Wash Water Treat. <input type="checkbox"/></p> <p><b>Other</b></p> <p>Compress Air St. <input type="checkbox"/></p> <p>Vehicle Hoist <input type="checkbox"/></p> <p>Dust Collection <input type="checkbox"/></p> <p>Hazmat Storage <input type="checkbox"/></p> <p>Paper Shredder <input type="checkbox"/></p>
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**Additional Comments:** No heating. Grit separator to be heat-traced open-top pit with grating. Stand alone outbuilding located in shared Centralized Parks Services and East Area Parks yard. Part of EA-09 is to be added to the outbuilding. EA-09 component is to be partitioned from CS-13.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	CENTRALIZED PARKS
<b>Component</b>	CS UNHEATED GARAGE/STORAGE

**IPM STORAGE AREA**

<b>Rating:</b>	
<b>Occ Load</b>	Unoccupied
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Room #</b>	CS 14
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<b>Area SM</b>	264.8
<b>Area SF</b>	2,850

<p><b>Finishes</b></p> <p>Wall <input type="checkbox"/></p> <p>Base <input type="checkbox"/></p> <p>Floor <input type="checkbox"/></p> <p>Ceiling <input type="checkbox"/></p> <p>Window Treatment <input type="checkbox"/></p> <p><b>Door</b></p> <p>Type <input type="checkbox"/></p> <p>Finish <input type="checkbox"/></p> <p>Rating <input type="checkbox"/></p> <p>Window <input type="checkbox"/></p> <p>Sidelite <input type="checkbox"/></p> <p><b>HVAC</b></p> <p>Supply Air <input type="checkbox"/></p> <p>Air Conditioning <input type="checkbox"/></p> <p>Thermostat <input type="checkbox"/> Y</p> <p>Make-Up Air <input type="checkbox"/></p> <p>Separate A/C <input type="checkbox"/></p> <p>Exhaust Fan <input type="checkbox"/> Y</p> <p>Humidified <input type="checkbox"/></p> <p>Dehumidified <input type="checkbox"/></p> <p>Range Hood <input type="checkbox"/></p> <p>Odour Control <input type="checkbox"/> Y</p> <p>Fume Extraction <input type="checkbox"/></p> <p>Vehicle Exhaust <input type="checkbox"/></p> <p>CO<sub>2</sub> Control <input type="checkbox"/></p> <p>NO<sub>x</sub> Control <input type="checkbox"/></p> <p>CO Monitoring <input type="checkbox"/></p> <p>VOC Monitoring <input type="checkbox"/></p> <p>CH<sub>4</sub> Monitoring <input type="checkbox"/></p> <p>Clothes Drier <input type="checkbox"/></p> <p>Heat Curtains at Door <input type="checkbox"/></p> <p><b>Special Power</b></p> <p>Generator Backup <input type="checkbox"/></p> <p><b>Outbuilding Electrical</b></p> <p>Lighting required <input type="checkbox"/> Y</p> <p>Electrical required <input type="checkbox"/> Y</p>	<p><b>Millwork</b></p> <p>Counter <input type="checkbox"/></p> <p>Credenza <input type="checkbox"/></p> <p>Lower cabinet <input type="checkbox"/></p> <p>Upper cabinet <input type="checkbox"/></p> <p>Shelving Unit <input type="checkbox"/></p> <p>Shelves <input type="checkbox"/></p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset <input type="checkbox"/></p> <p>Millwork Locks <input type="checkbox"/></p> <p>Card Access Control <input type="checkbox"/></p> <p>Intrusion Detection <input type="checkbox"/></p> <p>Arm/Disarm Keypad <input type="checkbox"/></p> <p>CCTV Camera <input type="checkbox"/></p> <p>CCTV Display Monitor <input type="checkbox"/></p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp <input type="checkbox"/></p> <p>SS Sink - Double Comp. <input type="checkbox"/></p> <p>Lavatory - Countertop <input type="checkbox"/></p> <p>Lavatory - Freestanding Gang <input type="checkbox"/></p> <p>Toilet (Auto Flush) <input type="checkbox"/></p> <p>Toilet - Handicapped (Auto Flush) <input type="checkbox"/></p> <p>Urinal - Waterless <input type="checkbox"/></p> <p>Water Fountain <input type="checkbox"/></p> <p>Dispenser Hook-up <input type="checkbox"/></p> <p>Dishwasher Hook-up <input type="checkbox"/></p> <p>Mop Sink <input type="checkbox"/></p> <p>Floor Drain <input type="checkbox"/> Y</p> <p>Hose Bibb (Interior) <input type="checkbox"/></p> <p>Oil/Water Separator <input type="checkbox"/></p> <p>Grit Separator <input type="checkbox"/> Y</p> <p>Eyewash Station <input type="checkbox"/></p> <p>Shower <input type="checkbox"/></p> <p>Clothes Washer <input type="checkbox"/></p> <p>Dousing Shower <input type="checkbox"/></p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. <input type="checkbox"/></p> <p>Projection Screen <input type="checkbox"/></p>	<p><b>Acoustics</b></p> <p>Wall STC <input type="checkbox"/></p> <p>Door Sealing <input type="checkbox"/></p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone <input type="checkbox"/></p> <p>Wall Telephone <input type="checkbox"/></p> <p>Photocopier <input type="checkbox"/></p> <p>Network Printer <input type="checkbox"/></p> <p>Facsimile <input type="checkbox"/></p> <p>Two-Way Radio Base <input type="checkbox"/></p> <p>Television <input type="checkbox"/></p> <p>Wall Clock <input type="checkbox"/></p> <p>Intercom <input type="checkbox"/></p> <p>Other: <input type="checkbox"/></p> <p><b>Special Lighting</b></p> <p>Decorative - Wall <input type="checkbox"/></p> <p>Decorative - Pendant <input type="checkbox"/></p> <p>Direct/Indirect <input type="checkbox"/></p> <p>Display <input type="checkbox"/></p> <p>Millwork <input type="checkbox"/></p> <p>Pendant Area Ltg. <input type="checkbox"/></p> <p>Pot Lights <input type="checkbox"/></p> <p>Signage <input type="checkbox"/></p> <p>Task, Perm Installed <input type="checkbox"/></p> <p><b>Equipment</b></p> <p>Bridge crane <input type="checkbox"/></p> <p>Vehicle Wash <input type="checkbox"/></p> <p>Air Compressor <input type="checkbox"/></p> <p>Wash Water Treat. <input type="checkbox"/></p> <p><b>Other</b></p> <p>Compress Air St. <input type="checkbox"/></p> <p>Vehicle Hoist <input type="checkbox"/></p> <p>Dust Collection <input type="checkbox"/></p> <p>Hazmat Storage <input type="checkbox"/></p> <p>Paper Shredder <input type="checkbox"/></p>
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**Additional Comments:** Stand alone outbuilding located in shared Centralized Parks Services and East Area Parks yard. Remaining part of EA-09 is to be added to the outbuilding. EA-09 component is to be partitioned from CS-14. Grit separator to be heat-traced open-top pit with grating, portable eyewash. No central heating. Includes 500ft<sup>2</sup> insulated and heated/vented enclosure (with thermostat control to maintain minimum of 5°C) dedicated to storage of 20 x 5gal. pails of pesticide and 3000L of herbicide consisting of 150 boxes at any time, each box typically 12" x 15"x 16" with 2 x 10L jugs. (see Appendix C3: Hazardous Material Storage Summary Table).

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Yard Area Data Sheets**

**Basic Data**

Division	CENTRALIZED PARK SERVICES
Component	CS EMPLOYEE PARKING

**EMPLOYEE & VISITOR PARKING AREA**

Room #	CS-15
Yard Area #	6

Area SM	1,021.9
Area SF	11,000

LEED	

<p><b>Base Course (Depth)</b></p> <table border="1"> <tr><td>Subbase 450 - 150 mm</td><td></td></tr> <tr><td>Subbase 425 - 150 mm</td><td></td></tr> <tr><td>Base 300 - 150mm Down</td><td></td></tr> <tr><td>Base 150 - 50 mm Down</td><td>CLEAN</td></tr> <tr><td>Base 300 - 50 mm Down</td><td></td></tr> <tr><td>Base 200 - 20 mm Down</td><td></td></tr> <tr><td>Base 100 - 20 mm Down</td><td>CLEAN</td></tr> <tr><td>Base 75 - 20 mm Down</td><td></td></tr> <tr><td>Base 50 - 20mm Down</td><td></td></tr> <tr><td>Bedding Sand 50</td><td></td></tr> <tr><td>Geotextile</td><td>Y</td></tr> <tr><td>Compacted Subbase</td><td></td></tr> <tr><td>Bedding 6.5mm</td><td>Y</td></tr> </table> <p><b>Surfacing Materials (Type)</b></p> <table border="1"> <tr><td>Asphalt 100 mm</td><td></td></tr> <tr><td>Concrete Apron 200 mm</td><td></td></tr> <tr><td>Conc. Sidewalk/Bulnose</td><td>Y</td></tr> <tr><td>Granular 150 - 50mm Down</td><td></td></tr> <tr><td>Granular 125 - 20mm Down</td><td></td></tr> <tr><td>Paving Stone 75mm</td><td>Y</td></tr> <tr><td>Permeable Pavers</td><td>Y</td></tr> </table> <p><b>Features</b></p> <table border="1"> <tr><td>Curbing</td><td></td></tr> <tr><td>Parking Stalls</td><td>Y (36)</td></tr> <tr><td>Parking Lot Screen Fence</td><td>Y</td></tr> <tr><td>Gravel Road/Yard</td><td></td></tr> <tr><td>Light Duty Yard</td><td></td></tr> <tr><td>Conc. Storage Bunkers</td><td></td></tr> <tr><td>Mtl's Stockpiles</td><td></td></tr> <tr><td>Directional Signage</td><td>Y</td></tr> </table>	Subbase 450 - 150 mm		Subbase 425 - 150 mm		Base 300 - 150mm Down		Base 150 - 50 mm Down	CLEAN	Base 300 - 50 mm Down		Base 200 - 20 mm Down		Base 100 - 20 mm Down	CLEAN	Base 75 - 20 mm Down		Base 50 - 20mm Down		Bedding Sand 50		Geotextile	Y	Compacted Subbase		Bedding 6.5mm	Y	Asphalt 100 mm		Concrete Apron 200 mm		Conc. 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Storage Bunkers		Mtl's Stockpiles		Directional Signage	Y	<p><b>Electrical</b></p> <table border="1"> <tr><td>Lighting Type</td><td>Y (Parking)</td></tr> <tr><td>Poles</td><td>Y</td></tr> <tr><td>Luminaires</td><td>Y</td></tr> <tr><td>Plug-ins</td><td>Y (10)</td></tr> <tr><td>Building Service</td><td></td></tr> <tr><td>Signage Lighting</td><td></td></tr> </table> <p><b>Security</b></p> <table border="1"> <tr><td>Fencing - External</td><td></td></tr> <tr><td>Fencing - Internal</td><td></td></tr> <tr><td>Gates - Vehicle</td><td></td></tr> <tr><td>Gates - People</td><td></td></tr> <tr><td>Card Access Control</td><td></td></tr> <tr><td>Arm/Disarm Keypa</td><td></td></tr> <tr><td>CCTV Camera</td><td></td></tr> </table> <p><b>UG Servicing</b></p> <table border="1"> <tr><td>Water Line</td><td>Y</td></tr> <tr><td>Wastewater Sewer</td><td>Y</td></tr> <tr><td>Land Drainage Sewer</td><td>Y</td></tr> <tr><td>Fire Hydrant</td><td></td></tr> <tr><td>Catchbasin</td><td>Y</td></tr> <tr><td>Catchbasin Lead</td><td>Y</td></tr> <tr><td>Manhole</td><td>Y</td></tr> <tr><td>Vent Pipe</td><td></td></tr> <tr><td>Swale</td><td></td></tr> <tr><td>SRB Wetland</td><td></td></tr> <tr><td>Infiltrat'n Trench</td><td>Y</td></tr> <tr><td>Hose Bibb</td><td></td></tr> <tr><td>Grit Separator</td><td></td></tr> <tr><td>Oil/Water Separator</td><td></td></tr> </table>	Lighting Type	Y (Parking)	Poles	Y	Luminaires	Y	Plug-ins	Y (10)	Building Service		Signage Lighting		Fencing - External		Fencing - Internal		Gates - Vehicle		Gates - People		Card Access Control		Arm/Disarm Keypa		CCTV Camera		Water Line	Y	Wastewater Sewer	Y	Land Drainage Sewer	Y	Fire Hydrant		Catchbasin	Y	Catchbasin Lead	Y	Manhole	Y	Vent Pipe		Swale		SRB Wetland		Infiltrat'n Trench	Y	Hose Bibb		Grit Separator		Oil/Water Separator		<p><b>Landscaping</b></p> <table border="1"> <tr><td>Sod</td><td>Y</td></tr> <tr><td>Rough Seed</td><td></td></tr> <tr><td>Lake Slopes</td><td></td></tr> <tr><td>Planting Beds 300mm Soil</td><td>Y</td></tr> <tr><td>Wood Chip Mulch 75mm</td><td>Y</td></tr> <tr><td>Trees</td><td>Y</td></tr> <tr><td>Shrubs</td><td>Y</td></tr> <tr><td>Ground Cover</td><td></td></tr> <tr><td>Benches</td><td>Y</td></tr> <tr><td>Waste Receptacles</td><td>Y</td></tr> <tr><td>Bicycle Storage</td><td>Y</td></tr> <tr><td>Bollards</td><td>Y</td></tr> <tr><td>Picnic Benches</td><td></td></tr> </table> <p><b>Use</b></p> <table border="1"> <tr><td>Marshalling</td><td></td></tr> <tr><td>Circulation</td><td></td></tr> <tr><td>Employee Parking 2.7x6</td><td>Y</td></tr> <tr><td>Truck Parking 3x12</td><td></td></tr> <tr><td>Materials Storage</td><td></td></tr> <tr><td>Equipment Storage</td><td></td></tr> <tr><td>Tire Storage</td><td></td></tr> <tr><td>Fut. Refueling</td><td></td></tr> <tr><td>Fut. Sand/Salt</td><td></td></tr> <tr><td>Vehicle Wash</td><td></td></tr> <tr><td>Air Compressor</td><td></td></tr> </table> <p><b>Buildings</b></p> <table border="1"> <tr><td>Storage Bldg</td><td></td></tr> <tr><td>Storage Shed</td><td></td></tr> <tr><td>Main</td><td></td></tr> </table>	Sod	Y	Rough Seed		Lake Slopes		Planting Beds 300mm Soil	Y	Wood Chip Mulch 75mm	Y	Trees	Y	Shrubs	Y	Ground Cover		Benches	Y	Waste Receptacles	Y	Bicycle Storage	Y	Bollards	Y	Picnic Benches		Marshalling		Circulation		Employee Parking 2.7x6	Y	Truck Parking 3x12		Materials Storage		Equipment Storage		Tire Storage		Fut. Refueling		Fut. Sand/Salt		Vehicle Wash		Air Compressor		Storage Bldg		Storage Shed		Main	
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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS PARKING

**VEHICLE & EQUIPMENT PARKING**

Room #	CS 16
Yard Area #	5

Area SM	1,003.3
Area SF	10,800

LEED	

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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	CENTRALIZED PARKS
Component	CS YARD

**STORAGE COMPOUND**

Room #	CS 17
Yard Area #	5

Area SM	650.3
Area SF	7,000

LEED	

<p><b>Base Course (Depth)</b></p> <table border="1"> <tr><td>Subbase 450 -150 mm</td><td>Y</td></tr> <tr><td>Subbase 425 -150 mm</td><td></td></tr> <tr><td>Base 300 - 150mm Down</td><td></td></tr> <tr><td>Base 150 - 50 mm Down</td><td>Y</td></tr> <tr><td>Base 300 - 50 mm Down</td><td></td></tr> <tr><td>Base 200 - 20 mm Down</td><td></td></tr> <tr><td>Base 100 - 20 mm Down</td><td></td></tr> <tr><td>Base 75 - 20 mm Down</td><td></td></tr> <tr><td>Base 50 - 20mm Down</td><td></td></tr> <tr><td>Bedding Sand 50</td><td></td></tr> <tr><td>Geotextile</td><td>Y</td></tr> <tr><td>Compacted Subbase</td><td>Y</td></tr> </table> <p><b>Surfacing Materials (Type)</b></p> <table border="1"> <tr><td>Asphalt 100 mm</td><td></td></tr> <tr><td>Concrete Apron 200 mm</td><td>Y</td></tr> <tr><td>Conc. 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<p><b>Additional Comments:</b> Shared storage buildings and materials bunkers</p>																																																																																																																																																																																																														

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component (Floor)	EA ADMINISTRATIVE (2nd)

**FOREMAN I - TECHNICIAN OFFICE**

Room #	EA 01
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Area SM	65
Area SF	700

Rating:	
Occ Load	12 Adults Peak 7 Adults Cont.
Outside View	
Natural Light	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (14) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Y Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Y Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<b>Additional Comments:</b> <div style="border: 1px solid black; height: 20px; width: 100%;"></div>					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component (Floor)	EA ADMINISTRATIVE (2nd)

**SENIOR FOREMAN OFFICE**

Room #	EA 02
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Area SM	11.5
Area SF	120

Rating:	
Occ Load	2 Adults Peak 1 Adult Continuous
Outside View	
Natural Light	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (2) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: <input type="text"/>					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component	EA HEATED GARAGE

**SMALL TOOLS STORAGE BAY**

Room #	EA 03
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Area SM	92.9
Area SF	1,000

Rating:	
Occ Load	1 Adult Intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ Finish _____ Rating _____ Window _____ Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Air Conditioning _____ Thermostat _____ Make-Up Air _____ Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Y Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ NOx Control _____ CO Monitoring _____ VOC Monitoring _____ Y CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Mop Sink _____ Floor Drain _____ Y Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Y Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____	
				<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____	
<p><b>Additional Comments:</b> Grit separator to be pit with open grating cover in Room. Provide twenty five (25) 12" x 48" x 84" shelving units. Space pressure to be negative with respect to adjacent spaces.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component	EA HEATED GARAGE

**GRASS SEED & FERTILIZER STORAGE**

Room #	EA 04
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Area SM	120.8
Area SF	1,300

Rating:	
Occ Load	1 Adult Intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Y Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y Air Conditioning _____ Thermostat _____ Y Make-Up Air _____ Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Y Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ NOx Control _____ CO Monitoring _____ VOC Monitoring _____ Y CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Mop Sink _____ Floor Drain _____ Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____	
				<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Y Paper Shredder _____	
<p><b>Additional Comments:</b> Provide twenty-five (25) 12" x 48" x 84" tall shelving units. Space pressure to be negative with respect to adjacent spaces.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component	EA HEATED GARAGE

**SITE REPAIR SHOP**

Room #	EA 05
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Area SM	120.8
Area SF	1,300

Rating:	
Occ Load	4 Adults Peak 1 Adult Continuous
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> CONC Base <input type="checkbox"/> CONC Floor <input type="checkbox"/> CONC Ceiling <input type="checkbox"/> METAL Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> Y CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Y Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> Provide twenty-five (25) 12" x 48" x 84" shelving units. Space pressure to be negative with respect to adjacent spaces.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component	EA HEATED GARAGE

**EYE WASH**

Rating:	
Occ Load	1 Adult Intermittent
Outside View	
Natural Light	

Room #	EA 06
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Area SM	0.93
Area SF	10

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____ Y (1)</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____ Y (1)</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
<p><b>Additional Comments:</b> First aid cabinet.</p>		
<p>Refer to Program of Requirements for additional commentary.</p>		

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component	EA MISC

**SUB ELECTRICAL ROOM A**

Room #	EA 07 (ELEC 2)
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Area SM	As req'd
Area SF	As req'd

Rating:	1 HR FRR
Occ Load	Unoccupied
Outside View	
Natural Light	

<p><b>Finishes</b></p> <table border="1"> <tr><td>Wall</td><td></td></tr> <tr><td>Base</td><td></td></tr> <tr><td>Floor</td><td></td></tr> <tr><td>Ceiling</td><td></td></tr> <tr><td>Window Treatment</td><td></td></tr> </table> <p><b>Door</b></p> <table border="1"> <tr><td>Type</td><td>HM/ST</td></tr> <tr><td>Finish</td><td>PT</td></tr> <tr><td>Rating</td><td>0.75 HR FRR</td></tr> <tr><td>Window</td><td></td></tr> <tr><td>Sidelite</td><td></td></tr> </table> <p><b>HVAC</b></p> <table border="1"> <tr><td>Supply Air</td><td></td></tr> <tr><td>Air Conditioning</td><td></td></tr> <tr><td>Thermostat</td><td>Y</td></tr> <tr><td>Make-Up Air</td><td></td></tr> <tr><td>Separate A/C</td><td></td></tr> <tr><td>Exhaust Fan</td><td>Y</td></tr> <tr><td>Humidified</td><td></td></tr> <tr><td>Dehumidified</td><td></td></tr> <tr><td>Range Hood</td><td></td></tr> <tr><td>Odour Control</td><td></td></tr> <tr><td>Fume Extraction</td><td></td></tr> <tr><td>Vehicle Exhaust</td><td></td></tr> <tr><td>CO<sub>2</sub> Control</td><td></td></tr> <tr><td>NO<sub>x</sub> Control</td><td></td></tr> <tr><td>CO Monitoring</td><td></td></tr> <tr><td>VOC Monitoring</td><td></td></tr> <tr><td>CH<sub>4</sub> Monitoring</td><td></td></tr> <tr><td>Clothes Drier</td><td></td></tr> <tr><td>Heat Curtains at Door</td><td></td></tr> </table> <p><b>Special Power</b></p> <table border="1"> <tr><td>Generator Backup</td><td></td></tr> </table>	Wall		Base		Floor		Ceiling		Window Treatment		Type	HM/ST	Finish	PT	Rating	0.75 HR FRR	Window		Sidelite		Supply Air		Air Conditioning		Thermostat	Y	Make-Up Air		Separate A/C		Exhaust Fan	Y	Humidified		Dehumidified		Range Hood		Odour Control		Fume Extraction		Vehicle Exhaust		CO <sub>2</sub> Control		NO <sub>x</sub> Control		CO Monitoring		VOC Monitoring		CH <sub>4</sub> Monitoring		Clothes Drier		Heat Curtains at Door		Generator Backup		<p><b>Millwork</b></p> <table border="1"> <tr><td>Counter</td><td></td></tr> <tr><td>Credenza</td><td></td></tr> <tr><td>Lower cabinet</td><td></td></tr> <tr><td>Upper cabinet</td><td></td></tr> <tr><td>Shelving Unit</td><td></td></tr> <tr><td>Shelves</td><td></td></tr> </table> <p><b>Security Door Set Millwork Locks</b></p> <table border="1"> <tr><td>Doorset</td><td>LS</td></tr> <tr><td>Millwork Locks</td><td></td></tr> <tr><td>Card Access Control</td><td></td></tr> <tr><td>Intrusion Detection</td><td></td></tr> <tr><td>Arm/Disarm Keypad</td><td></td></tr> <tr><td>CCTV Camera</td><td></td></tr> <tr><td>CCTV Display Monitor</td><td></td></tr> </table> <p><b>Plumbing</b></p> <table border="1"> <tr><td>SS Sink - Single Comp</td><td></td></tr> <tr><td>SS Sink - Double Comp.</td><td></td></tr> <tr><td>Lavatory - Countertop</td><td></td></tr> <tr><td>Lavatory - Freestanding Gang</td><td></td></tr> <tr><td>Toilet (Auto Flush)</td><td></td></tr> <tr><td>Toilet - Handicapped (Auto Flush)</td><td></td></tr> <tr><td>Urinal - Waterless</td><td></td></tr> <tr><td>Water Fountain</td><td></td></tr> <tr><td>Dispenser Hook-up</td><td></td></tr> <tr><td>Dishwasher Hook-up</td><td></td></tr> <tr><td>Mop Sink</td><td></td></tr> <tr><td>Floor Drain</td><td></td></tr> <tr><td>Hose Bibb (Interior)</td><td></td></tr> <tr><td>Oil/Water Separator</td><td></td></tr> <tr><td>Grit Separator</td><td></td></tr> <tr><td>Eyewash Station</td><td></td></tr> <tr><td>Shower</td><td></td></tr> <tr><td>Clothes Washer</td><td></td></tr> <tr><td>Dousing Shower</td><td></td></tr> </table> <p><b>Audio Visual</b></p> <table border="1"> <tr><td>Projector Ceiling Mtd.</td><td></td></tr> <tr><td>Projection Screen</td><td></td></tr> </table>	Counter		Credenza		Lower cabinet		Upper cabinet		Shelving Unit		Shelves		Doorset	LS	Millwork Locks		Card Access Control		Intrusion Detection		Arm/Disarm Keypad		CCTV Camera		CCTV Display Monitor		SS Sink - Single Comp		SS Sink - Double Comp.		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Room Data Sheets**

**Basic Data**

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**SUB TELECOMMUNICATION ROOM A**

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Area SM	As req'd
Area SF	As req'd

Rating:	1 HR FRR
Occ Load	Unoccupied
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall <input type="checkbox"/></p> <p>Base <input type="checkbox"/></p> <p>Floor <input type="checkbox"/></p> <p>Ceiling <input type="checkbox"/></p> <p>Window Treatment <input type="checkbox"/></p> <p><b>Door</b></p> <p>Type <input type="checkbox"/> HM/ST</p> <p>Finish <input type="checkbox"/> PT</p> <p>Rating <input type="checkbox"/> 0.75 HR FRR</p> <p>Window <input type="checkbox"/></p> <p>Sidelite <input type="checkbox"/></p> <p><b>HVAC</b></p> <p>Supply Air <input type="checkbox"/></p> <p>Air Conditioning <input type="checkbox"/></p> <p>Thermostat <input type="checkbox"/> Y</p> <p>Make-Up Air <input type="checkbox"/></p> <p>Separate A/C <input type="checkbox"/> Y</p> <p>Exhaust Fan <input type="checkbox"/></p> <p>Humidified <input type="checkbox"/></p> <p>Dehumidified <input type="checkbox"/></p> <p>Range Hood <input type="checkbox"/></p> <p>Odour Control <input type="checkbox"/></p> <p>Fume Extraction <input type="checkbox"/></p> <p>Vehicle Exhaust <input type="checkbox"/></p> <p>CO<sub>2</sub> Control <input type="checkbox"/></p> <p>NOx Control <input type="checkbox"/></p> <p>CO Monitoring <input type="checkbox"/></p> <p>VOC Monitoring <input type="checkbox"/></p> <p>CH<sub>4</sub> Monitoring <input type="checkbox"/></p> <p>Clothes Drier <input type="checkbox"/></p> <p>Heat Curtains at Door <input type="checkbox"/></p> <p><b>Special Power</b></p> <p>Generator Backup <input type="checkbox"/></p>	<p><b>Millwork</b></p> <p>Counter <input type="checkbox"/></p> <p>Credenza <input type="checkbox"/></p> <p>Lower cabinet <input type="checkbox"/></p> <p>Upper cabinet <input type="checkbox"/></p> <p>Shelving Unit <input type="checkbox"/></p> <p>Shelves <input type="checkbox"/></p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset <input type="checkbox"/> LS</p> <p>Millwork Locks <input type="checkbox"/></p> <p>Card Access Control <input type="checkbox"/> Y</p> <p>Intrusion Detection <input type="checkbox"/> Y</p> <p>Arm/Disarm Keypad <input type="checkbox"/></p> <p>CCTV Camera <input type="checkbox"/></p> <p>CCTV Display Monitor <input type="checkbox"/></p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp <input type="checkbox"/></p> <p>SS Sink - Double Comp. <input type="checkbox"/></p> <p>Lavatory - Countertop <input type="checkbox"/></p> <p>Lavatory - Freestanding Gang <input type="checkbox"/></p> <p>Toilet (Auto Flush) <input type="checkbox"/></p> <p>Toilet - Handicapped (Auto Flush) <input type="checkbox"/></p> <p>Urinal - Waterless <input type="checkbox"/></p> <p>Water Fountain <input type="checkbox"/></p> <p>Dispenser Hook-up <input type="checkbox"/></p> <p>Dishwasher Hook-up <input type="checkbox"/></p> <p>Mop Sink <input type="checkbox"/></p> <p>Floor Drain <input type="checkbox"/></p> <p>Hose Bibb (Interior) <input type="checkbox"/></p> <p>Oil/Water Separator <input type="checkbox"/></p> <p>Grit Separator <input type="checkbox"/></p> <p>Eyewash Station <input type="checkbox"/></p> <p>Shower <input type="checkbox"/></p> <p>Clothes Washer <input type="checkbox"/></p> <p>Dousing Shower <input type="checkbox"/></p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. <input type="checkbox"/></p> <p>Projection Screen <input type="checkbox"/></p>	<p><b>Acoustics</b></p> <p>Wall STC <input type="checkbox"/></p> <p>Door Sealing <input type="checkbox"/></p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone <input type="checkbox"/></p> <p>Wall Telephone <input type="checkbox"/> Y</p> <p>Photocopier <input type="checkbox"/></p> <p>Network Printer <input type="checkbox"/></p> <p>Facsimile <input type="checkbox"/></p> <p>Two-Way Radio Base <input type="checkbox"/></p> <p>Television <input type="checkbox"/></p> <p>Wall Clock <input type="checkbox"/></p> <p>Intercom <input type="checkbox"/></p> <p>Other: <input type="checkbox"/></p> <p><b>Special Lighting</b></p> <p>Decorative - Wall <input type="checkbox"/></p> <p>Decorative - Pendant <input type="checkbox"/></p> <p>Direct/Indirect <input type="checkbox"/></p> <p>Display <input type="checkbox"/></p> <p>Millwork <input type="checkbox"/></p> <p>Pendant Area Ltg. <input type="checkbox"/></p> <p>Pot Lights <input type="checkbox"/></p> <p>Signage <input type="checkbox"/></p> <p>Task, Perm Installed <input type="checkbox"/></p> <p><b>Equipment</b></p> <p>Bridge crane <input type="checkbox"/></p> <p>Vehicle Wash <input type="checkbox"/></p> <p>Air Compressor <input type="checkbox"/></p> <p>Wash Water Treat. <input type="checkbox"/></p> <p><b>Other</b></p> <p>Compress Air St. <input type="checkbox"/></p> <p>Vehicle Hoist <input type="checkbox"/></p> <p>Dust Collection <input type="checkbox"/></p> <p>Hazmat Storage <input type="checkbox"/></p> <p>Paper Shredder <input type="checkbox"/></p>
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**Additional Comments:** City of Winnipeg to confirm card access is a requirement.

**Refer to Program of Requirements for additional commentary.**

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>EAST AREA PARKS</b>
<b>Component</b>	<b>EA UNHEATED GARAGE/STORAGE</b>

**UNHEATED STORAGE AREA**

<b>Room #</b>	<b>EA 09</b>
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<b>Area SM</b>	<b>297.3</b>
<b>Area SF</b>	<b>3,200</b>

<b>Rating:</b>	
<b>Occ Load</b>	Unoccupied
<b>Outside View</b>	
<b>Natural Light</b>	

<p><b>Finishes</b></p> <p>Wall <input type="checkbox"/></p> <p>Base <input type="checkbox"/></p> <p>Floor <input type="checkbox"/></p> <p>Ceiling <input type="checkbox"/></p> <p>Window Treatment <input type="checkbox"/></p> <p><b>Door</b></p> <p>Type <input type="checkbox"/></p> <p>Finish <input type="checkbox"/></p> <p>Rating <input type="checkbox"/></p> <p>Window <input type="checkbox"/></p> <p>Sidelite <input type="checkbox"/></p> <p><b>HVAC</b></p> <p>Supply Air <input type="checkbox"/></p> <p>Air Conditioning <input type="checkbox"/></p> <p>Thermostat <input type="checkbox"/> Y</p> <p>Make-Up Air <input type="checkbox"/></p> <p>Separate A/C <input type="checkbox"/></p> <p>Exhaust Fan <input type="checkbox"/> Y</p> <p>Humidified <input type="checkbox"/></p> <p>Dehumidified <input type="checkbox"/></p> <p>Range Hood <input type="checkbox"/></p> <p>Odour Control <input type="checkbox"/></p> <p>Fume Extraction <input type="checkbox"/></p> <p>Vehicle Exhaust <input type="checkbox"/></p> <p>CO<sub>2</sub> Control <input type="checkbox"/></p> <p>NO<sub>x</sub> Control <input type="checkbox"/></p> <p>CO Monitoring <input type="checkbox"/></p> <p>VOC Monitoring <input type="checkbox"/></p> <p>CH<sub>4</sub> Monitoring <input type="checkbox"/></p> <p>Clothes Drier <input type="checkbox"/></p> <p>Heat Curtains at Door <input type="checkbox"/></p> <p><b>Special Power</b></p> <p>Generator Backup <input type="checkbox"/></p> <p><b>Outbuilding Electrical</b></p> <p>Lighting Required <input type="checkbox"/> Y</p> <p>Electrical Required <input type="checkbox"/> Y</p>	<p><b>Millwork</b></p> <p>Counter <input type="checkbox"/></p> <p>Credenza <input type="checkbox"/></p> <p>Lower cabinet <input type="checkbox"/></p> <p>Upper cabinet <input type="checkbox"/></p> <p>Shelving Unit <input type="checkbox"/></p> <p>Shelves <input type="checkbox"/></p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset <input type="checkbox"/></p> <p>Millwork Locks <input type="checkbox"/></p> <p>Card Access Control <input type="checkbox"/></p> <p>Intrusion Detection <input type="checkbox"/></p> <p>Arm/Disarm Keypad <input type="checkbox"/></p> <p>CCTV Camera <input type="checkbox"/></p> <p>CCTV Display Monitor <input type="checkbox"/></p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp <input type="checkbox"/></p> <p>SS Sink - Double Comp <input type="checkbox"/></p> <p>Lavatory - Countertop <input type="checkbox"/></p> <p>Lavatory - Freestanding Gang <input type="checkbox"/></p> <p>Toilet (Auto Flush) <input type="checkbox"/></p> <p>Toilet - Handicapped (Auto Flush) <input type="checkbox"/></p> <p>Urinal - Waterless <input type="checkbox"/></p> <p>Water Fountain <input type="checkbox"/></p> <p>Dispenser Hook-up <input type="checkbox"/></p> <p>Mop Sink <input type="checkbox"/></p> <p>Floor Drain <input type="checkbox"/> Y</p> <p>Hose Bibb (Interior) <input type="checkbox"/></p> <p>Oil/Water Separator <input type="checkbox"/></p> <p>Grit Separator <input type="checkbox"/> Y</p> <p>Eyewash Station <input type="checkbox"/></p> <p>Shower <input type="checkbox"/></p> <p>Clothes Washer <input type="checkbox"/></p> <p>Dousing Shower <input type="checkbox"/></p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. <input type="checkbox"/></p> <p>Projection Screen <input type="checkbox"/></p>	<p><b>Acoustics</b></p> <p>Wall STC <input type="checkbox"/></p> <p>Door Sealing <input type="checkbox"/></p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone <input type="checkbox"/></p> <p>Wall Telephone <input type="checkbox"/></p> <p>Photocopier <input type="checkbox"/></p> <p>Network Printer <input type="checkbox"/></p> <p>Facsimile <input type="checkbox"/></p> <p>Two-Way Radio Base <input type="checkbox"/></p> <p>Television <input type="checkbox"/></p> <p>Wall Clock <input type="checkbox"/></p> <p>Intercom <input type="checkbox"/></p> <p>Other: <input type="checkbox"/></p> <p><b>Special Lighting</b></p> <p>Decorative - Wall <input type="checkbox"/></p> <p>Decorative - Pendant <input type="checkbox"/></p> <p>Direct/Indirect <input type="checkbox"/></p> <p>Display <input type="checkbox"/></p> <p>Millwork <input type="checkbox"/></p> <p>Pendant Area Ltg. <input type="checkbox"/></p> <p>Pot Lights <input type="checkbox"/></p> <p>Signage <input type="checkbox"/></p> <p>Task, Perm Installed <input type="checkbox"/></p> <p><b>Equipment</b></p> <p>Bridge crane <input type="checkbox"/></p> <p>Vehicle Wash <input type="checkbox"/></p> <p>Air Compressor <input type="checkbox"/></p> <p>Wash Water Treat. <input type="checkbox"/></p> <p><b>Other</b></p> <p>Compress Air St. <input type="checkbox"/></p> <p>Vehicle Hoist <input type="checkbox"/></p> <p>Dust Collection <input type="checkbox"/></p> <p>Hazmat Storage <input type="checkbox"/></p> <p>Paper Shredder <input type="checkbox"/></p>
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**Additional Comments:** No heating. Grit separator to be heat-traced open-top pit with grating. Incorporated into stand along outbuildings CS-13 & CS-14. City of Winnipeg to confirm what portion of EA-09 will add to CS-13. Remaining portion will add to CS-14.

**Refer to Program of Requirements for additional commentary.**

**City of Winnipeg East Yards RFP  
Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	<b>EAST AREA PARKS</b>
<b>Component</b>	<b>EA PARKING</b>

**EMPLOYEE & VISITOR PARKING AREA**

<b>Room #</b>	<b>EA 10</b>
<b>Yard Area #</b>	<b>6</b>

<b>Area SM</b>	<b>2,090.3</b>
<b>Area SF</b>	<b>22,500</b>

<b>LEED</b>	

<b>Base Course (Depth)</b>	
Subbase 450 - 150 mm	
Subbase 425 - 150 mm	
Base 300 - 150mm Down	
Base 150 - 50 mm Down	CLEAN
Base 300 - 50 mm Down	
Base 200 - 20 mm Down	
Base 100 - 20 mm Down	CLEAN
Base 75 - 20 mm Down	
Base 50 - 20mm Down	
Bedding Sand 50	
Geotextile	Y
Compacted Subbase	
Bedding 6.5mm	Y

<b>Surfacing Materials (Type)</b>	
Asphalt 100 mm	
Concrete Apron 200 mm	
Conc. Sidewalk/Bulnose	Y
Granular 150 - 50mm Down	
Granular 125 - 20mm Down	
Paving Stone 75mm	Y
Permeable Pavers	Y

<b>Features</b>	
Curbing	
Parking Stalls	Y (75)
Parking Lot Screen Fence	Y
Gravel Road/Yard	
Light Duty Yard	
Conc. Storage Bunkers	
Mtl's Stockpiles	
Directional Signage	Y

<b>Electrical</b>	
Lighting Type	Y (Parking)
Poles	Y
Luminaires	Y
Plug-ins	Y (20)
Building Service	
Signage Lighting	

<b>Security</b>	
Fencing - External	
Fencing - Internal	
Gates - Vehicle	
Gates - People	
Card Access Control	
Arm/Disarm Keypa	
CCTV Camera	

<b>UG Servicing</b>	
Water Line	Y
Wastewater Sewer	Y
Land Drainage Sewer	Y
Fire Hydrant	
Catchbasin	Y (3)
Catchbasin Lead	Y
Manhole	Y
Vent Pipe	
Swale	
SRB Wetland	
Infiltrat'n Trench	Y
Hose Bibb	
Grit Separator	
Oil/Water Separator	Y

<b>Landscaping</b>	
Sod	Y
Rough Seed	
Lake Slopes	
Planting Beds 300mm Soil	Y
Wood Chip Mulch 75mm	Y
Trees	Y
Shrubs	Y
Ground Cover	
Benches	Y
Waste Receptacles	Y
Bicycle Storage	Y
Bollards	Y
Picnic Benches	

<b>Use</b>	
Marshalling	
Circulation	
Employee Parking 2.7x6	Y
Truck Parking 3x12	
Materials Storage	
Equipment Storage	
Tire Storage	
Fut. Refueling	
Fut. Sand/Salt	
Vehicle Wash	
Air Compressor	

<b>Buildings</b>	
Storage Bldg	
Storage Shed	
Main	

**Additional Comments:**

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component	EA PARKING

**VEHICLE & EQUIPMENT PARKING**

Room #	EA 11
Yard Area #	5

Area SM	1,505
Area SF	16,200

LEED	

<p><b>Base Course (Depth)</b></p> <table border="1"> <tr><td>Subbase 450 -150 mm</td><td>Y</td></tr> <tr><td>Subbase 425 -150 mm</td><td></td></tr> <tr><td>Base 300 - 150mm Down</td><td></td></tr> <tr><td>Base 150 - 50 mm Down</td><td>Y</td></tr> <tr><td>Base 300 - 50 mm Down</td><td></td></tr> <tr><td>Base 200 - 20 mm Down</td><td></td></tr> <tr><td>Base 100 - 20 mm Down</td><td></td></tr> <tr><td>Base 75 - 20 mm Down</td><td></td></tr> <tr><td>Base 50 - 20mm Down</td><td></td></tr> <tr><td>Bedding Sand 50</td><td></td></tr> <tr><td>Geotextile</td><td>Y</td></tr> <tr><td>Compacted Subbase</td><td>Y</td></tr> </table> <p><b>Surfacing Materials (Type)</b></p> <table border="1"> <tr><td>Asphalt 100 mm</td><td></td></tr> <tr><td>Concrete Apron 200 mm</td><td></td></tr> <tr><td>Conc. 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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	EAST AREA PARKS
Component	EA YARD

**STORAGE COMPOUND**

Room #	EA 12
Yard Area #	5

Area SM	9,290.9
Area SF	100,000

LEED	

<p><b>Base Course (Depth)</b></p> <table border="1"> <tr><td>Subbase 450 -150 mm</td><td>Y</td></tr> <tr><td>Subbase 425 -150 mm</td><td></td></tr> <tr><td>Base 300 - 150mm Down</td><td></td></tr> <tr><td>Base 150 - 50 mm Down</td><td>Y</td></tr> <tr><td>Base 300 - 50 mm Down</td><td></td></tr> <tr><td>Base 200 - 20 mm Down</td><td></td></tr> <tr><td>Base 100 - 20 mm Down</td><td></td></tr> <tr><td>Base 75 - 20 mm Down</td><td></td></tr> <tr><td>Base 50 - 20mm Down</td><td></td></tr> <tr><td>Bedding Sand 50</td><td></td></tr> <tr><td>Geotextile</td><td>Y</td></tr> <tr><td>Compacted Subbase</td><td>Y</td></tr> </table> <p><b>Surfacing Materials (Type)</b></p> <table border="1"> <tr><td>Asphalt 100 mm</td><td></td></tr> <tr><td>Concrete Apron 200 mm</td><td>Y</td></tr> <tr><td>Conc. 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**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**FRONT VESTIBULE**

<b>Room #</b>	<b>SA 01</b>
---------------	--------------

<b>Area SM</b>	<b>9.3</b>
<b>Area SF</b>	<b>100</b>

<b>Rating:</b>	
<b>Occ Load</b>	<b>2</b>
<b>Outside View</b>	<b>Y</b>
<b>Natural Light</b>	<b>Y</b>

<p><b>Finishes</b></p> <p>Wall <u>ALUM/GLASS</u></p> <p>Base <u>CT</u></p> <p>Floor <u>CT</u></p> <p>Ceiling <u>ACT</u></p> <p>Window Treatment <u></u></p> <p><b>Door</b></p> <p>Type <u>HM/ALU</u></p> <p>Finish <u>ANO</u></p> <p>Rating <u></u></p> <p>Window <u>Y</u></p> <p>Sidelite <u></u></p> <p><b>HVAC</b></p> <p>Supply Air <u>Y</u></p> <p>Air Conditioning <u>Y</u></p> <p>Thermostat <u>Y</u></p> <p>Make-Up Air <u></u></p> <p>Separate A/C <u></u></p> <p>Exhaust Fan <u></u></p> <p>Humidified <u></u></p> <p>Dehumidified <u></u></p> <p>Range Hood <u></u></p> <p>Odour Control <u></u></p> <p>Fume Extraction <u></u></p> <p>Vehicle Exhaust <u></u></p> <p>CO<sub>2</sub> Control <u></u></p> <p>NOx Control <u></u></p> <p>CO Monitoring <u></u></p> <p>VOC Monitoring <u></u></p> <p>CH<sub>4</sub> Monitoring <u></u></p> <p>Clothes Drier <u></u></p> <p>Heat Curtains at Door <u></u></p> <p><b>Special Power</b></p> <p>Generator Backup <u></u></p>	<p><b>Millwork</b></p> <p>Counter <u></u></p> <p>Credenza <u></u></p> <p>Lower cabinet <u></u></p> <p>Upper cabinet <u></u></p> <p>Shelving Unit <u></u></p> <p>Shelves <u></u></p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset <u>LS</u></p> <p>Millwork Locks <u></u></p> <p>Card Access Control <u></u></p> <p>Intrusion Detection <u></u></p> <p>Arm/Disarm Keypad <u></u></p> <p>CCTV Camera <u>Y</u></p> <p>CCTV Display Monitor <u></u></p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp <u></u></p> <p>SS Sink - Double Comp. <u></u></p> <p>Lavatory - Countertop <u></u></p> <p>Lavatory - Freestanding Gang <u></u></p> <p>Toilet (Auto Flush) <u></u></p> <p>Toilet - Handicapped (Auto Flush) <u></u></p> <p>Urinal - Waterless <u></u></p> <p>Water Fountain <u></u></p> <p>Dispenser Hook-up <u></u></p> <p>Mop Sink <u></u></p> <p>Floor Drain <u></u></p> <p>Hose Bibb (Interior) <u></u></p> <p>Oil/Water Separator <u></u></p> <p>Grit Separator <u></u></p> <p>Eyewash Station <u></u></p> <p>Shower <u></u></p> <p>Clothes Washer <u></u></p> <p>Dousing Shower <u></u></p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. <u></u></p> <p>Projection Screen <u></u></p>	<p><b>Acoustics</b></p> <p>Wall STC <u></u></p> <p>Door Sealing <u></u></p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone <u></u></p> <p>Wall Telephone <u></u></p> <p>Photocopier <u></u></p> <p>Network Printer <u></u></p> <p>Facsimile <u></u></p> <p>Two-Way Radio Base <u></u></p> <p>Television <u></u></p> <p>Wall Clock <u></u></p> <p>Intercom <u></u></p> <p>Other: <u></u></p> <p><b>Special Lighting</b></p> <p>Decorative - Wall <u></u></p> <p>Decorative - Pendant <u></u></p> <p>Direct/Indirect <u></u></p> <p>Display <u></u></p> <p>Millwork <u></u></p> <p>Pendant Area Ltg. <u></u></p> <p>Pot Lights <u></u></p> <p>Signage <u></u></p> <p>Task, Perm Installed <u></u></p> <p><b>Equipment</b></p> <p>Bridge crane <u></u></p> <p>Vehicle Wash <u></u></p> <p>Air Compressor <u></u></p> <p>Wash Water Treat. <u></u></p> <p><b>Other</b></p> <p>Compress Air St. <u></u></p> <p>Vehicle Hoist <u></u></p> <p>Dust Collection <u></u></p> <p>Hazmat Storage <u></u></p> <p>Paper Shredder <u></u></p>
<p><b>Additional Comments:</b> Provide heating for recovery and air conditioning for transitional temperature control.</p>		
<p><b>Refer to Program of Requirements for additional commentary.</b></p>		

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**GENERAL WAITING**

<b>Room #</b>	<b>SA 02</b>
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<b>Area SM</b>	<b>18.6</b>
<b>Area SF</b>	<b>200</b>

<b>Rating:</b>	
<b>Occ Load</b>	10 Adults intermittent 2 Adults continuous
<b>Outside View</b>	Y
<b>Natural Light</b>	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ALU Finish <input type="checkbox"/> ANO Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> Y CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Y Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NO <sub>x</sub> Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<b>Additional Comments:</b> Provide 2 bulletin boards on wall and brochure rack. <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div>					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**RECEPTION/SERVICE COUNTER**

<b>Room #</b>	<b>SA 03</b>
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<b>Area SM</b>	<b>16.3</b>
<b>Area SF</b>	<b>175</b>

<b>Rating:</b>	
<b>Occ Load</b>	2 Adults continuous
<b>Outside View</b>	Y
<b>Natural Light</b>	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> 1 Credenza <input type="checkbox"/> 1 Lower cabinet <input type="checkbox"/> 1 Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> Finish <input type="checkbox"/> Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> Y CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (3) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Y Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Y Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> Provide 4" x 9.5" x 11" deep mail slots for 240 employees. Two workstations necessary.</p>					
<p align="center">Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**MALE PUBLIC/OFFICE WASHROOM**

<b>Rating:</b>	
<b>Occ Load</b>	1 Adult intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Room #</b>	<b>SA 04A</b>
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<b>Area SM</b>	<b>4.7</b>
<b>Area SF</b>	<b>50</b>

**Finishes**

Wall	DW/PT
Base	CT
Floor	CT
Ceiling	ACT
Window Treatment	

**Door**

Type	
Finish	
Rating	
Window	
Sidelite	

**HVAC**

Supply Air	
Air Conditioning	
Thermostat	
Make-Up Air	
Separate A/C	
Exhaust Fan	Y
Humidified	
Dehumidified	
Range Hood	
Odour Control	Y
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	
NO <sub>x</sub> Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
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**Millwork**

Counter	
Credenza	
Lower cabinet	1
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	PS
Millwork Locks	
Card Access Control	
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	Y (1)
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	Y (1)
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Mop Sink	
Floor Drain	Y (1)
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	50
Door Sealing	

**Electronic Equipment**

Computer/Telephone	
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	
Wall Clock	
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

**Additional Comments:** Not to be located on an exterior wall, vandal proof sprinkler head. Space pressure to be negative with respect to adjacent spaces. Provide both hand dryer and paper towel dispenser.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (1st)

**FEMALE PUBLIC/OFFICE WASHROOM**

Room #	SA 04B
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Area SM	4.7
Area SF	50

Rating:	
Occ Load	1 Adult intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> 1 Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> Finish <input type="checkbox"/> Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Y (1) Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Y (1) Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y(1) Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> Not to be located on an exterior wall, vandal proof sprinkler head. Space pressure to be negative with respect to adjacent spaces. Provide both hand dryer and paper towel dispenser.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (2nd)</b>

**MALE PUBLIC/OFFICE WASHROOM**

<b>Room #</b>	<b>SA 04C</b>
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<b>Area SM</b>	<b>14.4</b>
<b>Area SF</b>	<b>155</b>

<b>Rating:</b>	
<b>Occ Load</b>	4 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall _____ DW/PT _____ Base _____ CT _____ Floor _____ CT _____ Ceiling _____ ACT _____ Window Treatment _____		<b>Millwork</b> Counter _____ 1 _____ Credenza _____ Lower cabinet _____ 1 _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ 50 _____ Door Sealing _____	
<b>Door</b> Type _____ Finish _____ Rating _____ Window _____ Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ PS _____ Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y _____ Air Conditioning _____ Y _____ Thermostat _____ Y _____ Make-Up Air _____ Separate A/C _____ Exhaust Fan _____ Y _____ Humidified _____ Y _____ Dehumidified _____ Range Hood _____ Odour Control _____ Y _____ Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ Y _____ NOx Control _____ CO Monitoring _____ VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Y (3) _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Y (1) _____ Toilet - Handicapped (Auto Flush) _____ Y (1) _____ Urinal - Waterless _____ Y (2) _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Y _____ Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____	
<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____		<b>Additional Comments:</b> Vandal proof sprinkler head. Space pressure to be negative with respect to adjacent spaces. Provide both hand dryer and paper towel dispenser.			
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (2nd)</b>

**FEMALE PUBLIC/OFFICE WASHROOM**

<b>Room #</b>	<b>SA 04D</b>
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<b>Area SM</b>	<b>14.4</b>
<b>Area SF</b>	<b>155</b>

<b>Rating:</b>	
<b>Occ Load</b>	4 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> 1 Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> 1 Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> Finish <input type="checkbox"/> Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
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<p><b>Additional Comments:</b> Vandal proof sprinkler head. Space pressure to be negative with respect to adjacent spaces. Provide both hand dryer and paper towel dispenser.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**STAFF VESTIBULE**

<b>Room #</b>	<b>SA 05</b>
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<b>Area SM</b>	<b>9.3</b>
<b>Area SF</b>	<b>100</b>

<b>Rating:</b>	
<b>Occ Load</b>	2 Adults intermittent
<b>Outside View</b>	Y
<b>Natural Light</b>	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
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<p><b>Additional Comments:</b> Provide heating for recovery and air conditioning for transitional temperature control.</p>					
<p align="center">Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**PHOTOCOPIER 1**

<b>Room #</b>	<b>SA 06A</b>
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<b>Area SM</b>	<b>13.9</b>
<b>Area SF</b>	<b>75</b>

<b>Rating:</b>	
<b>Occ Load</b>	1 Adult continuous
<b>Outside View</b>	
<b>Natural Light</b>	

<p><b>Finishes</b></p> <table border="1"> <tr><td>Wall</td><td>DW/PT</td></tr> <tr><td>Base</td><td>VCB</td></tr> <tr><td>Floor</td><td>SV</td></tr> <tr><td>Ceiling</td><td>ACT</td></tr> <tr><td>Window Treatment</td><td></td></tr> </table> <p><b>Door</b></p> <table border="1"> <tr><td>Type</td><td></td></tr> <tr><td>Finish</td><td></td></tr> <tr><td>Rating</td><td></td></tr> <tr><td>Window</td><td></td></tr> <tr><td>Sidelite</td><td></td></tr> </table> <p><b>HVAC</b></p> <table border="1"> <tr><td>Supply Air</td><td>Y</td></tr> <tr><td>Air Conditioning</td><td>Y</td></tr> <tr><td>Thermostat</td><td>Y</td></tr> <tr><td>Make-Up Air</td><td></td></tr> <tr><td>Separate A/C</td><td></td></tr> <tr><td>Exhaust Fan</td><td>Y</td></tr> <tr><td>Humidified</td><td>Y</td></tr> <tr><td>Dehumidified</td><td></td></tr> <tr><td>Range Hood</td><td></td></tr> <tr><td>Odour Control</td><td></td></tr> <tr><td>Fume Extraction</td><td>Y</td></tr> <tr><td>Vehicle Exhaust</td><td></td></tr> <tr><td>CO<sub>2</sub> Control</td><td>Y</td></tr> <tr><td>NO<sub>x</sub> Control</td><td></td></tr> <tr><td>CO Monitoring</td><td></td></tr> <tr><td>VOC Monitoring</td><td>Y</td></tr> <tr><td>CH<sub>4</sub> Monitoring</td><td></td></tr> <tr><td>Clothes Drier</td><td></td></tr> <tr><td>Heat Curtains at Door</td><td></td></tr> </table> <p><b>Special Power</b></p> <table border="1"> <tr><td>Generator Backup</td><td></td></tr> </table>	Wall	DW/PT	Base	VCB	Floor	SV	Ceiling	ACT	Window Treatment		Type		Finish		Rating		Window		Sidelite		Supply Air	Y	Air Conditioning	Y	Thermostat	Y	Make-Up Air		Separate A/C		Exhaust Fan	Y	Humidified	Y	Dehumidified		Range Hood		Odour Control		Fume Extraction	Y	Vehicle Exhaust		CO <sub>2</sub> Control	Y	NO <sub>x</sub> Control		CO Monitoring		VOC Monitoring	Y	CH <sub>4</sub> Monitoring		Clothes Drier		Heat Curtains at Door		Generator Backup		<p><b>Millwork</b></p> <table border="1"> <tr><td>Counter</td><td></td></tr> <tr><td>Credenza</td><td></td></tr> <tr><td>Lower cabinet</td><td>1</td></tr> <tr><td>Upper cabinet</td><td>1</td></tr> <tr><td>Shelving Unit</td><td>1</td></tr> <tr><td>Shelves</td><td></td></tr> </table> <p><b>Security Door Set Millwork Locks</b></p> <table border="1"> <tr><td>Doorset</td><td>LS</td></tr> <tr><td>Millwork Locks</td><td></td></tr> <tr><td>Card Access Control</td><td></td></tr> <tr><td>Intrusion Detection</td><td></td></tr> <tr><td>Arm/Disarm Keypad</td><td></td></tr> <tr><td>CCTV Camera</td><td>Y</td></tr> <tr><td>CCTV Display Monitor</td><td></td></tr> </table> <p><b>Plumbing</b></p> <table border="1"> <tr><td>SS Sink - Single Comp</td><td></td></tr> <tr><td>SS Sink - Double Comp.</td><td></td></tr> <tr><td>Lavatory - Countertop</td><td></td></tr> <tr><td>Lavatory - Freestanding Gang</td><td></td></tr> <tr><td>Toilet (Auto Flush)</td><td></td></tr> <tr><td>Toilet - Handicapped (Auto Flush)</td><td></td></tr> <tr><td>Urinal - Waterless</td><td></td></tr> <tr><td>Water Fountain</td><td></td></tr> <tr><td>Dispenser Hook-up</td><td></td></tr> <tr><td>Dishwasher Hook-up</td><td></td></tr> <tr><td>Mop Sink</td><td></td></tr> <tr><td>Floor Drain</td><td></td></tr> <tr><td>Hose Bibb (Interior)</td><td></td></tr> <tr><td>Oil/Water Separator</td><td></td></tr> <tr><td>Grit Separator</td><td></td></tr> <tr><td>Eyewash Station</td><td></td></tr> <tr><td>Shower</td><td></td></tr> <tr><td>Clothes Washer</td><td></td></tr> <tr><td>Dousing Shower</td><td></td></tr> </table> <p><b>Audio Visual</b></p> <table border="1"> <tr><td>Projector Ceiling Mtd.</td><td></td></tr> <tr><td>Projection Screen</td><td></td></tr> </table>	Counter		Credenza		Lower cabinet	1	Upper cabinet	1	Shelving Unit	1	Shelves		Doorset	LS	Millwork Locks		Card Access Control		Intrusion Detection		Arm/Disarm Keypad		CCTV Camera	Y	CCTV Display Monitor		SS Sink - Single Comp		SS Sink - Double Comp.		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**Additional Comments:** Provide four (4) sections of 18" deep x 36" x 84" high steel shelving. Space pressure to be negative with respect to adjacent spaces. Additional electrical receptacles above collating counter.

**Refer to Program of Requirements for additional commentary.**

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (2nd)</b>

**PHOTOCOPIER 2**

<b>Room #</b>	<b>SA 06B</b>
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<b>Area SM</b>	<b>13.9</b>
<b>Area SF</b>	<b>75</b>

<b>Rating:</b>	
<b>Occ Load</b>	1 Adult continuous
<b>Outside View</b>	
<b>Natural Light</b>	

<p><b>Finishes</b></p> <table border="1"> <tr><td>Wall</td><td>DW/PT</td></tr> <tr><td>Base</td><td>VCB</td></tr> <tr><td>Floor</td><td>SV</td></tr> <tr><td>Ceiling</td><td>ACT</td></tr> <tr><td>Window Treatment</td><td></td></tr> </table> <p><b>Door</b></p> <table border="1"> <tr><td>Type</td><td></td></tr> <tr><td>Finish</td><td></td></tr> <tr><td>Rating</td><td></td></tr> <tr><td>Window</td><td></td></tr> <tr><td>Sidelite</td><td></td></tr> </table> <p><b>HVAC</b></p> <table border="1"> <tr><td>Supply Air</td><td>Y</td></tr> <tr><td>Air Conditioning</td><td>Y</td></tr> <tr><td>Thermostat</td><td>Y</td></tr> <tr><td>Make-Up Air</td><td></td></tr> <tr><td>Separate A/C</td><td></td></tr> <tr><td>Exhaust Fan</td><td>Y</td></tr> <tr><td>Humidified</td><td>Y</td></tr> <tr><td>Dehumidified</td><td></td></tr> <tr><td>Range Hood</td><td></td></tr> <tr><td>Odour Control</td><td></td></tr> <tr><td>Fume Extraction</td><td>Y</td></tr> <tr><td>Vehicle Exhaust</td><td></td></tr> <tr><td>CO<sub>2</sub> Control</td><td>Y</td></tr> <tr><td>NO<sub>x</sub> Control</td><td></td></tr> <tr><td>CO Monitoring</td><td></td></tr> <tr><td>VOC Monitoring</td><td>Y</td></tr> <tr><td>CH<sub>4</sub> Monitoring</td><td></td></tr> <tr><td>Clothes Drier</td><td></td></tr> <tr><td>Heat Curtains at Door</td><td></td></tr> </table> <p><b>Special Power</b></p> <table border="1"> <tr><td>Generator Backup</td><td></td></tr> </table>	Wall	DW/PT	Base	VCB	Floor	SV	Ceiling	ACT	Window Treatment		Type		Finish		Rating		Window		Sidelite		Supply Air	Y	Air Conditioning	Y	Thermostat	Y	Make-Up Air		Separate A/C		Exhaust Fan	Y	Humidified	Y	Dehumidified		Range Hood		Odour Control		Fume Extraction	Y	Vehicle Exhaust		CO <sub>2</sub> Control	Y	NO <sub>x</sub> Control		CO Monitoring		VOC Monitoring	Y	CH <sub>4</sub> Monitoring		Clothes Drier		Heat Curtains at Door		Generator Backup		<p><b>Millwork</b></p> <table border="1"> <tr><td>Counter</td><td></td></tr> <tr><td>Credenza</td><td></td></tr> <tr><td>Lower cabinet</td><td>1</td></tr> <tr><td>Upper cabinet</td><td>1</td></tr> <tr><td>Shelving Unit</td><td>1</td></tr> <tr><td>Shelves</td><td></td></tr> </table> <p><b>Security Door Set Millwork Locks</b></p> <table border="1"> <tr><td>Doorset</td><td>LS</td></tr> <tr><td>Millwork Locks</td><td></td></tr> <tr><td>Card Access Control</td><td></td></tr> <tr><td>Intrusion Detection</td><td></td></tr> <tr><td>Arm/Disarm Keypad</td><td></td></tr> <tr><td>CCTV Camera</td><td>Y</td></tr> <tr><td>CCTV Display Monitor</td><td></td></tr> </table> <p><b>Plumbing</b></p> <table border="1"> <tr><td>SS Sink - Single Comp</td><td></td></tr> <tr><td>SS Sink - Double Comp.</td><td></td></tr> <tr><td>Lavatory - Countertop</td><td></td></tr> <tr><td>Lavatory - Freestanding Gang</td><td></td></tr> <tr><td>Toilet (Auto Flush)</td><td></td></tr> <tr><td>Toilet - Handicapped (Auto Flush)</td><td></td></tr> <tr><td>Urinal - Waterless</td><td></td></tr> <tr><td>Water Fountain</td><td></td></tr> <tr><td>Dispenser Hook-up</td><td></td></tr> <tr><td>Dishwasher Hook-up</td><td></td></tr> <tr><td>Mop Sink</td><td></td></tr> <tr><td>Floor Drain</td><td></td></tr> <tr><td>Hose Bibb (Interior)</td><td></td></tr> <tr><td>Oil/Water Separator</td><td></td></tr> <tr><td>Grit Separator</td><td></td></tr> <tr><td>Eyewash Station</td><td></td></tr> <tr><td>Shower</td><td></td></tr> <tr><td>Clothes Washer</td><td></td></tr> <tr><td>Dousing Shower</td><td></td></tr> </table> <p><b>Audio Visual</b></p> <table border="1"> <tr><td>Projector Ceiling Mtd.</td><td></td></tr> <tr><td>Projection Screen</td><td></td></tr> </table>	Counter		Credenza		Lower cabinet	1	Upper cabinet	1	Shelving Unit	1	Shelves		Doorset	LS	Millwork Locks		Card Access Control		Intrusion Detection		Arm/Disarm Keypad		CCTV Camera	Y	CCTV Display Monitor		SS Sink - Single Comp		SS Sink - Double Comp.		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Projection Screen		<p><b>Acoustics</b></p> <table border="1"> <tr><td>Wall STC</td><td></td></tr> <tr><td>Door Sealing</td><td></td></tr> </table> <p><b>Electronic Equipment</b></p> <table border="1"> <tr><td>Computer/Telephone</td><td>Y (2)</td></tr> <tr><td>Wall Telephone</td><td></td></tr> <tr><td>Photocopier</td><td>Y</td></tr> <tr><td>Network Printer</td><td>Y</td></tr> <tr><td>Facsimile</td><td>Y</td></tr> <tr><td>Two-Way Radio Base</td><td></td></tr> <tr><td>Television</td><td></td></tr> <tr><td>Wall Clock</td><td></td></tr> <tr><td>Intercom</td><td></td></tr> <tr><td>Other:</td><td></td></tr> </table> <p><b>Special Lighting</b></p> <table border="1"> <tr><td>Decorative - Wall</td><td></td></tr> <tr><td>Decorative - Pendant</td><td></td></tr> <tr><td>Direct/Indirect</td><td></td></tr> <tr><td>Display</td><td></td></tr> <tr><td>Millwork</td><td></td></tr> <tr><td>Pendant Area Ltg.</td><td></td></tr> <tr><td>Pot Lights</td><td></td></tr> <tr><td>Signage</td><td></td></tr> <tr><td>Task, Perm Installed</td><td></td></tr> </table> <p><b>Equipment</b></p> <table border="1"> <tr><td>Bridge crane</td><td></td></tr> <tr><td>Vehicle Wash</td><td></td></tr> <tr><td>Air Compressor</td><td></td></tr> <tr><td>Wash Water Treat.</td><td></td></tr> </table> <p><b>Other</b></p> <table border="1"> <tr><td>Compress Air St.</td><td></td></tr> <tr><td>Vehicle Hoist</td><td></td></tr> <tr><td>Dust Collection</td><td></td></tr> <tr><td>Hazmat Storage</td><td></td></tr> <tr><td>Paper Shredder</td><td>Y</td></tr> </table>	Wall STC		Door Sealing		Computer/Telephone	Y (2)	Wall Telephone		Photocopier	Y	Network Printer	Y	Facsimile	Y	Two-Way Radio Base		Television		Wall Clock		Intercom		Other:		Decorative - Wall		Decorative - Pendant		Direct/Indirect		Display		Millwork		Pendant Area Ltg.		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**Additional Comments:** Provide four (4) sections of 18" deep x 36" x 84" high steel shelving. Space pressure to be negative with respect to adjacent spaces.

**Refer to Program of Requirements for additional commentary.**

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (2nd)</b>

**LARGE MEETING ROOM 1**

<b>Room #</b>	<b>SA 07A</b>
---------------	---------------

<b>Area SM</b>	<b>39</b>
<b>Area SF</b>	<b>420</b>

<b>Rating:</b>	
<b>Occ Load</b>	24 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall _____ DW/PT _____ Base _____ CPT _____ Floor _____ CPT _____ Ceiling _____ DW/ACT _____ Window Treatment _____ Y _____		<b>Millwork</b> Counter _____ Credenza _____ 1 _____ Lower cabinet _____ 1 _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ 55 _____ Door Sealing _____ Y _____	
<b>Door</b> Type _____ WOOD _____ Finish _____ STAIN _____ Rating _____ Window _____ Sidelite _____ Y _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS _____ Millwork Locks _____ Card Access Control _____ Y _____ Intrusion Detection _____ Arm/Disarm Keypad _____ Y _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Y (2) _____ Wall Telephone _____ Y _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Y _____ Wall Clock _____ Y _____ Intercom _____ Projector _____ Y _____	
<b>HVAC</b> Supply Air _____ Y _____ Air Conditioning _____ Y _____ Thermostat _____ Y _____ Make-Up Air _____ Separate A/C _____ Y _____ Exhaust Fan _____ Humidified _____ Y _____ Dehumidified _____ Range Hood _____ Odour Control _____ Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ Y _____ NOx Control _____ CO Monitoring _____ VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Y _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Y _____ Projection Screen _____ Y _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____	
<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____		<b>Additional Comments:</b> Adjacent to SA-07B with moveable wall (soundproofed) between them. Lighting dimmable and zoned for presentations. Telephone at computer.			
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (2nd)

**LARGE MEETING ROOM 2**

Room #	SA 07B
--------	--------

Area SM	39
Area SF	420

Rating:	
Occ Load	24 Adults intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> CPT Floor <input type="checkbox"/> CPT Ceiling <input type="checkbox"/> DW/ACT Window Treatment <input type="checkbox"/> Y		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> 1 Lower cabinet <input type="checkbox"/> 1 Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 55 Door Sealing <input type="checkbox"/> Y	
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<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (2nd)

**SMALL MEETING ROOM**

Rating:	
Occ Load	12 Adults intermittent
Outside View	
Natural Light	

Room #	SA 08
--------	-------

Area SM	26.5
Area SF	285

**Finishes**

Wall	DW/PT
Base	VCB
Floor	CPT
Ceiling	DW/ACT
Window Treatment	Y

**Door**

Type	WOOD
Finish	STAIN
Rating	
Window	
Sidelite	Y

**HVAC**

Supply Air	Y
Air Conditioning	Y
Thermostat	Y
Make-Up Air	
Separate A/C	Y
Exhaust Fan	
Humidified	Y
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
NOx Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
------------------	--

**Millwork**

Counter	
Credenza	
Lower cabinet	1
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	Y
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	Y
Projection Screen	Y

**Acoustics**

Wall STC	55
Door Sealing	Y

**Electronic Equipment**

Computer/Telephone	Y
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	
Wall Clock	Y
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	Y
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

**Additional Comments:** Lighting dimmable and zoned for presentations. Telephone at computer.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**LUNCH/MULTI-PURPOSE ROOM**

<b>Room #</b>	<b>SA 09</b>
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<b>Area SM</b>	<b>204.4</b>
<b>Area SF</b>	<b>2,200</b>

<b>Rating:</b>	
<b>Occ Load</b>	100 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

**Finishes**

Wall	DW/PT
Base	VCB
Floor	SV
Ceiling	ACT
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	
Sidelite	Y

**HVAC**

Supply Air	Y
Air Conditioning	Y
Thermostat	Y
Make-Up Air	Y
Separate A/C	Y
Exhaust Fan	Y
Humidified	Y
Dehumidified	
Range Hood	Y
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
NO <sub>x</sub> Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	Y
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**Millwork**

Counter	20 LF	1
Credenza		
Lower cabinet		1
Upper cabinet		1
Shelving Unit		
Shelves		

**Security Door Set Millwork Locks**

Doorset	PS
Millwork Locks	
Card Access Control	
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	Y
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	Y
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	Y
Dispenser Hook-up	Y (2)
Dishwasher Hook-up	Y (1)
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	Y
Projection Screen	Y

**Acoustics**

Wall STC	50
Door Sealing	Y

**Electronic Equipment**

Computer/Telephone	Y
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	Y
Wall Clock	Y
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

L Refrig	1
Dishwasher	1
Microwave	1
Coffee Machine	1
Vending	3
Refuse Containers	3

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

**Additional Comments:** Lighting dimmable and zoned for occasional presentations. Need 3 lockable bulletin boards (Jobs/Safety/General Notices). Network capability. Owner to provide computer station for staff to access general/safety bulletins (no internet connection)

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**MEN'S SHOPS/LOCKER WASHROOMS 1**

<b>Room #</b>	<b>SA 10A</b>
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<b>Area SM</b>	<b>24.6</b>
<b>Area SF</b>	<b>265</b>

<b>Rating:</b>	
<b>Occ Load</b>	8 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall <input type="checkbox"/> CT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> 20 LF <input type="checkbox"/> 1 Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PP Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Y (4) Lavatory - Wall-Hung in stall <input type="checkbox"/> Y (1) Toilet (Auto Flush) <input type="checkbox"/> Y (3) Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Y (1) Urinal - Waterless <input type="checkbox"/> Y (3) Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/> Mirror 12 LF <input type="checkbox"/> Y (1)	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> Space pressure to be negative with respect to adjacent spaces. Hand dryer (2), hair dryer (2) and paper towel dispenser.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (1st)

**MEN'S SHOPS/LOCKER WASHROOMS 2**

Room #	SA 10B
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Area SM	24.6
Area SF	265

Rating:	
Occ Load	8 Adults intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> CT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> 20 LF 1 Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PP Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Y (4) Lavatory - Wall-Hung in Stall <input type="checkbox"/> Y (1) Toilet (Auto Flush) <input type="checkbox"/> Y (3) Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Y (1) Urinal - Waterless <input type="checkbox"/> Y (3) Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/> Mirror 12 LF <input type="checkbox"/> Y (1)	
<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>		<b>Additional Comments:</b> Space pressure to be negative with respect to adjacent spaces. Hand dryer (2), hair dryer (2) and paper towel dispenser.			
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (1st)

**WOMEN'S SHOPS/LOCKER  
WASHROOMS 1**

Room #	SA 11A
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Area SM	24.6
Area SF	265

Rating:	
Occ Load	8 Adults intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> CT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> 20 LF <input type="checkbox"/> 1 Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PP Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Y (4) Lavatory - Wall-hung in Stall <input type="checkbox"/> Y (1) Toilet (Auto Flush) <input type="checkbox"/> Y (4) Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Y (1) Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/> Mirror 12 LF <input type="checkbox"/> Y (1)	
<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>		<b>Additional Comments:</b> Space pressure to be negative with respect to adjacent spaces. Hand dryer (2), hair dryer (2) and paper towel dispenser.			
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	SHARED AMENITIES
<b>Component (Floor)</b>	SA ADMINISTRATION (1st)

**WOMEN'S SHOPS/LOCKER  
WASHROOMS 2**

<b>Room #</b>	SA 11B
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<b>Area SM</b>	24.6
<b>Area SF</b>	265

<b>Rating:</b>	
<b>Occ Load</b>	8 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall _____ CT Base _____ CT Floor _____ CT Ceiling _____ ACT Window Treatment _____		<b>Millwork</b> Counter _____ 20 LF 1 Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ 50 Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ PP Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y Air Conditioning _____ Y Thermostat _____ Y Make-Up Air _____ Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Y Dehumidified _____ Range Hood _____ Odour Control _____ Y Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ Y NOx Control _____ CO Monitoring _____ VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Y (4) Lavatory - Wall-hung in Stall _____ Y (1) Toilet (Auto Flush) _____ Y (4) Toilet - Handicapped (Auto Flush) _____ Y (1) Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Y Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____ Mirror 12 LF _____ Y (1)	
				<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____	
<p><b>Additional Comments:</b> Space pressure to be negative with respect to adjacent spaces. Hand dryer (2), hair dryer (2) and paper towel dispenser.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**FIRST AID/NURSE'S STATION**

<b>Room #</b>	<b>SA 12</b>
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<b>Area SM</b>	<b>11.6</b>
<b>Area SF</b>	<b>125</b>

<b>Rating:</b>	
<b>Occ Load</b>	2 Adults intermittent 1 Adult continuous
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y Wall Telephone <input type="checkbox"/> Y Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> Y (1) SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y (1) Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Y Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/> Lockable 1st Aid Cab. <input type="checkbox"/> Y (1)	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: Dimmable lighting.					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**HOUSEKEEPING SUPPLIES 1**

<b>Room #</b>	<b>SA 13A</b>
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<b>Area SM</b>	<b>18.6</b>
<b>Area SF</b>	<b>200</b>

<b>Rating:</b>	1 HR FRR
<b>Occ Load</b>	2 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> 40 LF 1 Shelves <input type="checkbox"/> 5 TIER 1		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Y Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/> Lockable Cabinet <input type="checkbox"/> Y (1)	
<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>		Additional Comments: On main floor.			
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (2nd)</b>

**HOUSEKEEPING SUPPLIES 2**

<b>Room #</b>	<b>SA 13B</b>
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<b>Area SM</b>	<b>18.6</b>
<b>Area SF</b>	<b>200</b>

<b>Rating:</b>	1 HR FRR
<b>Occ Load</b>	2 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> 40 LF 1 Shelves <input type="checkbox"/> 5 TIER 1		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Y Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Y Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/> Lockable Cabinet <input type="checkbox"/> Y (1)	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: On second floor if required.					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (1st)

**MEN'S LOCKERS & SHOWERS**

Room #	SA 14
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Area SM	92.9
Area SF	2,250

Rating:	
Occ Load	120 Adults peak (intermittent)
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> DW/CT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PP Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> HAIR DRYERS <input type="checkbox"/> Y (4)	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Y Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y (2) Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Y (20) Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> MIRROR: 12 LF <input type="checkbox"/> Y (1) LOCKERS: 15 X 18 <input type="checkbox"/> Y (150) LOCKERS: 18 X 18 <input type="checkbox"/> Y (10) BENCHES: 60 LF <input type="checkbox"/> Y (1)	
		<b>Other</b> COAT CLOSETS 30LF <input type="checkbox"/> Y (1) FLEXIBLE DEMISING <input type="checkbox"/> TO FEMALE SHOWER <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>			
Additional Comments: Space pressure to be negative with respect to adjacent spaces. Hair Dryers (4).					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (1st)

**WOMEN'S LOCKERS & SHOWERS**

Room #	SA 15
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Area SM	116
Area SF	1,250

Rating:	
Occ Load	80 Adults intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> DW/CT Base <input type="checkbox"/> CT Floor <input type="checkbox"/> CT Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 50 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> PP Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> HAIR DRYERS <input type="checkbox"/> Y (4)	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Y Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y (1) Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Y (10) Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> MIRROR: 12 LF <input type="checkbox"/> Y (1) LOCKERS: 15 X 18 <input type="checkbox"/> Y (76) LOCKERS: 18 X 18 <input type="checkbox"/> Y (4) BENCHES: 30 LF <input type="checkbox"/> Y (1)	
				<b>Other</b> COAT CLOSETS 16LF <input type="checkbox"/> Y (1) FLEXIBLE DEMISING <input type="checkbox"/> TO MALE SHOWER <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> Space pressure to be negative with respect to adjacent spaces. Hair dryers (4).</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**LAUNDRY ROOM**

<b>Room #</b>	<b>SA 16</b>
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<b>Area SM</b>	<b>11.2</b>
<b>Area SF</b>	<b>120</b>

<b>Rating:</b>	
<b>Occ Load</b>	1 Adult intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/> 2 - Tier <input type="checkbox"/> 24 LF		<b>Acoustics</b> Wall STC <input type="checkbox"/> 55 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Y Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> NOx Control <input type="checkbox"/> No <sub>2</sub> Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Y Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> Y SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer/Dryer <input type="checkbox"/> Y Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> Provide heavy duty commercial washing machine and clothes dryer.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (2nd)</b>

**ADDITIONAL TRAINING ROOM**

<b>Room #</b>	<b>SA 17</b>
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<b>Area SM</b>	<b>111.5</b>
<b>Area SF</b>	<b>1,200</b>

<b>Rating:</b>	
<b>Occ Load</b>	60 Adults continuous
<b>Outside View</b>	
<b>Natural Light</b>	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> White Board <input type="checkbox"/> 1 Chalk Board <input type="checkbox"/> 1 Lower cabinet <input type="checkbox"/> Y Upper cabinet <input type="checkbox"/> Y Bulletin Board <input type="checkbox"/> 1 Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> Finish <input type="checkbox"/> Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (3) Wall Telephone <input type="checkbox"/> Y Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Y Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Y Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Y Projection Screen Motorized <input type="checkbox"/> Y		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Y (2) Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: Movable dividing partition.					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

<b>Division</b>	SHARED AMENITIES
<b>Component (Floor)</b>	SA ADMINISTRATION (2nd)

**ADDITIONAL STORAGE SPACE (UNFINISHED)**

<b>Room #</b>	SA 18
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<b>Area SM</b>	48.3
<b>Area SF</b>	520

<b>Rating:</b>	
<b>Occ Load</b>	
<b>Outside View</b>	
<b>Natural Light</b>	

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>White Board _____</p> <p>Chalk Board _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Bulletin Board _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen Motorized _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
<p><b>Additional Comments:</b></p> <div style="border: 1px solid black; height: 20px; width: 100%;"></div>		
<p>Refer to Program of Requirements for additional commentary.</p>		

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component (Floor)	SA ADMINISTRATION (2nd)

**ADDITIONAL OFFICE AREA (UNFINISHED)**

Room #	SA 19
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Area SM	128.7
Area SF	1,385

Rating:	
Occ Load	
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>White Board _____</p> <p>Chalk Board _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Bulletin Board _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen Motorized _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone Y (6)</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
<p><b>Additional Comments:</b> Unfinished space for future expansion</p>		
<p>Refer to Program of Requirements for additional commentary.</p>		

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA MISC

**MAIN ELECTRICAL ROOM**

Room #	SA 20 (ELEC 1)
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Area SM	As req'd
Area SF	As req'd

Rating:	1 HR FRR
Occ Load	Unoccupied
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____ HM/ST</p> <p>Finish _____ PT</p> <p>Rating _____ 0.75 HR FRR</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____ Y</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____ Y</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NO<sub>x</sub> Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____ LS</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Dishwasher Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____ Y</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
<p><b>Additional Comments:</b></p> <p>_____</p> <p>_____</p> <p>_____</p>		
<p>Refer to Program of Requirements for additional commentary.</p>		

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA MISC

**MECHANICAL ROOM**

Room #	SA 21A (MECH-1)
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Area SM	As req'd
Area SF	As req'd

Rating:	1 HR FRR
Occ Load	2 Adults intermittent
Outside View	
Natural Light	

**Finishes**

Wall	
Base	
Floor	
Ceiling	
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	0.75 HR FRR
Window	
Sidelite	

**HVAC**

Supply Air	Y
Air Conditioning	
Thermostat	Y
Make-Up Air	Y
Separate A/C	
Exhaust Fan	Y
Humidified	
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	
NO <sub>x</sub> Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	Y
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
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**Millwork**

Counter	
Credenza	
Lower cabinet	
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	Y (3)
Hose Bibb (Interior)	Y (1)
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	50*
Door Sealing	

**Electronic Equipment**

Computer/Telephone	Y
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	
Wall Clock	
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	Y
Wash Water Treat.	

**Other**

Compress Air St.	Y (2)
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

**Additional Comments:** Space to house mechanical equipment and related electrical. To be accessible from second storey via staircase. Alternate access via permanent ladder to roof. \*Wall STC 50 if Mechanical Room is adjacent to occupied space(s).

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA GROSS-UP

**MECHANICAL DUCT/PIPE SHAFT**

Room #	SA 21B (MECH-2)
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Area SM	As req'd
Area SF	As req'd

Rating:	1 HR FRR
Occ Load	Unoccupied
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall <u>SHAFT-WALL</u></p> <p>Base _____</p> <p>Floor <u>GRATING</u></p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type <u>HM/ST</u></p> <p>Finish <u>PT</u></p> <p>Rating <u>1 HR.</u></p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning <u>VIA RETURN</u></p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains <u>at Door</u></p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Dishwasher Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
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**Additional Comments:** Accessible shaft through second floor to main floor ceiling space for access to valves, fire dampers and controls.

**Refer to Program of Requirements for additional commentary.**

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA MISC

**MAIN TELECOM ROOM**

Room #	SA 22 (TELE 1)
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Area SM	As req'd
Area SF	As req'd

Rating:	
Occ Load	Unoccupied
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____ Y</p> <p>Make-Up Air _____</p> <p>Separate A/C _____ Y</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____ LS</p> <p>Millwork Locks _____</p> <p>Card Access Control _____ Y</p> <p>Intrusion Detection _____ Y</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Dishwasher Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____ Y</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
<p><b>Additional Comments:</b></p> <div style="border: 1px solid black; height: 30px; width: 100%;"></div>		
<p>Refer to Program of Requirements for additional commentary.</p>		

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component (Floor)</b>	<b>SA ADMINISTRATION (1st)</b>

**EYE WASH**

<b>Room #</b>	<b>SA 23</b>
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<b>Area SM</b>	<b>0.93</b>
<b>Area SF</b>	<b>10</b>

<b>Rating:</b>	
<b>Occ Load</b>	1 Adult Intermittent
<b>Outside View</b>	
<b>Natural Light</b>	

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp. _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____ Y (1)</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____ Y (1)</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
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**Additional Comments:** First aid cabinet.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA HEATED GARAGE

**ADDITIONAL TRUCK BAY**

Room #	SA 24
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Area SM	157.9
Area SF	1,700

Rating:	
Occ Load	
Outside View	
Natural Light	Y

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Y Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y Air Conditioning _____ Thermostat _____ Y Make-Up Air _____ Y Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ Y NOx Control _____ Y CO Monitoring _____ Y VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Mop Sink _____ Floor Drain _____ Y Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Y Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Y Vehicle Wash _____ Y Air Compressor _____ Wash Water Treat. _____	
				<b>Other</b> Compress Air St. _____ Y (1) Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____	
<p><b>Additional Comments:</b> Grit separator to be open pit with grating cover in room. Provide 40' concrete apron at overhead doors.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA HEATED GARAGE

**VEHICLE WASH BAY**

Room #	SA 25
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Area SM	116.1
Area SF	1,250

Rating:	
Occ Load	1
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> CONC-EPOXY Base <input type="checkbox"/> CONC-EPOXY Floor <input type="checkbox"/> CONC-EPOXY Ceiling <input type="checkbox"/> METAL Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Y Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> Y CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Y Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Y Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> NOx Control <input type="checkbox"/> Y CO Monitoring <input type="checkbox"/> Y VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Y Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Y Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Y Air Compressor <input type="checkbox"/> Y Wash Water Treat. <input type="checkbox"/> Y	
<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>		<b>Additional Comments:</b> Grit separator to be open pit with vehicle-rated grating cover. Additional lighting along side walls of wash bay for side illumination. Door openers with keypad/remote.			
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA HEATED GARAGE

**HEAVY EQUIPMENT WASH BAY**

Room #	SA 26
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Area SM	116.1
Area SF	1,250

Rating:	
Occ Load	1 Adult intermittent
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall <u>                    </u> CONC-EPOXY</p> <p>Base <u>                    </u> CONC-EPOXY</p> <p>Floor <u>                    </u> CONC-EPOXY</p> <p>Ceiling <u>                  </u> METAL</p> <p>Window Treatment <u>          </u></p> <p><b>Door</b></p> <p>Type <u>                    </u> HM/ST</p> <p>Finish <u>                    </u> PT</p> <p>Rating <u>                    </u></p> <p>Window <u>                    </u></p> <p>Sidelite <u>                    </u></p> <p><b>HVAC</b></p> <p>Supply Air <u>                  </u> Y</p> <p>Air Conditioning <u>                  </u></p> <p>Thermostat <u>                  </u> Y</p> <p>Make-Up Air <u>                  </u> Y</p> <p>Separate A/C <u>                  </u></p> <p>Exhaust Fan <u>                  </u> Y</p> <p>Humidified <u>                  </u></p> <p>Dehumidified <u>                  </u> Y</p> <p>Range Hood <u>                  </u></p> <p>Odour Control <u>                  </u></p> <p>Fume Extraction <u>                  </u></p> <p>Vehicle Exhaust <u>                  </u></p> <p>CO<sub>2</sub> Control <u>                  </u></p> <p>NOx Control <u>                  </u> Y</p> <p>CO Monitoring <u>                  </u> Y</p> <p>VOC Monitoring <u>                  </u></p> <p>CH<sub>4</sub> Monitoring <u>                  </u></p> <p>Clothes Drier <u>                  </u></p> <p>Heat Curtains <u>                  </u> at Door</p> <p><b>Special Power</b></p> <p>Generator Backup <u>                  </u></p>	<p><b>Millwork</b></p> <p>Counter <u>                  </u></p> <p>Credenza <u>                  </u></p> <p>Lower cabinet <u>                  </u></p> <p>Upper cabinet <u>                  </u></p> <p>Shelving Unit <u>                  </u></p> <p>Shelves <u>                  </u></p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset <u>                  </u> LS</p> <p>Millwork Locks <u>                  </u></p> <p>Card Access Control <u>                  </u> Y</p> <p>Intrusion Detection <u>                  </u></p> <p>Arm/Disarm Keypad <u>                  </u></p> <p>CCTV Camera <u>                  </u> Y</p> <p>CCTV Display Monitor <u>                  </u></p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp <u>                  </u></p> <p>SS Sink - Double Comp. <u>                  </u></p> <p>Lavatory - Countertop <u>                  </u></p> <p>Lavatory - Freestanding Gang <u>                  </u></p> <p>Toilet (Auto Flush) <u>                  </u></p> <p>Toilet - Handicapped (Auto Flush) <u>                  </u></p> <p>Urinal - Waterless <u>                  </u></p> <p>Water Fountain <u>                  </u></p> <p>Dispenser Hook-up <u>                  </u></p> <p>Dishwasher Hook-up <u>                  </u></p> <p>Mop Sink <u>                  </u></p> <p>Floor Drain <u>                  </u> Y</p> <p>Hose Bibb (Interior) <u>                  </u> Y</p> <p>Oil/Water Separator <u>                  </u></p> <p>Grit Separator <u>                  </u> Y</p> <p>Eyewash Station <u>                  </u></p> <p>Shower <u>                  </u></p> <p>Clothes Washer <u>                  </u></p> <p>Dousing Shower <u>                  </u></p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. <u>                  </u></p> <p>Projection Screen <u>                  </u></p>	<p><b>Acoustics</b></p> <p>Wall STC <u>                  </u></p> <p>Door Sealing <u>                  </u></p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone <u>                  </u></p> <p>Wall Telephone <u>                  </u></p> <p>Photocopier <u>                  </u></p> <p>Network Printer <u>                  </u></p> <p>Facsimile <u>                  </u></p> <p>Two-Way Radio Base <u>                  </u></p> <p>Television <u>                  </u></p> <p>Wall Clock <u>                  </u></p> <p>Intercom <u>                  </u></p> <p>Other: <u>                  </u></p> <p><b>Special Lighting</b></p> <p>Decorative - Wall <u>                  </u></p> <p>Decorative - Pendant <u>                  </u></p> <p>Direct/Indirect <u>                  </u></p> <p>Display <u>                  </u></p> <p>Millwork <u>                  </u></p> <p>Pendant Area Ltg. <u>                  </u></p> <p>Pot Lights <u>                  </u></p> <p>Signage <u>                  </u></p> <p>Task, Perm Installed <u>                  </u></p> <p><b>Equipment</b></p> <p>Bridge crane <u>                  </u></p> <p>Vehicle Wash <u>                  </u> Y</p> <p>Air Compressor <u>                  </u> Y</p> <p>Wash Water Treat. <u>                  </u> Y</p> <p><b>Other</b></p> <p>Compress Air St. <u>                  </u></p> <p>Vehicle Hoist <u>                  </u></p> <p>Dust Collection <u>                  </u></p> <p>Hazmat Storage <u>                  </u></p> <p>Paper Shredder <u>                  </u></p>
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**Additional Comments:** Grit separator to be open pit with vehicle-rated grating cover. Additional lighting along side walls of wash bay for side illumination. Door openers with keypad/remote.

**Refer to Program of Requirements for additional commentary.**

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA HEATED GARAGE

**DOUSING SHOWER**

Room #	SA 27
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Area SM	0.93
Area SF	10

Rating:	
Occ Load	1 Adult intermittent
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> CONC Base <input type="checkbox"/> CONC Floor <input type="checkbox"/> CONC Ceiling <input type="checkbox"/> Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> Finish <input type="checkbox"/> Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Y Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Y Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Y Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/> Y		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: Locate telephone out of dousing zone.					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA YARD

**EXTERIOR VEHICLE & EQUIPMENT WASH**

Room #	SA 28
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Area SM	116.1
Area SF	1,250

Rating:	
Occ Load	1 Adult intermittent
Outside View	
Natural Light	

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____ CONC-EPOXY</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Dishwasher Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____ Y</p> <p>Hose Bibb _____ Y</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____ Y</p> <p>Eyewash Station _____</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____ Y</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____ Y</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
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**Additional Comments:** Grit separator to be open pit with vehicle-rated grating cover. Additional lighting.. Wash hose 2".

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA PARKING

**ADDITIONAL EMPLOYEE PARKING**

Room #	SA 29
Yard Area #	6

Area SM	139.4
Area SF	1,500

LEED	

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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	<b>SHARED AMENITIES</b>
<b>Component</b>	<b>SA YARD MARSHALING AREA</b>

**YARD MARSHALING AREA**

<b>Room #</b>	<b>SA 30</b>
<b>Yard Area #</b>	<b>4</b>

<b>Area SM</b>		
<b>Area SF</b>		

<b>LEED</b>	<b>Grit separator</b>
	<b>LED lighting</b>
	<b>SCM conc.</b>
	<b>Recycled asphalt/steel</b>
	<b>Regional materials</b>

<b>Base Course (Depth)</b> Subbase 450 - 150 mm Subbase 425 - 150 mm Y Base 300 - 150mm Down Base 150 - 50 mm Down Y Base 300 - 50 mm Down Base 200 - 20 mm Down Pavers Base 100 - 20 mm Down Base 75 - 20 mm Down Y Base 50 - 20mm Down Conc Bedding Sand 50 Pavers Geotextile Y Compacted Subbase Y		<b>Electrical</b> Lighting Type Building/Yard Poles Y Luminaires Y Plug-ins Y(20) Building Service Signage Lighting Y  <b>Security</b> Fencing - External Y Fencing - Internal Y Gates - Vehicle Y Gates - People Y Card Access Control Y Arm/Disarm Keyapa CCTV Camera		<b>Landscaping</b> Sod Y Rough Seed Lake Slopes Planting Beds 300mm Soil Y Wood Chip Mulch 75mm Y Trees Y(25) Shrubs Y(100) Ground Cover Benches Y(4) Waste Receptacles Y(2) Bicycle Storage Bollards Picnic Benches  <b>Use</b> Marshalling Y Circulation Y Employee Parking 2.7x6 Truck Parking 3x12 Y(SM-15) Materials Storage Equipment Storage Y(FM-04) Tire Storage Fut. Refueling Fut. Sand/Salt Vehicle Wash Y(SA-20) Air Compressor Y(1)  <b>Buildings</b> Storage Bldg Small Shed Y Main Garage Y	
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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA SITE LANDSCAPING

**GENERAL LANDSCAPED AREAS**

Room #	SA 31
Yard Area #	10

Area SM		
Area SF		

LEED	

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Air Compressor																																																																																																																																																																		
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<p><b>Additional Comments:</b></p> <div style="border: 1px solid black; height: 50px; width: 100%;"></div>																																																																																																																																																																		

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	SHARED AMENITIES
Component	SA SRB & SWALES

**SRB & SWALES**

Room #	SA 32
Yard Area #	9

Area SM		
Area SF		

LEED	Wetland SRB
	Swale Drainage
	Native Seed Mix
	No Irrigation

<p><b>Base Course (Depth)</b></p> <p>Subbase 450 -150 mm</p> <p>Subbase 425 -150 mm</p> <p>Base 300 - 150mm Down</p> <p>Base 150 - 50 mm Down</p> <p>Base 300 - 50 mm Down</p> <p>Base 200 - 20 mm Down</p> <p>Base 100 - 20 mm Down</p> <p>Base 75 - 20 mm Down</p> <p>Base 50 - 20mm Down</p> <p>Bedding Sand 50</p> <p>Geotextile</p> <p>Compacted Subbase</p> <p><b>Surfacing Materials (Type)</b></p> <p>Asphalt 100 mm</p> <p>Concrete Apron 200 mm</p> <p>Concrete Sidewalk/Bulnose</p> <p>Granular 150 - 50mm Down</p> <p>Granular 125 - 20mm Down</p> <p>Paving Stone 75mm</p> <p>Permeable Pavers</p> <p><b>Features</b></p> <p>Curbing</p> <p>Parking Lot Screen Fence</p> <p>Gravel Road/Yard</p> <p>Light Duty Yard</p> <p>Stor'g Bunkers</p> <p>Mtl's Stockpiles</p> <p>Directional Signage</p>	<p><b>Electrical</b></p> <p>Lighting Type</p> <p>Poles</p> <p>Luminaires</p> <p>Plug-ins</p> <p>Building Service</p> <p>Signage Lighting</p> <p><b>Security</b></p> <p>Fencing - External</p> <p>Fencing - Internal</p> <p>Gates - Vehicle</p> <p>Gates - People</p> <p>Card Access Control</p> <p>Arm/Disarm Keyapa</p> <p>CCTV Camera</p> <p><b>UG Servicing</b></p> <p>Water Line</p> <p>Wastewater Sewer</p> <p>Land Drainage Sewer</p> <p>Fire Hydrant</p> <p>Catchbasin</p> <p>Catchbasin Lead</p> <p>Manhole</p> <p>Vent Pipe/Gas Barrier</p> <p>Swale</p> <p>SRB Wetland</p> <p>Infiltrat'n Trench</p> <p>Hose Bibb</p> <p>Grit Separator</p> <p>Oil/Water Separator</p>	<p><b>Landscaping</b></p> <p>Sod</p> <p>Rough Seed</p> <p>Lake Slopes</p> <p>Planting Beds 300mm Soil</p> <p>Wood Chip Mulch 75mm</p> <p>Trees</p> <p>Shrubs</p> <p>Ground Cover</p> <p>Benches</p> <p>Waste Receptacles</p> <p>Bicycle Storage</p> <p>Bollards</p> <p>Picnic Benches</p> <p><b>Use</b></p> <p>Marshalling</p> <p>Circulation</p> <p>Employee Parking 2.7x6</p> <p>Truck Parking 3x12</p> <p>Materials Storage</p> <p>Equipment Storage</p> <p>Tire Storage</p> <p>Fut. Refueling</p> <p>Fut. Sand/Salt</p> <p>Vehicle Wash</p> <p>Air Compressor</p> <p><b>Buildings</b></p> <p>Storage Bldg</p> <p>Small Shed</p> <p>Main</p>
<p><b>Additional Comments:</b></p> <div style="border: 1px solid black; height: 50px; width: 100%;"></div>		

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>STREETS MAINTENANCE</b>
<b>Component (Floor)</b>	<b>SM ADMINISTRATIVE (1st)</b>

**FOREMAN GENERAL OFFICE**

<b>Room #</b>	<b>SM 01</b>
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<b>Area SM</b>	<b>111.5</b>
<b>Area SF</b>	<b>1,200</b>

<b>Rating:</b>	
<b>Occ Load</b>	12 Adults continuous 24 Adults peak
<b>Outside View</b>	Y
<b>Natural Light</b>	Y

**Finishes**

Wall	DW/PT
Base	VCB
Floor	SV
Ceiling	ACT
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	Y
Sidelite	

**HVAC**

Supply Air	Y
Air Conditioning	Y
Thermostat	Y
Make-Up Air	
Separate A/C	
Exhaust Fan	
Humidified	Y
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
NO <sub>x</sub> Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	Y
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**Millwork**

Counter	Y	24'
Credenza		
Lower cabinet		
Upper cabinet		
Shelving Unit		
Shelves		

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	
Intrusion Detection	Y
Arm/Disarm Keypad	
CCTV Camera	Y (2)
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	45
Door Sealing	

**Electronic Equipment**

Computer/Telephone	Y (16)
Wall Telephone	
Photocopier	
Network Printer	Y (3)
Facsimile	Y
Two-Way Radio Base	Y
Television	Y
Wall Clock	Y
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	Y

**Additional Comments:** The Owner will provide twelve (12) workstations. Additional computer/telephone for contractors? Network Printers - 2 X B&W + 1 X Colour. T.V. for weather only.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>STREETS MAINTENANCE</b>
<b>Component (Floor)</b>	<b>SM ADMINISTRATIVE (1st)</b>

**CLERICAL OFFICE**

<b>Room #</b>	<b>SM 02</b>
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<b>Area SM</b>	<b>18.6</b>
<b>Area SF</b>	<b>200</b>

<b>Rating:</b>	
<b>Occ Load</b>	2 Adults continuous 4 Adults peak
<b>Outside View</b>	
<b>Natural Light</b>	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Y Shelves <input type="checkbox"/> Y		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Y Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> Y CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (4) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Y (1) Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Y (1) Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Y Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Y Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/> Y		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/> Y	
<p><b>Additional Comments:</b> The Owner will provide two (2) workstations.</p>					
<p align="center">Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component (Floor)	SM ADMINISTRATIVE (1st)

**REGIONAL STREETS INSPECTORS OFFICE**

Room #	SM 03
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Area SM	11.6
Area SF	125

Rating:	
Occ Load	2 Adults continuous 4 Adults peak
Outside View	
Natural Light	Y

**Finishes**

Wall	DW/PT
Base	VCB
Floor	SV
Ceiling	ACT
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	Y
Sidelite	

**HVAC**

Supply Air	Y
Air Conditioning	Y
Thermostat	Y
Make-Up Air	
Separate A/C	
Exhaust Fan	
Humidified	
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
NOx Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
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**Millwork**

Counter	
Credenza	
Lower cabinet	
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	Y
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	45
Door Sealing	

**Electronic Equipment**

Computer/Telephone	Y (2)
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	Y
Television	
Wall Clock	Y
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

**Additional Comments:** The Owner will provide two (2) workstations.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component (Floor)	SM ADMINISTRATIVE (1st)

**STREETS SUPERVISOR OFFICE**

Room #	SM 04
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Area SM	13.9
Area SF	150

Rating:	
Occ Load	1 Adult continuous 2 Adults peak
Outside View	Y
Natural Light	Y

**Finishes**

Wall	DW/PT
Base	VCB
Floor	CPT
Ceiling	ACT
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	
Sidelite	Y

**HVAC**

Supply Air	Y
Air Conditioning	Y
Thermostat	Y
Make-Up Air	
Separate A/C	
Exhaust Fan	
Humidified	Y
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	Y
No <sub>2</sub> Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
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**Millwork**

Counter	
Credenza	
Lower cabinet	
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	Y
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	Y

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	45
Door Sealing	

**Electronic Equipment**

Computer/Telephone	Y
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	Y
Television	
Wall Clock	Y
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

**Additional Comments:** The Owner will provide one (1) workstation.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component (Floor)	SM ADMINISTRATIVE (1st)

**ASSET MANAGER OFFICE**

Room #	SM 05
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Area SM	9.3
Area SF	100

Rating:	
Occ Load	2 Adults continuous 3 Adults peak
Outside View	Y
Natural Light	Y

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> 45 Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Y Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Y Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Y (3) Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Y Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Y Air Conditioning <input type="checkbox"/> Y Thermostat <input type="checkbox"/> Y Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Y Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> Y NO <sub>x</sub> Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/> --		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
<p><b>Additional Comments:</b> The Owner will provide two (2) workstations. City to confirm CCTV and access control, existing admin office has. CCTV camera at entrance to space on non-secure hallway side. Pass-through required? Safe required?</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component	SM ADMIN. HEATED GARAGE

**SUPPLIES STORAGE ROOM**

Room #	SM 06
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Area SM	9.3
Area SF	100

Rating:	
Occ Load	1 occasional adult
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/>		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Y Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/>		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> 24X47X84 METAL <input type="checkbox"/> SHELIVING <input type="checkbox"/> Y (5)	
<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>		Additional Comments: <input type="text"/>			

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	<b>STREETS MAINTENANCE</b>
Component	<b>SM HEATED GARAGE</b>

**SMALL TOOLS STORAGE ROOM**

Room #	<b>SM 07</b>
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Area SM	<b>27.9</b>
Area SF	<b>500</b>

Rating:	
Occ Load	1 occasional adult
Outside View	
Natural Light	

<b>Finishes</b> Wall <table border="1"><tr><td></td><td>DW/PT</td></tr></table> Base <table border="1"><tr><td></td><td>VCB</td></tr></table> Floor <table border="1"><tr><td></td><td>SV</td></tr></table> Ceiling <table border="1"><tr><td></td><td>ACT</td></tr></table> Window Treatment <table border="1"><tr><td></td><td></td></tr></table>			DW/PT		VCB		SV		ACT			<b>Millwork</b> Counter <table border="1"><tr><td></td><td></td></tr></table> Credenza <table border="1"><tr><td></td><td></td></tr></table> Lower cabinet <table border="1"><tr><td></td><td></td></tr></table> Upper cabinet <table border="1"><tr><td></td><td></td></tr></table> Shelving Unit <table border="1"><tr><td></td><td></td></tr></table> Shelves <table border="1"><tr><td></td><td></td></tr></table>														<b>Acoustics</b> Wall STC <table border="1"><tr><td></td><td></td></tr></table> Door Sealing <table border="1"><tr><td></td><td></td></tr></table>																																																																									
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**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component (Floor)	SM HEATED GARAGE

**FILE STORAGE ROOM**

Room #	SM 08
--------	-------

Area SM	13.9
Area SF	150

Rating:	
Occ Load	1 Adult occasional
Outside View	
Natural Light	

<b>Finishes</b> Wall <input type="checkbox"/> DW/PT Base <input type="checkbox"/> VCB Floor <input type="checkbox"/> SV Ceiling <input type="checkbox"/> ACT Window Treatment <input type="checkbox"/>		<b>Millwork</b> Counter <input type="checkbox"/> Credenza <input type="checkbox"/> Lower cabinet <input type="checkbox"/> Upper cabinet <input type="checkbox"/> Shelving Unit <input type="checkbox"/> Y Shelves <input type="checkbox"/>		<b>Acoustics</b> Wall STC <input type="checkbox"/> Door Sealing <input type="checkbox"/>	
<b>Door</b> Type <input type="checkbox"/> HM/ST Finish <input type="checkbox"/> PT Rating <input type="checkbox"/> Window <input type="checkbox"/> Sidelite <input type="checkbox"/> Y		<b>Security Door Set Millwork Locks</b> Doorset <input type="checkbox"/> LS Millwork Locks <input type="checkbox"/> Card Access Control <input type="checkbox"/> Y Intrusion Detection <input type="checkbox"/> Arm/Disarm Keypad <input type="checkbox"/> CCTV Camera <input type="checkbox"/> CCTV Display Monitor <input type="checkbox"/>		<b>Electronic Equipment</b> Computer/Telephone <input type="checkbox"/> Wall Telephone <input type="checkbox"/> Photocopier <input type="checkbox"/> Network Printer <input type="checkbox"/> Facsimile <input type="checkbox"/> Two-Way Radio Base <input type="checkbox"/> Television <input type="checkbox"/> Wall Clock <input type="checkbox"/> Intercom <input type="checkbox"/> Other: <input type="checkbox"/>	
<b>HVAC</b> Supply Air <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Thermostat <input type="checkbox"/> Make-Up Air <input type="checkbox"/> Separate A/C <input type="checkbox"/> Exhaust Fan <input type="checkbox"/> Humidified <input type="checkbox"/> Dehumidified <input type="checkbox"/> Range Hood <input type="checkbox"/> Odour Control <input type="checkbox"/> Fume Extraction <input type="checkbox"/> Vehicle Exhaust <input type="checkbox"/> CO <sub>2</sub> Control <input type="checkbox"/> NOx Control <input type="checkbox"/> CO Monitoring <input type="checkbox"/> VOC Monitoring <input type="checkbox"/> CH <sub>4</sub> Monitoring <input type="checkbox"/> Clothes Drier <input type="checkbox"/> Heat Curtains at Door <input type="checkbox"/>		<b>Plumbing</b> SS Sink - Single Comp <input type="checkbox"/> SS Sink - Double Comp. <input type="checkbox"/> Lavatory - Countertop <input type="checkbox"/> Lavatory - Freestanding Gang <input type="checkbox"/> Toilet (Auto Flush) <input type="checkbox"/> Toilet - Handicapped (Auto Flush) <input type="checkbox"/> Urinal - Waterless <input type="checkbox"/> Water Fountain <input type="checkbox"/> Dispenser Hook-up <input type="checkbox"/> Dishwasher Hook-up <input type="checkbox"/> Mop Sink <input type="checkbox"/> Floor Drain <input type="checkbox"/> Hose Bibb (Interior) <input type="checkbox"/> Oil/Water Separator <input type="checkbox"/> Grit Separator <input type="checkbox"/> Eyewash Station <input type="checkbox"/> Shower <input type="checkbox"/> Clothes Washer <input type="checkbox"/> Dousing Shower <input type="checkbox"/>		<b>Special Lighting</b> Decorative - Wall <input type="checkbox"/> Decorative - Pendant <input type="checkbox"/> Direct/Indirect <input type="checkbox"/> Display <input type="checkbox"/> Millwork <input type="checkbox"/> Pendant Area Ltg. <input type="checkbox"/> Pot Lights <input type="checkbox"/> Signage <input type="checkbox"/> Task, Perm Installed <input type="checkbox"/>	
<b>Special Power</b> Generator Backup <input type="checkbox"/> Y		<b>Audio Visual</b> Projector Ceiling Mtd. <input type="checkbox"/> Projection Screen <input type="checkbox"/>		<b>Equipment</b> Bridge crane <input type="checkbox"/> Vehicle Wash <input type="checkbox"/> Air Compressor <input type="checkbox"/> Wash Water Treat. <input type="checkbox"/>	
				<b>Other</b> Compress Air St. <input type="checkbox"/> Vehicle Hoist <input type="checkbox"/> Dust Collection <input type="checkbox"/> Hazmat Storage <input type="checkbox"/> Paper Shredder <input type="checkbox"/>	
Additional Comments: <input type="text"/>					
Refer to Program of Requirements for additional commentary.					

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

<b>Division</b>	<b>STREETS MAINTENANCE</b>
<b>Component</b>	<b>SM HEATED GARAGE</b>

**VEHICLE & EQUIPMENT STORAGE BAYS**

<b>Room #</b>	<b>SM 09</b>
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<b>Area SM</b>	<b>2,787</b>
<b>Area SF</b>	<b>30,000</b>

<b>Rating:</b>	
<b>Occ Load</b>	24 Adults intermittent
<b>Outside View</b>	
<b>Natural Light</b>	Y

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Y Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ Y CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Y Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Y Air Conditioning _____ Thermostat _____ Y Make-Up Air _____ Y Separate A/C _____ Exhaust Fan _____ Y Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Fume Extraction _____ Y Vehicle Exhaust _____ CO <sub>2</sub> Control _____ Y NOx Control _____ Y CO Monitoring _____ Y VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Y (6) Hose Bibb (Interior) _____ Y (3) Oil/Water Separator _____ Y Grit Separator _____ Y Eyewash Station _____ Y Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____ Y		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____	
				<b>Other</b> Compress Air St. _____ Y (3) Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Y Paper Shredder _____ PER TRENCH DRAIN _____ Y (2) POWER OH DOORS _____ 16 X 16 GLAZED _____ Y (30)	

**Additional Comments:**

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	<b>STREETS MAINTENANCE</b>
Component	<b>SM HEATED GARAGE</b>

**EYE WASH**

Rating:	
Occ Load	1 Adult intermittently
Outside View	
Natural Light	

Room #	SM 10
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Area SM	0.93
Area SF	10

<p><b>Finishes</b></p> <p>Wall _____</p> <p>Base _____</p> <p>Floor _____</p> <p>Ceiling _____</p> <p>Window Treatment _____</p> <p><b>Door</b></p> <p>Type _____</p> <p>Finish _____</p> <p>Rating _____</p> <p>Window _____</p> <p>Sidelite _____</p> <p><b>HVAC</b></p> <p>Supply Air _____</p> <p>Air Conditioning _____</p> <p>Thermostat _____</p> <p>Make-Up Air _____</p> <p>Separate A/C _____</p> <p>Exhaust Fan _____</p> <p>Humidified _____</p> <p>Dehumidified _____</p> <p>Range Hood _____</p> <p>Odour Control _____</p> <p>Fume Extraction _____</p> <p>Vehicle Exhaust _____</p> <p>CO<sub>2</sub> Control _____</p> <p>NOx Control _____</p> <p>CO Monitoring _____</p> <p>VOC Monitoring _____</p> <p>CH<sub>4</sub> Monitoring _____</p> <p>Clothes Drier _____</p> <p>Heat Curtains at Door _____</p> <p><b>Special Power</b></p> <p>Generator Backup _____</p>	<p><b>Millwork</b></p> <p>Counter _____</p> <p>Credenza _____</p> <p>Lower cabinet _____</p> <p>Upper cabinet _____</p> <p>Shelving Unit _____</p> <p>Shelves _____</p> <p><b>Security Door Set Millwork Locks</b></p> <p>Doorset _____</p> <p>Millwork Locks _____</p> <p>Card Access Control _____</p> <p>Intrusion Detection _____</p> <p>Arm/Disarm Keypad _____</p> <p>CCTV Camera _____</p> <p>CCTV Display Monitor _____</p> <p><b>Plumbing</b></p> <p>SS Sink - Single Comp _____</p> <p>SS Sink - Double Comp. _____</p> <p>Lavatory - Countertop _____</p> <p>Lavatory - Freestanding Gang _____</p> <p>Toilet (Auto Flush) _____</p> <p>Toilet - Handicapped (Auto Flush) _____</p> <p>Urinal - Waterless _____</p> <p>Water Fountain _____</p> <p>Dispenser Hook-up _____</p> <p>Dishwasher Hook-up _____</p> <p>Mop Sink _____</p> <p>Floor Drain _____ Y (1)</p> <p>Hose Bibb (Interior) _____</p> <p>Oil/Water Separator _____</p> <p>Grit Separator _____</p> <p>Eyewash Station _____ Y (1)</p> <p>Shower _____</p> <p>Clothes Washer _____</p> <p>Dousing Shower _____</p> <p><b>Audio Visual</b></p> <p>Projector Ceiling Mtd. _____</p> <p>Projection Screen _____</p>	<p><b>Acoustics</b></p> <p>Wall STC _____</p> <p>Door Sealing _____</p> <p><b>Electronic Equipment</b></p> <p>Computer/Telephone _____</p> <p>Wall Telephone _____</p> <p>Photocopier _____</p> <p>Network Printer _____</p> <p>Facsimile _____</p> <p>Two-Way Radio Base _____</p> <p>Television _____</p> <p>Wall Clock _____</p> <p>Intercom _____</p> <p>Other: _____</p> <p><b>Special Lighting</b></p> <p>Decorative - Wall _____</p> <p>Decorative - Pendant _____</p> <p>Direct/Indirect _____</p> <p>Display _____</p> <p>Millwork _____</p> <p>Pendant Area Ltg. _____</p> <p>Pot Lights _____</p> <p>Signage _____</p> <p>Task, Perm Installed _____</p> <p><b>Equipment</b></p> <p>Bridge crane _____</p> <p>Vehicle Wash _____</p> <p>Air Compressor _____</p> <p>Wash Water Treat. _____</p> <p><b>Other</b></p> <p>Compress Air St. _____</p> <p>Vehicle Hoist _____</p> <p>Dust Collection _____</p> <p>Hazmat Storage _____</p> <p>Paper Shredder _____</p>
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**Additional Comments:** First aid cabinet.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component	

**SUB ELECTRICAL ROOM B**

Rating:	1 HR FRR
Occ Load	Unoccupied
Outside View	
Natural Light	

Room #	SM 11 (ELEC 3)
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Area SM		As req'd
Area SF		As req'd

<p><b>Finishes</b></p> <table border="1"> <tr><td>Wall</td><td>DW-PT</td></tr> <tr><td>Base</td><td>VCB</td></tr> <tr><td>Floor</td><td>SV</td></tr> <tr><td>Ceiling</td><td></td></tr> <tr><td>Window Treatment</td><td></td></tr> </table> <p><b>Door</b></p> <table border="1"> <tr><td>Type</td><td>HM/ST</td></tr> <tr><td>Finish</td><td>PT</td></tr> <tr><td>Rating</td><td>0.75 HR FRR</td></tr> <tr><td>Window</td><td></td></tr> <tr><td>Sidelite</td><td></td></tr> </table> <p><b>HVAC</b></p> <table border="1"> <tr><td>Supply Air</td><td></td></tr> <tr><td>Air Conditioning</td><td></td></tr> <tr><td>Thermostat</td><td>Y</td></tr> <tr><td>Make-Up Air</td><td></td></tr> <tr><td>Separate A/C</td><td></td></tr> <tr><td>Exhaust Fan</td><td>Y</td></tr> <tr><td>Humidified</td><td></td></tr> <tr><td>Dehumidified</td><td></td></tr> <tr><td>Range Hood</td><td></td></tr> <tr><td>Odour Control</td><td></td></tr> <tr><td>Fume Extraction</td><td></td></tr> <tr><td>Vehicle Exhaust</td><td></td></tr> <tr><td>CO<sub>2</sub> Control</td><td></td></tr> <tr><td>NOx Control</td><td></td></tr> <tr><td>CO Monitoring</td><td></td></tr> <tr><td>VOC Monitoring</td><td></td></tr> <tr><td>CH<sub>4</sub> Monitoring</td><td></td></tr> <tr><td>Clothes Drier</td><td></td></tr> <tr><td>Heat Curtains at Door</td><td></td></tr> </table> <p><b>Special Power</b></p> <table border="1"> <tr><td>Generator Backup</td><td></td></tr> </table>	Wall	DW-PT	Base	VCB	Floor	SV	Ceiling		Window Treatment		Type	HM/ST	Finish	PT	Rating	0.75 HR FRR	Window		Sidelite		Supply Air		Air Conditioning		Thermostat	Y	Make-Up Air		Separate A/C		Exhaust Fan	Y	Humidified		Dehumidified		Range Hood		Odour Control		Fume Extraction		Vehicle Exhaust		CO <sub>2</sub> Control		NOx Control		CO Monitoring		VOC Monitoring		CH <sub>4</sub> Monitoring		Clothes Drier		Heat Curtains at Door		Generator Backup		<p><b>Millwork</b></p> <table border="1"> <tr><td>Counter</td><td></td></tr> <tr><td>Credenza</td><td></td></tr> <tr><td>Lower cabinet</td><td></td></tr> <tr><td>Upper cabinet</td><td></td></tr> <tr><td>Shelving Unit</td><td></td></tr> <tr><td>Shelves</td><td></td></tr> </table> <p><b>Security Door Set Millwork Locks</b></p> <table border="1"> <tr><td>Doorset</td><td>LS</td></tr> <tr><td>Millwork Locks</td><td></td></tr> <tr><td>Card Access Control</td><td></td></tr> <tr><td>Intrusion Detection</td><td></td></tr> <tr><td>Arm/Disarm Keypad</td><td></td></tr> <tr><td>CCTV Camera</td><td></td></tr> <tr><td>CCTV Display Monitor</td><td></td></tr> </table> <p><b>Plumbing</b></p> <table border="1"> <tr><td>SS Sink - Single Comp</td><td></td></tr> <tr><td>SS Sink - Double Comp.</td><td></td></tr> <tr><td>Lavatory - Countertop</td><td></td></tr> <tr><td>Lavatory - Freestanding Gang</td><td></td></tr> <tr><td>Toilet (Auto Flush)</td><td></td></tr> <tr><td>Toilet - Handicapped (Auto Flush)</td><td></td></tr> <tr><td>Urinal - Waterless</td><td></td></tr> <tr><td>Water Fountain</td><td></td></tr> <tr><td>Dispenser Hook-up</td><td></td></tr> <tr><td>Dishwasher Hook-up</td><td></td></tr> <tr><td>Mop Sink</td><td></td></tr> <tr><td>Floor Drain</td><td></td></tr> <tr><td>Hose Bibb (Interior)</td><td></td></tr> <tr><td>Oil/Water Separator</td><td></td></tr> <tr><td>Grit Separator</td><td></td></tr> <tr><td>Eyewash Station</td><td></td></tr> <tr><td>Shower</td><td></td></tr> <tr><td>Clothes Washer</td><td></td></tr> <tr><td>Dousing Shower</td><td></td></tr> </table> <p><b>Audio Visual</b></p> <table border="1"> <tr><td>Projector Ceiling Mtd.</td><td></td></tr> <tr><td>Projection Screen</td><td></td></tr> </table>	Counter		Credenza		Lower cabinet		Upper cabinet		Shelving Unit		Shelves		Doorset	LS	Millwork Locks		Card Access Control		Intrusion Detection		Arm/Disarm Keypad		CCTV Camera		CCTV Display Monitor		SS Sink - Single Comp		SS Sink - Double Comp.		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**Additional Comments:**

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**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component	

**SUB TELECOMMUNICATION ROOM B**

Room #	SM 12 (TELE 3)
--------	----------------

Area SM	As req'd
Area SF	As req'd

Rating:	
Occ Load	Unoccupied
Outside View	
Natural Light	

**Finishes**

Wall	DW-PT
Base	VCB
Floor	SV
Ceiling	
Window Treatment	

**Door**

Type	HM-ST
Finish	PT
Rating	
Window	
Sidelite	

**HVAC**

Supply Air	
Air Conditioning	
Thermostat	Y
Make-Up Air	
Separate A/C	Y
Exhaust Fan	
Humidified	
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	
Vehicle Exhaust	
CO <sub>2</sub> Control	
NOx Control	
CO Monitoring	
VOC Monitoring	
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	

**Special Power**

Generator Backup	
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**Millwork**

Counter	
Credenza	
Lower cabinet	
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	LS
Millwork Locks	
Card Access Control	
Intrusion Detection	Y
Arm/Disarm Keypad	Y
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	
Hose Bibb (Interior)	
Oil/Water Separator	
Grit Separator	
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	
Door Sealing	

**Electronic Equipment**

Computer/Telephone	
Wall Telephone	Y
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	
Wall Clock	
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	
Vehicle Wash	
Air Compressor	
Wash Water Treat.	

**Other**

Compress Air St.	
Vehicle Hoist	
Dust Collection	
Hazmat Storage	
Paper Shredder	

Additional Comments:

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component	SM UNHEATED GARAGE/STORAGE

**UNHEATED STORAGE AREA**

Room #	SM 13
--------	-------

Area SM	1,263.4
Area SF	13,600

Rating:	
Occ Load	4 Adult intermittent
Outside View	
Natural Light	Y

<b>Finishes</b> Wall _____ CONC Base _____ CONC Floor _____ CONC Ceiling _____ METAL Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ HM/ST Finish _____ PT Rating _____ Window _____ Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ LS Millwork Locks _____ Y Card Access Control _____ Y Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ Y CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Air Conditioning _____ Thermostat _____ Make-Up Air _____ Separate A/C _____ Exhaust Fan _____ Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ NOx Control _____ CO Monitoring _____ VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp. _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Y (2) Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____	
<b>Outbuilding Electrical</b> Lighting required _____ Y Electrical required _____ Y		<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____ PER TRENCH DRAIN _____ Y (2) POWER OH DOORS _____ Y (8)			
<p><b>Additional Comments:</b> P-traps and trap arms of floor drains to be heat traced with sleeve to allow replacement of cable. Stand alone outbuilding located in Streets yard.</p>					
<p>Refer to Program of Requirements for additional commentary.</p>					

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	<b>STREETS MAINTENANCE</b>
<b>Component</b>	<b>SM PARKING</b>

**FOREMAN OFFICE STAFF PARKING AREA**

<b>Room #</b>	<b>SM-14</b>
<b>Yard Area #</b>	<b>6</b>

<b>Area SM</b>	<b>445.9</b>
<b>Area SF</b>	<b>4,800</b>

<b>LEED</b>	

<p><b>Base Course (Depth)</b></p> <table border="1"> <tr><td>Subbase 450 - 150 mm</td><td></td></tr> <tr><td>Subbase 425 - 150 mm</td><td></td></tr> <tr><td>Base 300 - 150mm Down</td><td></td></tr> <tr><td>Base 150 - 50 mm Down</td><td>CLEAN</td></tr> <tr><td>Base 300 - 50 mm Down</td><td></td></tr> <tr><td>Base 200 - 20 mm Down</td><td></td></tr> <tr><td>Base 100 - 20 mm Down</td><td>CLEAN</td></tr> <tr><td>Base 75 - 20 mm Down</td><td></td></tr> <tr><td>Base 50 - 20mm Down</td><td></td></tr> <tr><td>Bedding Sand 50</td><td></td></tr> <tr><td>Geotextile</td><td>Y</td></tr> <tr><td>Compacted Subbase</td><td></td></tr> <tr><td>Bedding 6.5mm</td><td>Y</td></tr> </table> <p><b>Surfacing Materials (Type)</b></p> <table border="1"> <tr><td>Asphalt 100 mm</td><td></td></tr> <tr><td>Concrete Apron 200 mm</td><td></td></tr> <tr><td>Conc. 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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	<b>STREETS MAINTENANCE</b>
<b>Component</b>	<b>SM PARKING</b>

**GENERAL EMPLOYEE & VISITOR PARKING**

<b>LEED</b>	

<b>Room #</b>	<b>SM 15</b>
<b>Yard Area #</b>	<b>6</b>

<b>Area SM</b>	<b>2,229.6</b>
<b>Area SF</b>	<b>24,000</b>

<b>Base Course (Depth)</b>	
Subbase 450 - 150 mm	
Subbase 425 - 150 mm	
Base 300 - 150mm Down	
Base 150 - 50 mm Down	CLEAN
Base 300 - 50 mm Down	
Base 200 - 20 mm Down	
Base 100 - 20 mm Down	CLEAN
Base 75 - 20 mm Down	
Base 50 - 20mm Down	
Bedding Sand 50	Y
Geotextile	Y
Compacted Subbase	

<b>Surfacing Materials (Type)</b>	
Asphalt 100 mm	
Concrete Apron 200 mm	
Conc. Sidewalk/Bulnose	Y
Granular 150 - 50mm Down	
Granular 125 - 20mm Down	
Paving Stone 75mm	
Permeable Pavers	

<b>Features</b>	
Curbing	Y
Parking Stalls	Y(80)
Parking Lot Screen Fence	
Gravel Road/Yard	
Light Duty Yard	
Conc. Storage Bunkers	
Mtl's Stockpiles	
Directional Signage	

<b>Electrical</b>	
Lighting Type	Y
Poles	Y
Luminaires	LED
Plug-ins	Y(80)
Building Service	Y
Signage Lighting	Y

<b>Security</b>	
Fencing - External	
Fencing - Internal	
Gates - Vehicle	
Gates - People	
Card Access Control	
Arm/Disarm Keypa	
CCTV Camera	

<b>UG Servicing</b>	
Water Line	Y
Wastewater Sewer	Y
Land Drainage Sewer	Y
Fire Hydrant	
Catchbasin	Y(3)
Catchbasin Lead	Y
Manhole	Y(1)
Vent Pipe	
Swale	
SRB Wetland	
Infiltrat'n Trench	Y
Hose Bibb	
Grit Separator	
Oil/Water Separator	

<b>Landscaping</b>	
Sod	Y
Rough Seed	
Lake Slopes	
Planting Beds 300mm Soil	Y
Wood Chip Mulch 75mm	Y
Trees	Y
Shrubs	Y
Ground Cover	
Benches	
Waste Receptacles	Y(2)
Bicycle Storage	Y
Bollards	
Picnic Benches	Y(3)

<b>Use</b>	
Marshalling	
Circulation	
Employee Parking 2.7x6	Y
Truck Parking 3x12	
Materials Storage	
Equipment Storage	
Tire Storage	
Fut. Refueling	
Fut. Sand/Salt	
Vehicle Wash	
Air Compressor	

<b>Buildings</b>	
Storage Bldg	
Storage Shed	
Main	

**Additional Comments:**

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	<b>STREETS MAINTENANCE</b>
<b>Component</b>	<b>SM PARKING</b>

**VEHICLE & EQUIPMENT PARKING**

<b>Room #</b>	<b>SM 16</b>
<b>Yard Area #</b>	<b>6</b>

<b>Area SM</b>	<b>501.7</b>
<b>Area SF</b>	<b>5,400</b>

<b>LEED</b>	

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**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	STREETS MAINTENANCE
Component	SM YARD

**STORAGE COMPOUND**

Room #	SM 17
Yard Area #	2

Area SM	40,468.6
Area SF	435,600

LEED	

<p><b>Base Course (Depth)</b></p> <table border="1"> <tr><td>Subbase 450 -150 mm</td><td>Y</td></tr> <tr><td>Subbase 425 -150 mm</td><td></td></tr> <tr><td>Base 300 - 150mm Down</td><td></td></tr> <tr><td>Base 150 - 50 mm Down</td><td>Y</td></tr> <tr><td>Base 300 - 50 mm Down</td><td></td></tr> <tr><td>Base 200 - 20 mm Down</td><td></td></tr> <tr><td>Base 100 - 20 mm Down</td><td></td></tr> <tr><td>Base 75 - 20 mm Down</td><td></td></tr> <tr><td>Base 50 - 20mm Down</td><td></td></tr> <tr><td>Bedding Sand 50</td><td></td></tr> <tr><td>Geotextile</td><td>Y</td></tr> <tr><td>Compacted Subbase</td><td>Y</td></tr> </table> <p><b>Surfacing Materials (Type)</b></p> <table border="1"> <tr><td>Asphalt 100 mm</td><td></td></tr> <tr><td>Concrete Apron 200 mm</td><td></td></tr> <tr><td>Conc. 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Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	<b>STREETS MAINTENANCE</b>
<b>Component</b>	<b>SM FUTURE SAND/SALT YARD</b>

**FUTURE SAND & SALT YARD (Undeveloped)**

<b>LEED</b>	

<b>Room #</b>	<b>SM 18</b>
<b>Yard Area #</b>	<b>8</b>

<b>Area SM</b>		
<b>Area SF</b>		

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**City of Winnipeg East Yards RFP  
Room Data Sheets**

**Basic Data**

Division	FLEET MANAGEMENT
Component	FM HEATED GARAGE

**SHOP & OFFICE**

**Separate Cost Item for Evaluation by Contract Administrator**

Room #	FM 01
--------	-------

Area SM	796.3
Area SF	8,571

Rating:	
Occ Load	8 Adults intermittent 4 Adults continuous
Outside View	
Natural Light	Y

**Finishes**

Wall	CONC
Base	CONC
Floor	CONC
Ceiling	METAL
Window Treatment	

**Door**

Type	HM/ST
Finish	PT
Rating	
Window	
Sidelite	

**HVAC**

Supply Air	Y
Air Conditioning	
Thermostat	Y
Make-Up Air	Y
Separate A/C	
Exhaust Fan	Y
Humidified	
Dehumidified	
Range Hood	
Odour Control	
Fume Extraction	Y
Vehicle Exhaust	Y
CO <sub>2</sub> Control	Y
NO <sub>x</sub> Control	Y
CO Monitoring	Y
VOC Monitoring	Y
CH <sub>4</sub> Monitoring	
Clothes Drier	
Heat Curtains at Door	Y

**Special Power**

Generator Backup	
------------------	--

**Millwork**

Counter	
Credenza	
Lower cabinet	
Upper cabinet	
Shelving Unit	
Shelves	

**Security Door Set Millwork Locks**

Doorset	
Millwork Locks	
Card Access Control	
Intrusion Detection	
Arm/Disarm Keypad	
CCTV Camera	
CCTV Display Monitor	

**Plumbing**

SS Sink - Single Comp	
SS Sink - Double Comp.	
Lavatory - Countertop	
Lavatory - Freestanding Gang	
Toilet (Auto Flush)	
Toilet - Handicapped (Auto Flush)	
Urinal - Waterless	
Water Fountain	Y
Dispenser Hook-up	
Dishwasher Hook-up	
Mop Sink	
Floor Drain	Y
Hose Bibb (Interior)	Y (5)
Oil/Water Separator	Y
Grit Separator	Y
Eyewash Station	
Shower	
Clothes Washer	
Dousing Shower	

**Audio Visual**

Projector Ceiling Mtd.	
Projection Screen	

**Acoustics**

Wall STC	
Door Sealing	

**Electronic Equipment**

Computer/Telephone	
Wall Telephone	
Photocopier	
Network Printer	
Facsimile	
Two-Way Radio Base	
Television	
Wall Clock	
Intercom	
Other:	

**Special Lighting**

Decorative - Wall	
Decorative - Pendant	
Direct/Indirect	
Display	
Millwork	
Pendant Area Ltg.	
Pot Lights	
Signage	
Task, Perm Installed	

**Equipment**

Bridge crane	Y
Vehicle Wash	Y
Air Compressor	Y
Wash Water Treat.	

**Other**

Compress Air St.	Y (8)
Vehicle Hoist	Y
Dust Collection	
Hazmat Storage	Y
Paper Shredder	

**Additional Comments:** Shell only, each bay to accommodate a motor grader. Bridge crane for 5 ton capacity, to run full length of 40 M bay. Heat curtains at doors. Provide for one light duty hoist for passenger vehicles and one heavy duty hoist for heavy equipment. Oil, lube and recovery system.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Room Data Sheets**

**Basic Data**

Division	FLEET MANAGEMENT
Component	FM UNHEATED GARAGE/STORAGE

**TIRE/MISCELLANEOUS STORAGE**

**Separate Cost Item for Evaluation by Contract Administrator**

Room #	FM 02
--------	-------

Area SM	111.5
Area SF	1,200

Rating:	
Occ Load	
Outside View	
Natural Light	

<b>Finishes</b> Wall _____ Base _____ Floor _____ Ceiling _____ Window Treatment _____		<b>Millwork</b> Counter _____ Credenza _____ Lower cabinet _____ Upper cabinet _____ Shelving Unit _____ Shelves _____		<b>Acoustics</b> Wall STC _____ Door Sealing _____	
<b>Door</b> Type _____ OH/Man _____ Finish _____ Rating _____ Window _____ Sidelite _____		<b>Security Door Set Millwork Locks</b> Doorset _____ Y _____ Millwork Locks _____ Card Access Control _____ Intrusion Detection _____ Arm/Disarm Keypad _____ CCTV Camera _____ CCTV Display Monitor _____		<b>Electronic Equipment</b> Computer/Telephone _____ Wall Telephone _____ Photocopier _____ Network Printer _____ Facsimile _____ Two-Way Radio Base _____ Television _____ Wall Clock _____ Intercom _____ Other: _____	
<b>HVAC</b> Supply Air _____ Air Conditioning _____ Thermostat _____ Make-Up Air _____ Separate A/C _____ Exhaust Fan _____ Humidified _____ Dehumidified _____ Range Hood _____ Odour Control _____ Fume Extraction _____ Vehicle Exhaust _____ CO <sub>2</sub> Control _____ NOx Control _____ CO Monitoring _____ VOC Monitoring _____ CH <sub>4</sub> Monitoring _____ Clothes Drier _____ Heat Curtains at Door _____		<b>Plumbing</b> SS Sink - Single Comp _____ SS Sink - Double Comp _____ Lavatory - Countertop _____ Lavatory - Freestanding Gang _____ Toilet (Auto Flush) _____ Toilet - Handicapped (Auto Flush) _____ Urinal - Waterless _____ Water Fountain _____ Dispenser Hook-up _____ Dishwasher Hook-up _____ Mop Sink _____ Floor Drain _____ Hose Bibb (Interior) _____ Oil/Water Separator _____ Grit Separator _____ Eyewash Station _____ Shower _____ Clothes Washer _____ Dousing Shower _____		<b>Special Lighting</b> Decorative - Wall _____ Decorative - Pendant _____ Direct/Indirect _____ Display _____ Millwork _____ Pendant Area Ltg. _____ Pot Lights _____ Signage _____ Task, Perm Installed _____	
<b>Special Power</b> Generator Backup _____		<b>Audio Visual</b> Projector Ceiling Mtd. _____ Projection Screen _____		<b>Equipment</b> Bridge crane _____ Vehicle Wash _____ Air Compressor _____ Wash Water Treat. _____	
<b>Outbuilding Electrical</b> Lighting required _____ Y _____ Electrical required _____ Y _____		<b>Other</b> Compress Air St. _____ Vehicle Hoist _____ Dust Collection _____ Hazmat Storage _____ Paper Shredder _____			

**Additional Comments:** Stand alone outbuilding located in Winnipeg Fleet Management Yard.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

<b>Division</b>	WFMA
<b>Component</b>	FM PARKING

**EMPLOYEE & VISITOR PARKING AREA**

**Separate Cost Item for Evaluation by Contract Administrator**

<b>Room #</b>	FM-03
<b>Yard Area #</b>	6

<b>Area SM</b>	278.7
<b>Area SF</b>	3,000

<b>LEED</b>	

**Base Course (Depth)**

Subbase 450 -150 mm	
Subbase 425 -150 mm	
Base 300 - 150mm Down	
Base 150 - 50 mm Down	CLEAN
Base 300 - 50 mm Down	
Base 200 - 20 mm Down	
Base 100 - 20 mm Down	CLEAN
Base 75 - 20 mm Down	
Base 50 - 20mm Down	
Bedding Sand 50	
Geotextile	Y
Compacted Subbase	
Bedding 6.5mm	Y

**Surfacing Materials (Type)**

Asphalt 100 mm	
Concrete Apron 200 mm	
Conc. Sidewalk/Bulnose	Y
Granular 150 - 50mm Down	
Granular 125 - 20mm Down	
Paving Stone 75mm	Y
Permeable Pavers	Y

**Features**

Curbing	
Parking Stalls	Y (10)
Parking Lot Screen Fence	Y
Gravel Road/Yard	
Light Duty Yard	
Conc. Storage Bunkers	
Mtl's Stockpiles	
Directional Signage	Y

**Electrical**

Lighting Type	Y (Parking)
Poles	Y
Luminaires	Y
Plug-ins	Y (10)
Building Service	
Signage Lighting	

**Security**

Fencing - External	
Fencing - Internal	
Gates - Vehicle	
Gates - People	
Card Access Control	
Arm/Disarm Keypa	
CCTV Camera	

**UG Servicing**

Water Line	Y
Wastewater Sewer	Y
Land Drainage Sewer	Y
Fire Hydrant	
Catchbasin	Y
Catchbasin Lead	Y
Manhole	Y
Vent Pipe	
Swale	
SRB Wetland	
Infiltrat'n Trench	Y
Hose Bibb	
Grit Separator	
Oil/Water Separator	Y

**Landscaping**

Sod	Y
Rough Seed	
Lake Slopes	
Planting Beds 300mm Soil	Y
Wood Chip Mulch 75mm	Y
Trees	Y
Shrubs	Y
Ground Cover	
Benches	Y
Waste Receptacles	Y
Bicycle Storage	Y
Bollards	Y
Picnic Benches	

**Use**

Marshalling	
Circulation	
Employee Parking 2.7x6	Y
Truck Parking 3x12	
Materials Storage	
Equipment Storage	
Tire Storage	
Fut. Refueling	
Fut. Sand/Salt	
Vehicle Wash	
Air Compressor	

**Buildings**

Storage Bldg	
Storage Shed	
Main	

**Additional Comments:** Shared will all Public Works Divisions.

Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP  
Yard Area Data Sheets**

**Basic Data**

Division	FLEET MANAGEMENT
Component	FM YARD

**VEHICLE & EQUIP. STORAGE & ACCESS**

**Separate Cost Item for Evaluation by Contract Administrator**

Room #	FM 04
Yard Area #	

Area SM	710.7
Area SF	7,650

LEED	

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Refer to Program of Requirements for additional commentary.

**City of Winnipeg East Yards RFP**  
**Yard Area Data Sheets**

**Basic Data**

Division	FLEET MANAGEMENT
Component	FM OTHER AREAS

**OTHER AREAS (UNDEVELOPED)**

**Separate Cost Item for Evaluation by Contract Administrator**

Room #	FM 05
Yard Area #	

Area SM	7,170.2
Area SF	77,180

LEED	

<p><b>Base Course (Depth)</b></p> <p>Subbase 450 -150 mm</p> <p>Subbase 425 -150 mm</p> <p>Base 300 - 150mm Down</p> <p>Base 150 - 50 mm Down</p> <p>Base 300 - 50 mm Down</p> <p>Base 200 - 20 mm Down</p> <p>Base 100 - 20 mm Down</p> <p>Base 75 - 20 mm Down</p> <p>Base 50 - 20mm Down</p> <p>Bedding Sand 50</p> <p>Geotextile</p> <p>Compacted Subbase</p> <p><b>Surfacing Materials (Type)</b></p> <p>Asphalt 100 mm</p> <p>Concrete Apron 200 mm</p> <p>Conc. Sidewalk/Bulldoze</p> <p>Granular 150 - 50mm Down</p> <p>Granular 125 - 20mm Down</p> <p>Paving Stone 75mm</p> <p>Permeable Pavers</p> <p><b>Features</b></p> <p>Curbing</p> <p>Parking Stalls</p> <p>Parking Lot Screen Fence</p> <p>Gravel Road/Yard</p> <p>Light Duty Yard</p> <p>Conc. Storage Bunkers</p> <p>Mtl's Stockpiles</p> <p>Directional Signage</p>	<p><b>Electrical</b></p> <p>Lighting Type</p> <p>Poles</p> <p>Luminaires</p> <p>Plug-ins</p> <p>Building Service</p> <p>Signage Lighting</p> <p><b>Security</b></p> <p>Fencing - External</p> <p>Fencing - Internal</p> <p>Gates - Vehicle</p> <p>Gates - People</p> <p>Card Access Control</p> <p>Arm/Disarm Keypa</p> <p>CCTV Camera</p> <p><b>UG Servicing</b></p> <p>Water Line</p> <p>Wastewater Sewer</p> <p>Land Drainage Sewer</p> <p>Fire Hydrant</p> <p>Catchbasin</p> <p>Catchbasin Lead</p> <p>Manhole</p> <p>Vent Pipe</p> <p>Swale</p> <p>SRB Wetland</p> <p>Infiltrat'n Trench</p> <p>Hose Bibb</p> <p>Grit Separator</p> <p>Oil/Water Separator</p>	<p><b>Landscaping</b></p> <p>Sod</p> <p>Rough Seed Y</p> <p>Lake Slopes</p> <p>Planting Beds 300mm Soil</p> <p>Wood Chip Mulch 75mm</p> <p>Trees</p> <p>Shrubs</p> <p>Ground Cover</p> <p>Benches</p> <p>Waste Receptacles</p> <p>Bicycle Storage</p> <p>Bollards</p> <p>Picnic Tables</p> <p><b>Use</b></p> <p>Marshalling</p> <p>Circulation</p> <p>Employee Parking 2.7x6</p> <p>Truck Parking 3x12</p> <p>Materials Storage</p> <p>Equipment Storage</p> <p>Tire Storage Y</p> <p>Fut. Wash</p> <p>Fut. Sand/Salt</p> <p>Vehicle Wash</p> <p>Air Compressor</p> <p><b>Buildings</b></p> <p>Storage Bldg</p> <p>Storage Shed Y</p> <p>Main</p>
<p><b>Additional Comments:</b></p>		

Refer to Program of Requirements for additional commentary.

**Appendix B3**

**Furnishings Table (for Space-Planning Purposes only)**

## Furnishings Table (for Space-Planning Purposes only)

February 18, 2009

1.0 WORKSTATIONS		OPTIONS			
ITEM NO.	DESCRIPTION	A	B	C	D
		SIZE/QTY	SIZE/QTY	SIZE/QTY	SIZE/QTY
1.1	WS SIZE - L SHAPE	7x8	8x8	8x10	10x10
1.2	PANEL/PARTITION HEIGHT	36"	45"	60"	
1.3	STORAGE PEDESTAL 18" W	0	1	2	
	* WITH FILE DRAWER	Y	N		
1.4	LATERAL FILES 18"x 30" W	0	1	2	
1.5	OVERHEAD SHELF 12"x42"W	0	1	2	
1.6	OVERHEAD BINDER BIN 12"x42"W	0	1		
1.7	ACCESSORIES				
	- TASK LIGHTS	0	1	2	
	- PAPER TRAYS	0	1	2	
	- OTHER				
2.0 OFFICE		OPTIONS			
ITEM NO.	DESCRIPTION	A	B	C	D
		SIZE/QTY	SIZE/QTY	SIZE/QTY	SIZE/QTY
2.1	DESK SIZE-RECTANGLE WITH 1 POD	36x60	36x72		
2.2	RETURN - 18"x42"	0	1		
2.3	LATERAL FILES 18"x 30" W - 2 TIER	0	1	2	
2.4	MEETING TABLE - ROUND	0	30" Ø	36" Ø	
2.5	SIDE CHAIRS - SLED/FABRIC	0	1	2	
2.6	OTHER				
3.0 CONFERENCE / MEETING		OPTIONS			
ITEM NO.	DESCRIPTION	A	B	C	D
		SIZE/QTY	SIZE/QTY	SIZE/QTY	SIZE/QTY
3.1	TABLE - BOAT/POD	12 PERSON	12 PERSON		
3.2	CONFERENCE CHAIR				
3.3	CREDENZA - 16"x96"	0	1	2	
3.4	OTHER				
4.0 MPR FURNITURE		OPTIONS			
ITEM NO.	DESCRIPTION	A	B	C	D
		SIZE/QTY	SIZE/QTY	SIZE/QTY	SIZE/QTY
4.1	TABLES 30"x96" FOLDING	0	20		
4.2	CHAIRS - METAL/VINYL	0	120		
4.3	OTHER	0	1	2	
5.0 LOCKERS		OPTIONS			
ITEM NO.	DESCRIPTION	A	B	C	D
		SIZE/QTY	SIZE/QTY	SIZE/QTY	SIZE/QTY
5.1	TABLES 30"x96" FOLDING	0	240		
5.2	BENCHES - 16"x48" CEDAR/STEEL	0	12		
5.3	OTHER				

**Appendix B4**

**Schematic Drawings – Building and Site**

**Appendix B4-1**

**Schematic Drawings - Site**



**LEGEND:**  
 — SUBJECT SITE  
 ~ CONTOURS (m)

PROFESSIONAL SEALS

IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
B	11/05/25	Released For Design Build RFP	WJD	-	SK	-	-	-
A	11/05/06	Issued For Final Review	WJD	-	SK	-	-	-

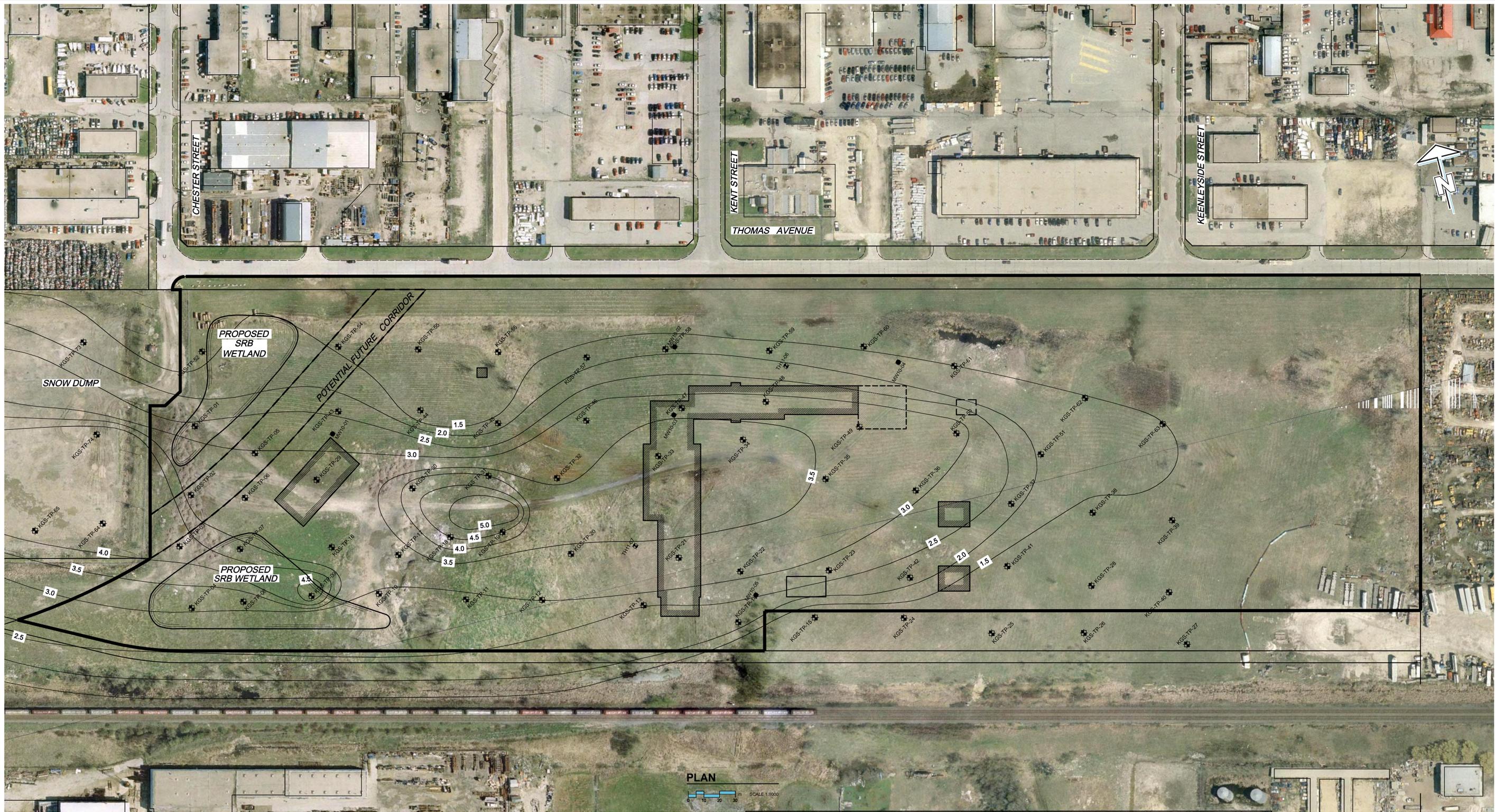


**City of Winnipeg**  
 Design and Construction of the Public Works East Yard Complex  
 at the former Elmwood/Nairn Landfill Site  
 Subject Site  
 Existing Conditions

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
060146003	01-C-1001	B

BID OPPORTUNITY NO. RFP 429-2011

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**LEGEND:**

- SUBJECT SITE
- PROPOSED PUBLIC WORKS EAST YARDS FACILITIES
- FUTURE WINNIPEG FLEET MANAGEMENT AGENCY OPTION
- KGS TEST PIT (TYPICAL)
- CONTOURS - APPROXIMATE DEPTH OF SUSPECTED DEMOLITION FILL IN METRES BASED ON KGS TEST PIT DATA
- AECOM TEST HOLE LOCATIONS (TYPICAL)
- AECOM MONITORING WELL LOCATIONS (TYPICAL)

PROFESSIONAL SEALS

IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
B	11/05/25	Released For Design Build RFP	WJD	-	SK	-	-	-
A	11/05/06	Issued For Final Review	WJD	-	SK	-	-	-



**City of Winnipeg**  
 Design and Construction of the Public Works East Yard Complex  
 at the former Elmwood/Nairn Landfill Site  
 Summary Diagram of  
 Subsurface Investigations

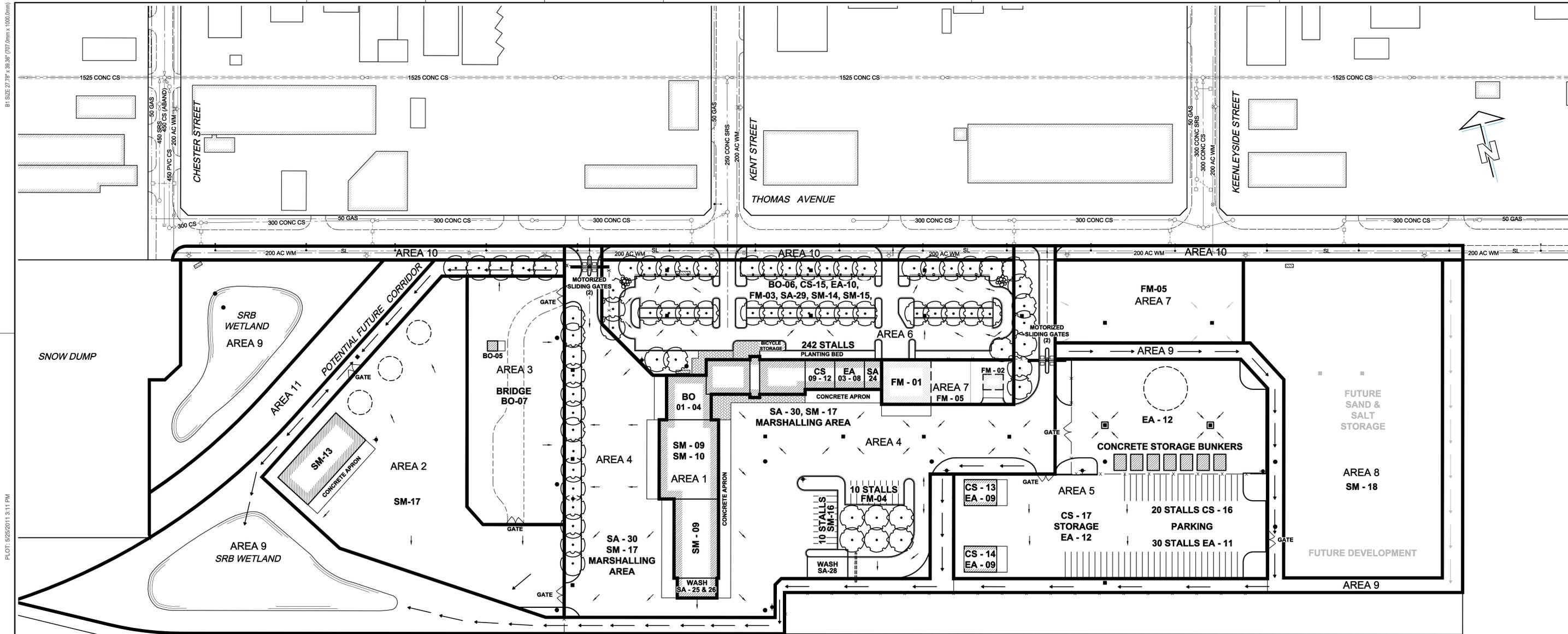
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PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
060146003	01-C-1002	B

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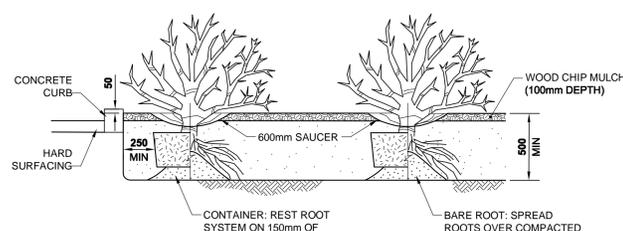
B1 SIZE 2776" x 3636" (707.0mm x 1000.0mm)

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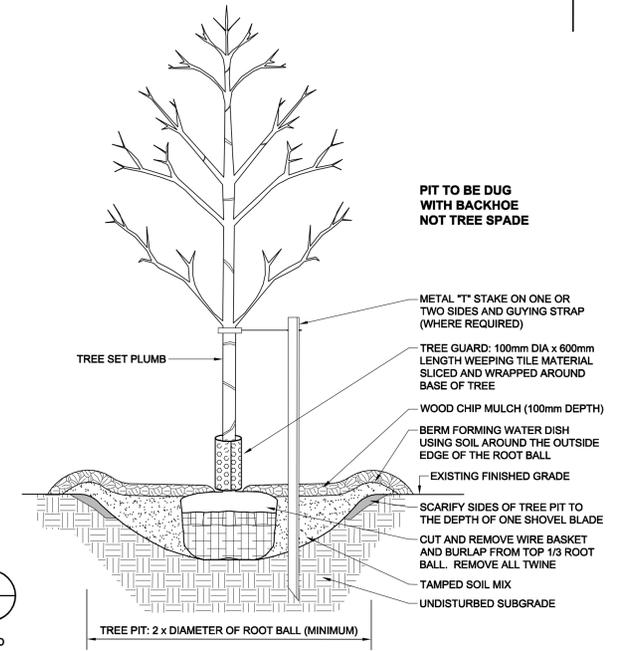


**DIVISIONS & SPECIAL OPERATING AREAS:**

- SM - STREETS MAINTENANCE DIVISION..... (YARD AREAS 1, 2, 6, 8)
- CS - CENTRALIZED PARKS SERVICES DIVISION..... (YARD AREAS 1, 5, 6)
- EA - EAST AREA PARKS, PARKS & OPEN SPACES DIVISION..... (YARD AREAS 1, 5, 6)
- BO - BRIDGE OPERATIONS DIVISION..... (YARD AREAS 1, 3, 6)
- SA - SHARED AMENITIES..... (YARD AREAS 1, 4, 9, 10)
- FM - WINNIPEG FLEET MANAGEMENT AGENCY..... (YARD AREAS 6, 7)
- OTHER - FUTURE CORRIDOR..... (YARD AREAS 11)



**DETAIL 1**  
SCALE: NTS  
TYPICAL SHRUB PLANTING DETAIL



**DETAIL 2**  
SCALE: NTS  
TYPICAL TREE PLANTING DETAIL  
NOTE: DETAIL BASED ON (DRAFT) STANDARD CITY OF WINNIPEG GUIDELINES.

EXISTING	LEGEND - PLAN	NEW	EXISTING	LEGEND - PLAN	NEW	EXISTING	LEGEND - PROFILE	NEW
150 WM	WATERMAIN	150 WM	CURB STOP	150 WM	WATERMAIN	150 WM		
300 LBS	LAND DRAINAGE SEWER	300 LBS	REDUCER	300 LBS	LAND DRAINAGE SEWER	300 LBS		
250 WWS	WASTE WATER SEWER	250 WWS	COUPLING	250 WWS	WASTE WATER SEWER	250 WWS		
	MANHOLE		HYDRO		PAVEMENT CROWN			
	CATCH BASIN		MTS		GROUNDLINE			
	CURB INLET		GAS					
	CULVERT		ASPHALT					
	DITCH/WALE		CONCRETE					
	SURFACE DRAINAGE		LIP CURB					
	UTILITY TRENCH GAS BARRIER		MODIFIED BARRIER CURB					
			RAMP CURB					
			SURVEY BAR					

PROFESSIONAL SEALS

IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
B	11/05/25	Released For Design Build RFP	KLC	-	DKH	-	AN	-
A	11/05/06	Issued For Final Review	KLC	-	DKH	-	-	-



City of Winnipeg  
Design and Construction of the Public Works East Yard Complex  
at the former Elmwood/Nairn Landfill Site  
Conceptual Site Plan  
Program Elements and Planting Details

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
060146003	01-C-1003	B

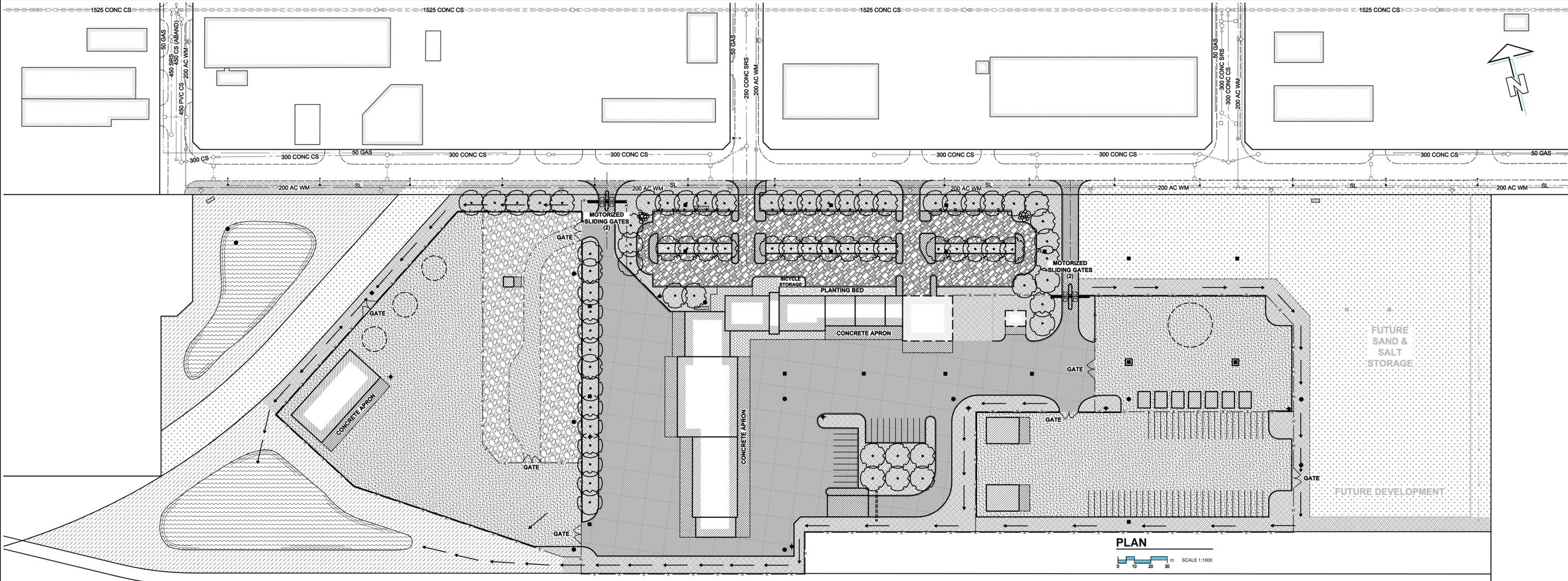
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BID OPPORTUNITY NO. RFP 429-2011

B1 SIZE 27.78" x 36.36" (707.0mm x 1000.0mm)

PLOT: 5/25/2011 3:15 PM

AECOM FILE NAME: 060146003\_01-C-1004\_RX.dwg Saved By: cooperk

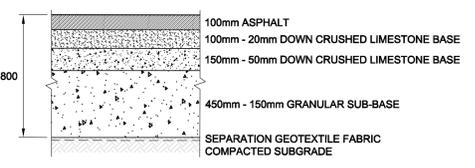


**PLAN**  
SCALE: 1:1000  
0 10 20 30 m

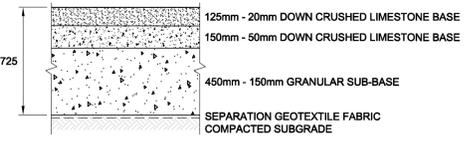
**LEGEND**

SYMBOL	ITEM	QUANTITY
[Pattern]	CONCRETE APPROACHES / APRONS / MAJOR PAD	3,055m <sup>2</sup>
[Pattern]	CONCRETE SIDEWALK / BULLNOSE	1,035m <sup>2</sup>
[Pattern]	ASPHALT YARD	18,715m <sup>2</sup>
[Pattern]	GRAVEL ROADS / YARD	35,780m <sup>2</sup>
[Pattern]	GRAVEL YARD - BRIDGE	7,050m <sup>2</sup>
[Pattern]	SOD AREA/SWALES	27,795m <sup>2</sup>
[Pattern]	LAKE SLOPES	16,390m <sup>2</sup>
[Pattern]	ROUGH SEED	36,815m <sup>2</sup>
[Pattern]	PERMEABLE PAVINGSTONE PARKING LOT	9,110m <sup>2</sup>
[Pattern]	PRECAST PAVERS / SIDEWALK / PATIO	900m <sup>2</sup>
[Pattern]	STORMWATER RETENTION BASIN (SRB)	9,150m <sup>2</sup>
[Pattern]	PLANTING BEDS / STORMWATER INFILTRATION SWALE	1,430m <sup>2</sup>
[Symbol]	TREES	71
[Symbol]	FENCE	2,030 Lm.
[Symbol]	CURB	1,940 Lm.
[Symbol]	PARKING LOT SCREEN FENCE	175 Lm.
[Symbol]	MOTORIZED SLIDING GATE	4
[Symbol]	MAN GATE	2
[Symbol]	SWING GATE	7
[Symbol]	HYDRANT	8
[Symbol]	MANHOLE	12
[Symbol]	CATCHBASIN	20
[Symbol]	STOCKPILE	

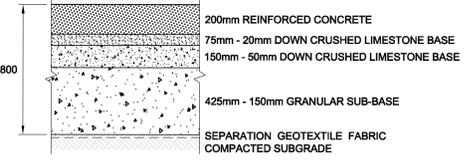
**NOTE**  
ALL MEASURED QUANTITIES (m<sup>2</sup> AND Lm.) ARE APPROXIMATE



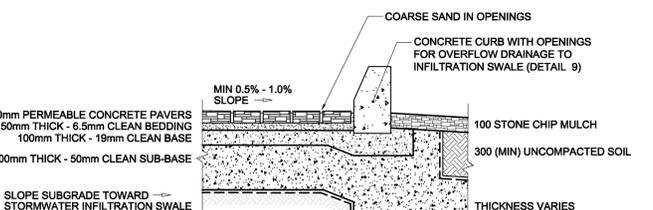
**DETAIL 1**  
SCALE: NTS  
ASPHALT YARD



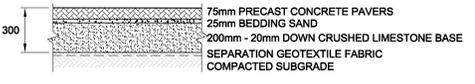
**DETAIL 2**  
SCALE: NTS  
GRAVEL ROADS / YARD



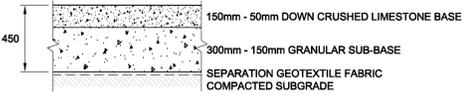
**DETAIL 3**  
SCALE: NTS  
CONCRETE APPROACHES / APRONS / MAJOR PAD



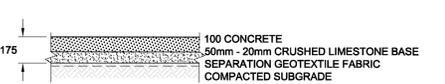
**DETAIL 4**  
SCALE: NTS  
PERMEABLE PAVING STONE PARKING LOT



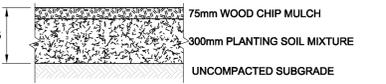
**DETAIL 5**  
SCALE: NTS  
PRE-CAST PAVERS / SIDEWALK / PATIO



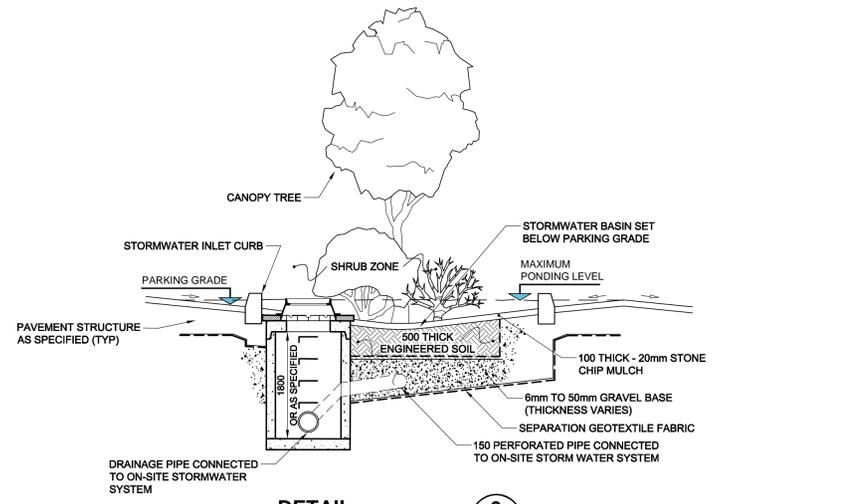
**DETAIL 6**  
SCALE: NTS  
LIGHT STORAGE AREAS IN BRIDGE YARD (OUTSIDE OF ROAD/BUILDING PAD)



**DETAIL 7**  
SCALE: NTS  
CONCRETE SIDEWALK / BULLNOSES



**DETAIL 8**  
SCALE: NTS  
PLANTING BEDS FRONT OF BUILDING (OTHER, NOT SHOWN)



**DETAIL 9**  
SCALE: NTS  
PARKING LOT STORMWATER INFILTRATION SWALE

PROFESSIONAL SEALS

IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
B	11/05/25	Released For Design Build RFP	KLC	-	DKH	-	AN	-
A	11/05/06	Issued For Final Review	KLC	-	DKH	-	-	-



**City of Winnipeg**  
Design and Construction of the Public Works East Yard Complex  
at the former Elmwood/Nairn Landfill Site  
Conceptual Site Plan and Details  
Surfacing Materials

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
060146003	01-C-1004	B

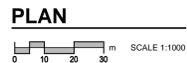
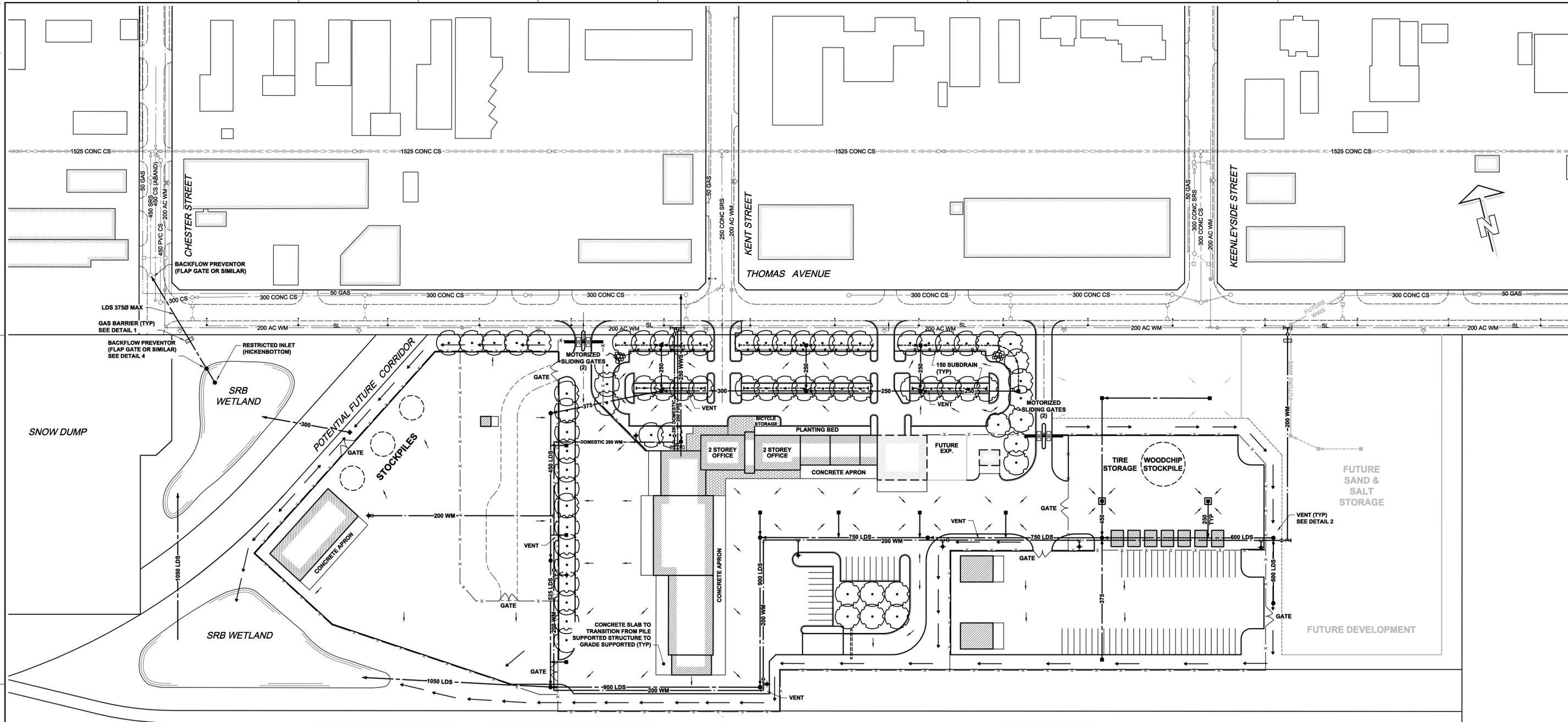
BID OPPORTUNITY NO. RFP 429-2011

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B1 SIZE 2778" x 3836" (707.0mm x 1000.0mm)

PLOT: 5/25/2011 3:38 PM

AECOM FILE NAME: 060146003\_01-C-1005\_RX.dwg  
Saved By: cooperk

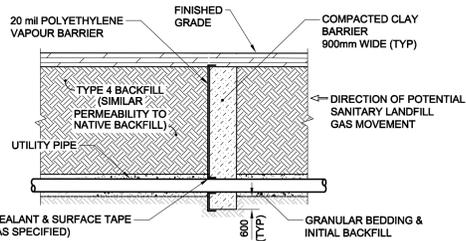


**LEGEND**

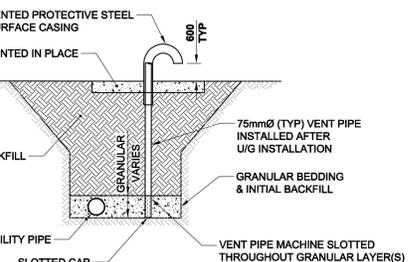
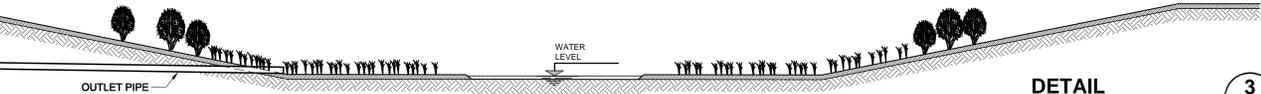
SYMBOL	ITEM
[Pattern]	PRECAST PAVERS / SIDEWALK / PATIO
[Circle]	TREES
[Line]	FENCE
[Line]	CURB
[Line]	PARKING LOT SCREEN FENCE
[Line]	SWING GATE
[Circle]	STOCKPILE

**NOTE**  
SITE LIGHTING IS NOT SHOWN. COORDINATE LIGHTING WITH SITE ELEMENTS.

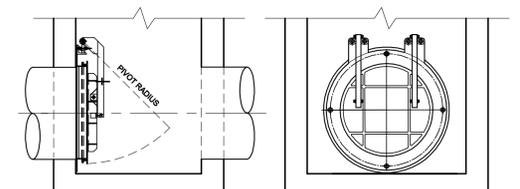
EXISTING	LEGEND - PLAN	NEW	EXISTING	LEGEND - PLAN	NEW	EXISTING	LEGEND - PROFILE	NEW
150 WM	WATERMAIN	150 WM	CURB STOP	150 WM	WATERMAIN	150 WM		
300 LDS	LAND DRAINAGE SEWER	300 LDS	REDUCER	300 LDS	LAND DRAINAGE SEWER	300 LDS		
250 WWS	WASTE WATER SEWER	250 WWS	COUPLING	250 WWS	WASTE WATER SEWER	250 WWS		
	MANHOLE		HYDRO		PAVEMENT CROWN			
	CATCH BASIN		MTS		GROUNDLINE			
	CURB INLET		GAS					
	CULVERT		ASPHALT					
	DITCH/SWALE		CONCRETE					
	SURFACE DRAINAGE		LIP CURB					
	UTILITY TRENCH GAS BARRIER		MODIFIED BARRIER CURB					
			RAMP CURB					
			SURVEY BAR					



**DETAIL 1**  
SCALE: NTS  
TYPICAL UTILITY TRENCH LANDFILL GAS BARRIER



**DETAIL 2**  
SCALE: NTS  
TYPICAL UTILITY TRENCH VENT DETAIL



**DETAIL 3**  
SCALE: NTS  
TYPICAL FLAP GATE

**DETAIL 4**  
SCALE: NTS  
WETLAND STORMWATER RETENTION BASIN

PROFESSIONAL SEALS

IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
B	11/05/25	Released For Design Build RFP	KLC	-	DKH	-	AN	-
A	11/05/06	Issued For Final Review	KLC	-	DKH	-	-	-



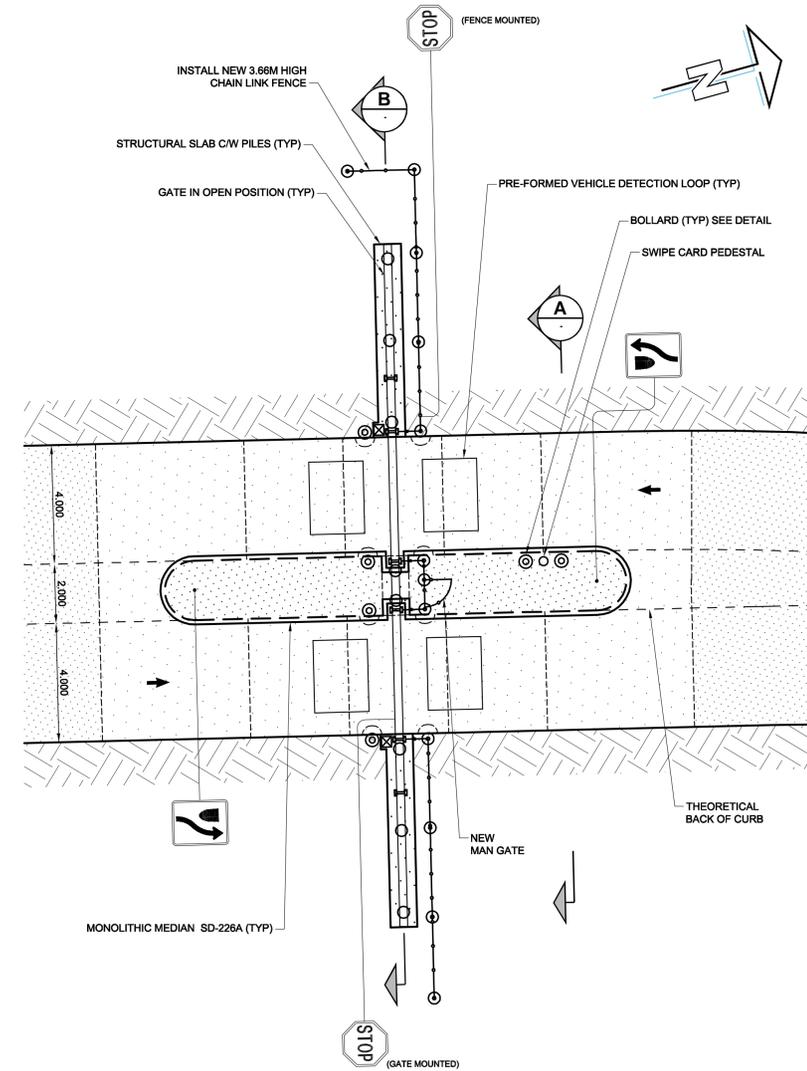
City of Winnipeg  
Design and Construction of the Public Works East Yard Complex  
at the former Elmwood/Nairn Landfill Site

Conceptual Site Servicing Plan and Details

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
060146003	01-C-1005	B

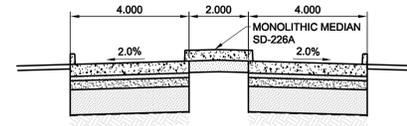
BID OPPORTUNITY NO. RFP 429-2011

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**DETAIL OF GATE AREA**

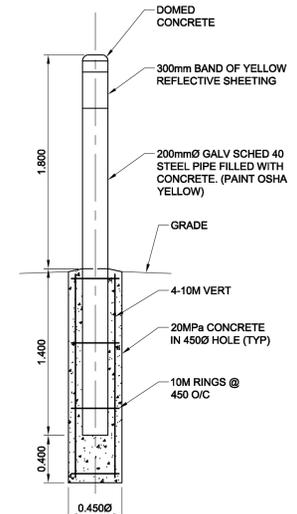
SCALE 1:100



**SECTION A 01**

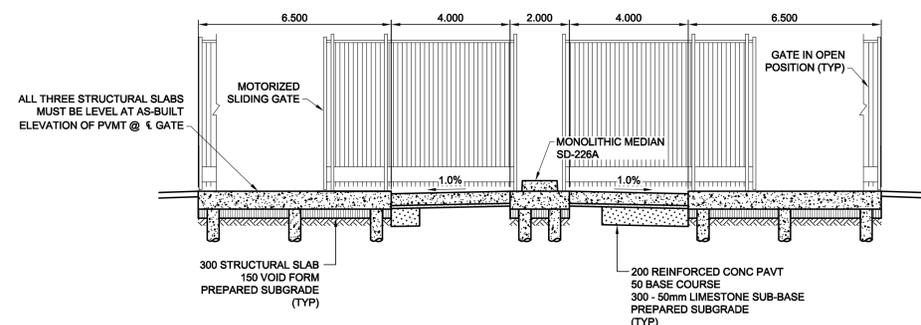
SCALE 1:100

200mm REINFORCED CONCRETE PAVEMENT  
75mm - 20mm DOWN CRUSHED LIMESTONE BASE  
150mm - 50mm DOWN CRUSHED LIMESTONE BASE  
425mm - 150mm GRANULAR SUB-BASE  
SEPARATION GEOTEXTILE FABRIC  
COMPACTED SUBGRADE



**BOLLARD DETAIL**

SCALE 1:25



**SECTION B 01**

SCALE 1:100

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PROFESSIONAL SEALS

REV	DATE	DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
B	11/05/25	Released For Design Build RFP	KLC	-	DKH	-	AN	-
A	11/05/06	Issued For Final Review	KLC	-	DKH	-	-	-
I/R	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

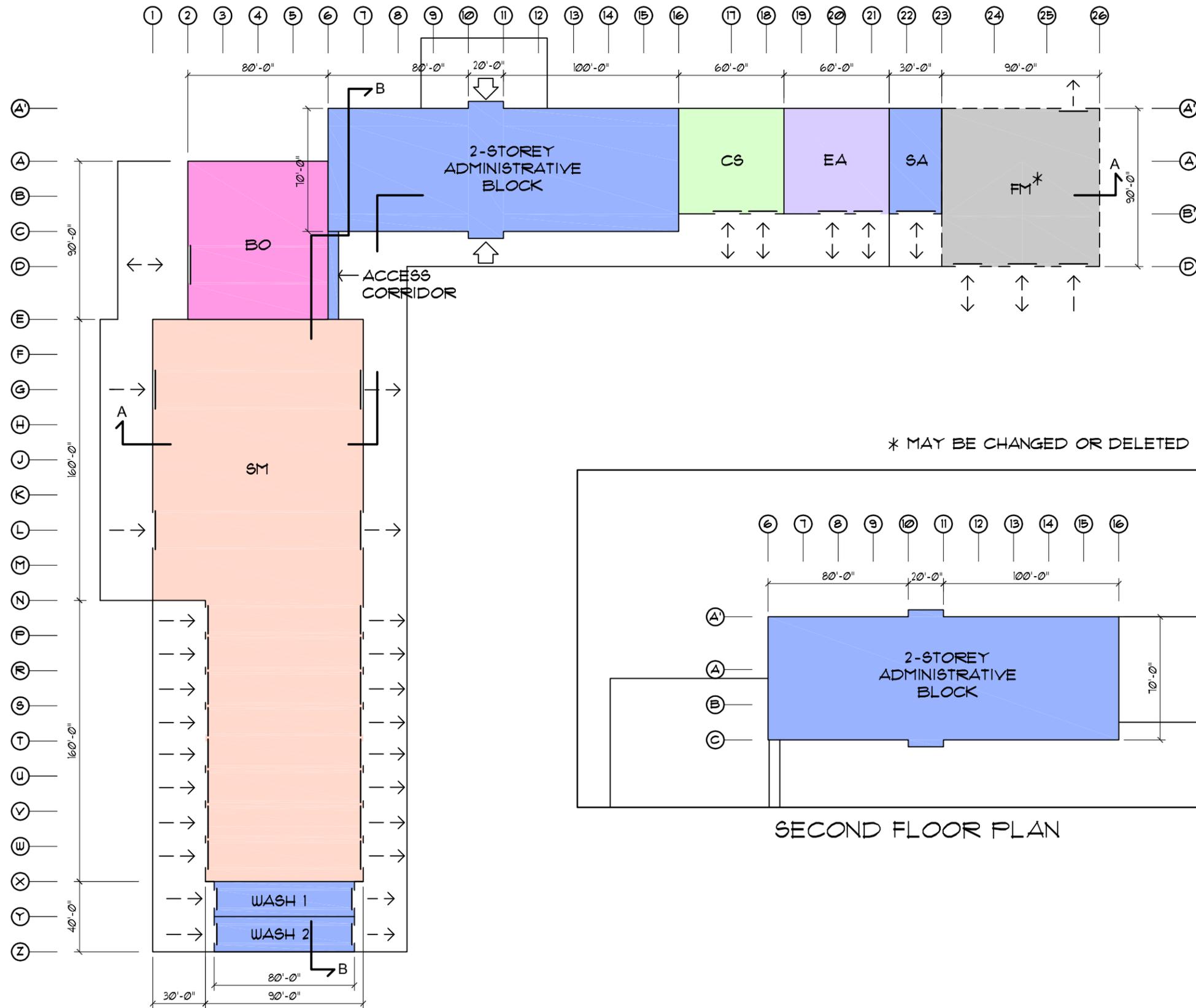


City of Winnipeg  
Design and Construction of the Public Works East Yard Complex  
at the former Elmwood/Nairn Landfill Site  
Motorized Sliding Gate  
Miscellaneous Details and Cross Sections

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
060146003	01-C-4001	B

**Appendix B4-2**

**Schematic Drawings – Building**



\* MAY BE CHANGED OR DELETED

MAIN FLOOR PLAN

SECOND FLOOR PLAN

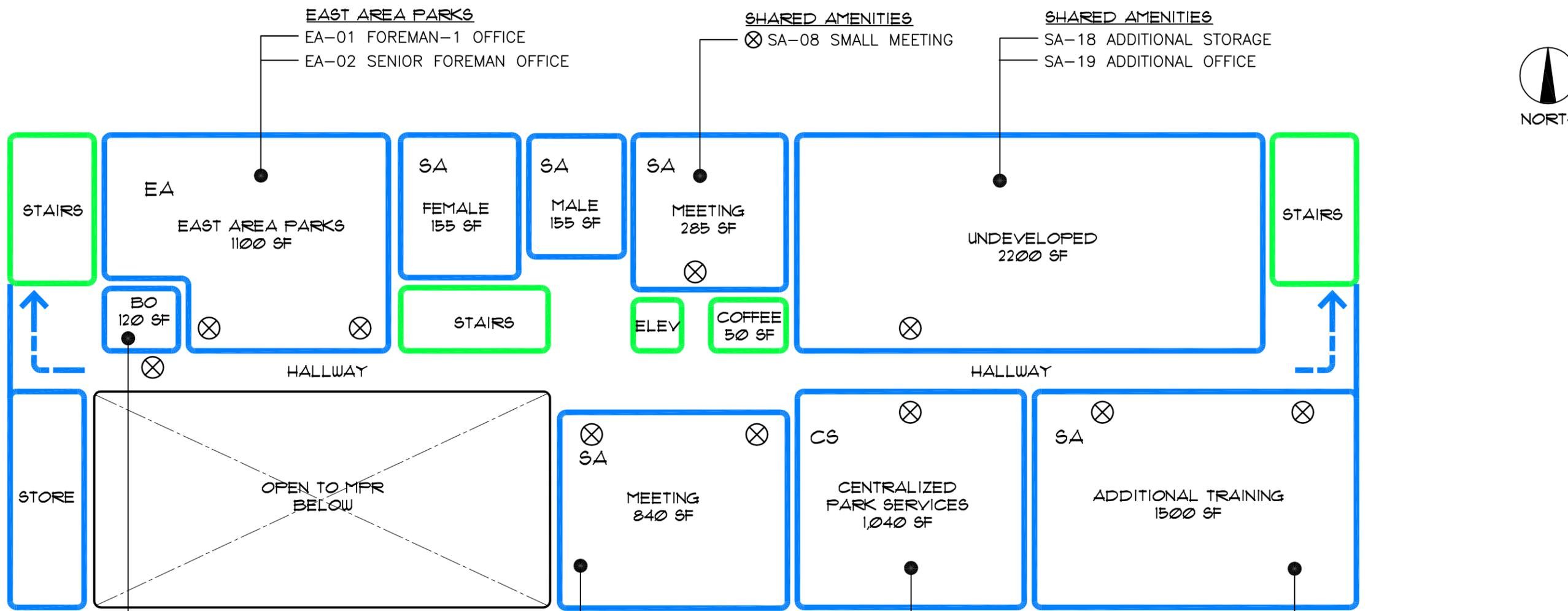
DRAWING:  
 MAIN OFFICE & GARAGE BLDG  
 SCHEMATIC DESIGN DRAWING  
 FLOOR PLANS

PROJECT:  
 RFP 429-2011  
 Design & Construction of  
 PUBLIC WORKS EAST YARD COMPLEX  
 at Former Elmwood/Nairn Landfill Site

A-1

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 10-395 Berry Street, Winnipeg, Manitoba R3J 1N6





EAST AREA PARKS

- EA-01 FOREMAN-1 OFFICE
- EA-02 SENIOR FOREMAN OFFICE

SHARED AMENITIES

- SA-08 SMALL MEETING

SHARED AMENITIES

- SA-18 ADDITIONAL STORAGE
- SA-19 ADDITIONAL OFFICE

BRIDGE OPERATION

- BO-01 BRIDGE OPERATION OFFICE

SHARED AMENITIES

- SA-07 A/B LARGE MEETING 1/2

CENTRALIZED PARKS SERVICES

- CS-01 FOREMAN-II OFFICE
- CS-02 UTILITY-IV FOREMAN-I OFFICE
- CS-03 UTILITY-IV OFFICE
- CS-04 UTILITY-II OFFICE
- CS-05 SHARED FILES STORAGE
- CS-06 OFFICE SUPPORT
- CS-08 WEED INSPECTORS OFFICE

SHARED AMENITIES

- SA-17 ADDITIONAL TRAINING

⊗ - SECURED ENTRY (CARD ACCESS)

■ FUNCTIONAL  
 ■ PUBLIC

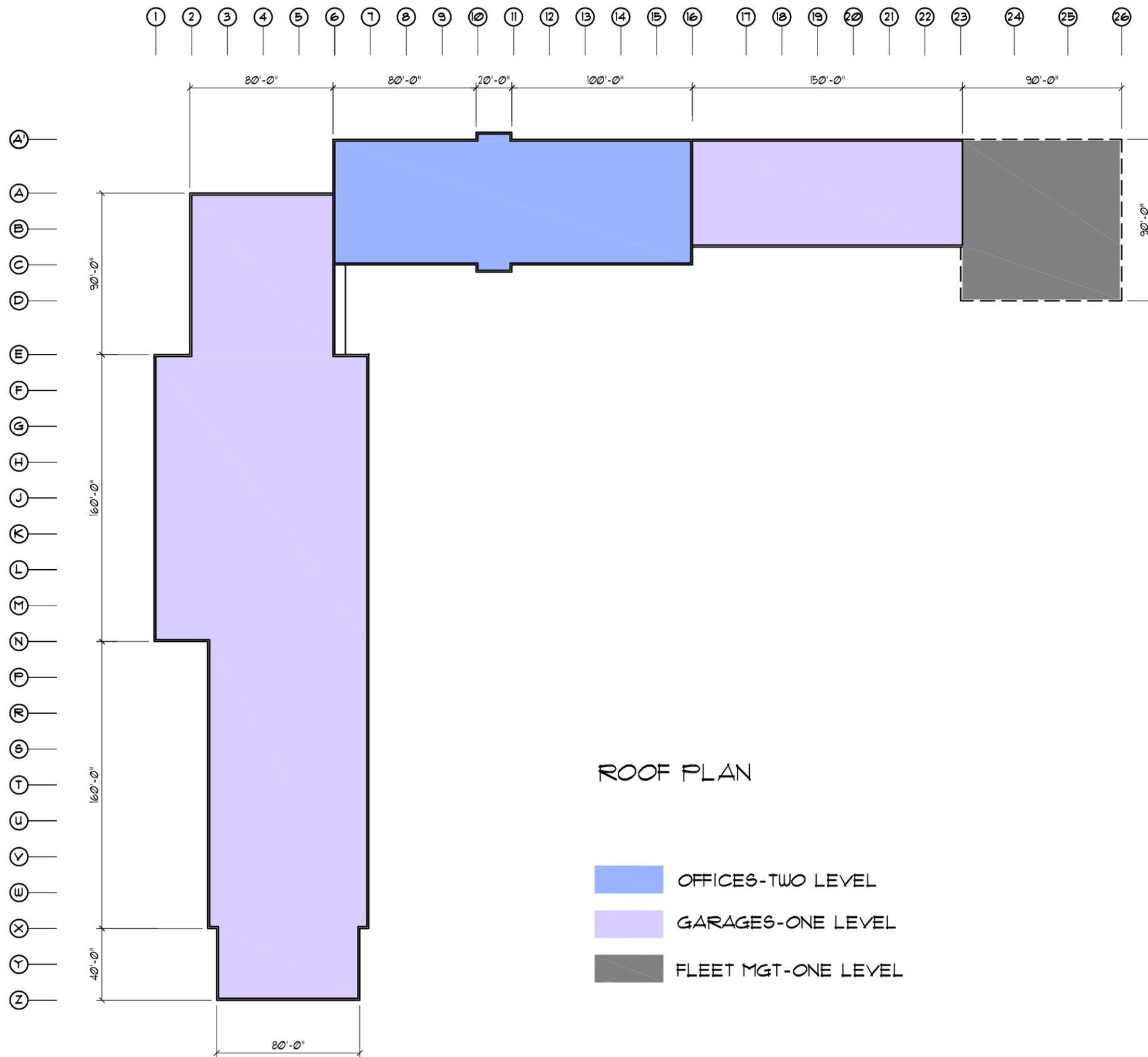
SCHEMATIC DIAGRAM  
SECOND FLOOR

DRAWING: MAIN OFFICE & GARAGE BLDG  
SCHEMATIC DIAGRAM  
SECOND FLOOR

PROJECT: RFP 429-2011  
Design & Construction of  
PUBLIC WORKS EAST YARD COMPLEX  
at Former Elmwood/Nairn Landfill Site

A-3

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10-395 Berry Street, Winnipeg, Manitoba R3J 1N6



ROOF PLAN

- OFFICES-TWO LEVEL
- GARAGES-ONE LEVEL
- FLEET MGT-ONE LEVEL

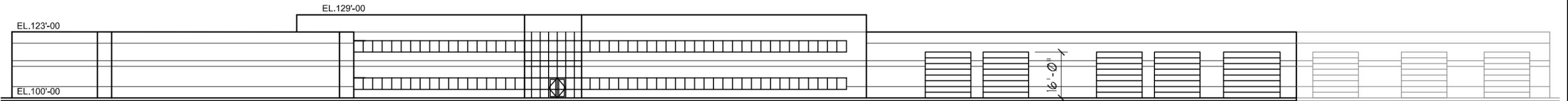


DRAWING: MAIN OFFICE & GARAGE BLDG  
SCHEMATIC DESIGN DRAWING  
ROOF PLAN

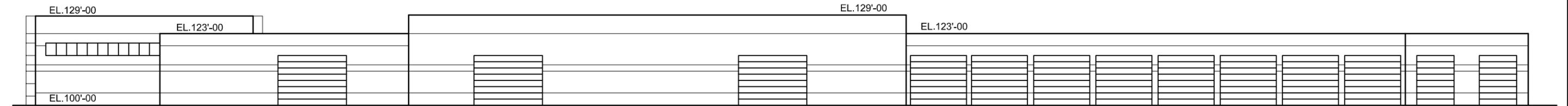
PROJECT: RFP 429-2011  
Design & Construction of  
PUBLIC WORKS EAST YARD COMPLEX  
at Former Elmwood/Nairn Landfill Site

A-4

Neil Cooper Architect Inc.  
10-395 Berry Street, Winnipeg, Manitoba R3J 1N6



SOUTH ELEVATION



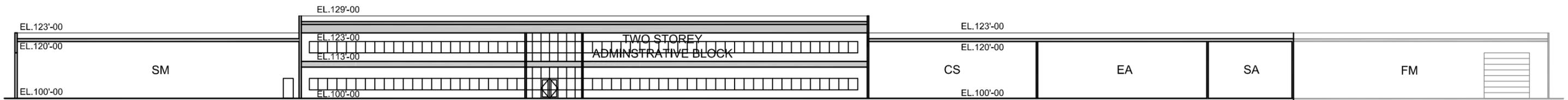
WEST ELEVATION

DRAWING:  
 MAIN OFFICE & GARAGE BLDG  
 SCHEMATIC DESIGN DRAWING  
 BUILDING ELEVATIONS

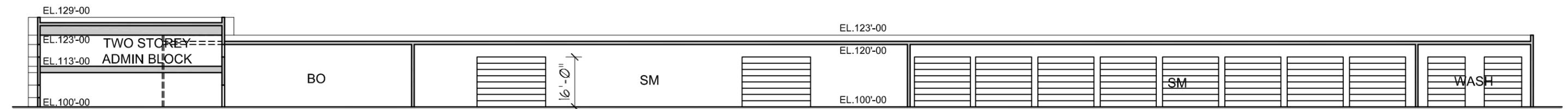
PROJECT:  
**RFP 429-2011**  
**Design & Construction of**  
**PUBLIC WORKS EAST YARD COMPLEX**  
 at Former Elmwood/Nairn Landfill Site

A-5

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SECTION A-A



SECTION B-B

DRAWING:  
 MAIN OFFICE & GARAGE BLDG  
 SCHEMATIC DESIGN DRAWING  
 BUILDING SECTIONS

PROJECT:  
**RFP 429-2011**  
**Design & Construction of**  
**PUBLIC WORKS EAST YARD COMPLEX**  
 at Former Elmwood/Nairn Landfill Site

A-6

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