

**1** BASEMENT MECHANICAL ROOM PLAN - DEMOLITION  
 SCALE: 1:40mm

**LEGEND:**

- PIPING/EQUIPMENT TO BE REMOVED OR RELOCATED
- EXISTING PIPING/EQUIPMENT TO REMAIN
- TP 1 TIE-IN POINT
- N.G. NATURAL GAS
- F.D. FLOOR DRAIN
- DCW DOMESTIC COLD WATER
- DHW DOMESTIC HOT WATER
- DHWR DOMESTIC HOT WATER RECIRC.
- HW HOT WATER
- PRV PRESSURE REDUCING VALVE
- RPZ REDUCED PRESSURE ZONE VALVE

**KEYNOTES:**

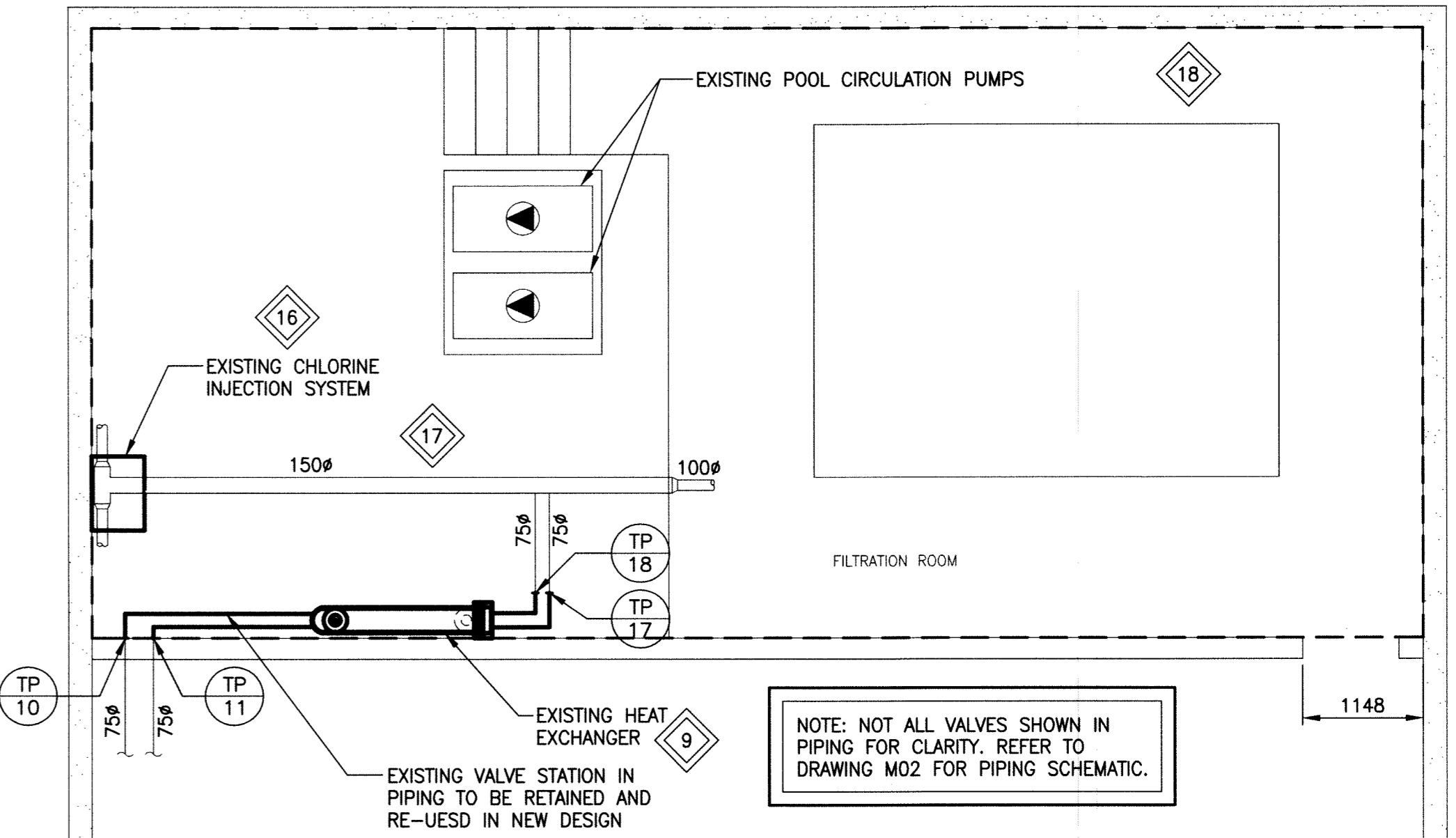
- 1 REMOVE EXISTING BOILER, REMOVE ALL RELATED CONTROLS, WIRING, CIRCULATION PUMP AND ASSOCIATED VALVES. REMOVE EXISTING CONCRETE PAD & MAKE GOOD. RE-FINISH CONCRETE TO MATCH EXISTING.
- 2 REMOVE ENTIRE EXISTING BOILER CHIMNEY SYSTEM. EXISTING CHASE TO BE USED TO ROUTE NEW BOILER CHIMNEYS TO ROOF.
- 3 REMOVE EXISTING PIPING AND PIPE INSULATION. ENSURE ALL ASBESTOS ABATEMENT HAS BEEN COMPLETED BEFORE PROCEEDING WITH THE WORK.
- 4 REMOVE EXISTING PUMPS AND ASSOCIATED VALVES. EXISTING CONCRETE HOUSEKEEPING PADS TO BE REMOVED OR MODIFIED TO SUIT NEW EQUIPMENT LOCATIONS. REFER TO DRAWING M03 FOR DETAILS. REFINISH CONCRETE TO MATCH EXISTING.
- 5 EXISTING DOMESTIC WATER SYSTEM COMPLETE WITH 2 STORAGE TANKS, 2 PUMPS, EXPANSION TANK AND ALL ASSOCIATED PIPING AND VALVES TO BE RE-USED & RELOCATED. REFER TO DRAWING M03 FOR NEW LOCATION. EXISTING CONCRETE PADS TO BE REMOVED OR MODIFIED TO SUIT NEW EQUIPMENT. REFINISH CONCRETE TO MATCH EXISTING.
- 6 REMOVE EXISTING DOMESTIC HOT WATER HEAT EXCHANGER. EXISTING CONTROLS SHALL BE RETAINED.
- 7 REMOVE EXISTING CIRCULATION PUMP.
- 8 EXISTING EXPANSION TANK TO REMAIN IN CEILING SPACE AND BE RE-USED IN NEW DESIGN.

**GENERAL NOTES:**

- 1. PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 2. DISPOSE OF ALL REMOVED EQUIPMENT, DUCTWORK AND PIPING OFF SITE. CONFIRM WITH CONTRACT ADMINISTRATOR IF ANY REMOVED EQUIPMENT IS TO BE TURNED OVER TO THE CITY.
- 3. ASBESTOS ABATEMENT IS NOT PART OF THIS CONTRACT. COORDINATE WITH CONTRACT ADMINISTRATOR FOR START DATE.
- 4. PATCH AND MAKE GOOD FLOOR, WALL AND ROOF PENETRATIONS RELATED TO THIS WORK AFTER EQUIPMENT, PIPING, ETC. IS REMOVED. FIRE SEAL WHERE APPROPRIATE. EXISTING PENETRATIONS IN ROOM TO REMAIN UNTOUCHED.

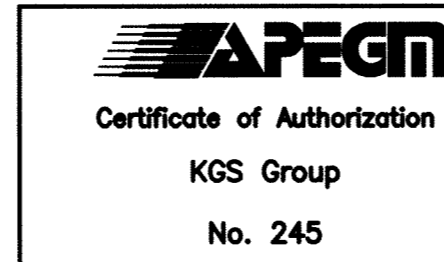
**KEYNOTES CONT'D:**

- 9 REMOVE EXISTING POOL WATER HEAT EXCHANGER. EXISTING VALVES AND CONTROLS TO REMAIN IN PLACE.
- 10 REMOVE PIPING TO POINT SHOWN. NEW PIPING TO TIE INTO EXISTING AT THIS POINT.
- 11 REMOVE EXISTING COMBUSTION AIR DUCT FOR MECHANICAL ROOM AND DUCT SHAFT. REFER TO DRAWING M02 FOR CONTINUATION OF DUCT.
- 12 REMOVE EXISTING MAKE-UP WATER SYSTEM CONNECTED TO DOMESTIC WATER LINE. REMOVE ALL ASSOCIATED VALVES, PIPING AND ACCESSORIES INCLUDING RPZ VALVE AND PRV. CAP EXISTING DOMESTIC WATER LINE AT HIGH LEVEL. MAINTAIN WATER SUPPLIES TO MOP SINK.
- 13 REMOVE PIPING UP TO UNDERSIDE OF FLOOR. NEW PIPING TO CONNECT TO RADIATOR IN NEW DESIGN.
- 14 EXISTING RACK STAND TO BE MODIFIED BY THE CITY TO ACCOMMODATE NEW FLOOR PLAN.
- 15 EXISTING MOP SINK TO BE RELOCATED TO ACCOMMODATE NEW EQUIPMENT. REFER TO DRAWING M03 FOR DETAILS.
- 16 EXISTING CHLORINE INJECTION SYSTEM TO BE RELOCATED. REFER TO DRAWING M03 FOR NEW LOCATION.
- 17 EXISTING PIPING TO BE MODIFIED TO SUIT NEW UV SYSTEM. REFER TO DRAWINGS M02 AND M06 FOR DEMOLITION AND NEW PIPING SCHEMATICS. REMOVE LOOSE PIPING NOT CONNECTED TO ANY SYSTEM.
- 18 BOUNDARY OF WORK AREA.



**2** BASEMENT FILTRATION ROOM PLAN - DEMOLITION  
 SCALE: 1:50mm

SCALE VERIFIED BY: \_\_\_\_\_



NO.	REVISIONS	DATE	BY	DATE
2	ISSUED FOR ADDENDUM #1	12/03/13	SHC	
1	RE-ISSUED FOR TENDER	12/02/28	RED	
0	ISSUED FOR TENDER	12/02/24	RED	

**KGS GROUP** CONSULTING ENGINEERS & PROJECT MANAGERS  
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DESIGNED BY: SHC  
 CHECKED BY: \_\_\_\_\_  
 DRAWN BY: RLR/TJC  
 APPROVED BY: \_\_\_\_\_  
 HOR. SCALE: AS SHOWN  
 VERTICAL: \_\_\_\_\_  
 RELEASED FOR CONSTRUCTION: \_\_\_\_\_  
 DATE: \_\_\_\_\_

ENGINEER'S SEAL  
 THE ORIGINAL ISSUE REV. 0 WAS STAMPED, DATED AND SIGNED BY:  
 R.B. BODNAR, P.ENG  
 ON 2012/02/24  
 CONSULTANT DRAWING NO. M01

**THE CITY OF WINNIPEG**  
 PLANNING, PROPERTY & DEVELOPMENT

PROJECT TITLE: ST. JAMES CENTENNIAL POOL  
 644 PARKDALE STREET  
 BID OPPORTUNITY: 45-2012  
 UPGRADE HYDRONIC HEATING SYSTEM

SHEET 001 OF 006  
 COMPUTER FILE NAME: 11-0107-32-M01  
 CITY DRAWING NUMBER