

GENERAL SITE DEVELOPMENT NOTES:

- The primary site to be redeveloped is defined by the existing chainlink fence enclosing the existing service yard. Exceptions as noted.
- Refer to Specifications for detailed material and methods descriptions. Where there is an inconsistency between the specifications, the drawings and/or the Geotechnical Report, the more onerous shall apply.
- Use of land within the native forest is prohibited. Where work is required within the native forest, the use of motorized vehicles is prohibited.
- Ensure adjacent surfaces meet flush and true without breaks, ridges or tripping hazards.
- Install paving prior to soft landscape.

PAVING & SUBGRADE NOTES:

- Refer to civil for grading information. Refer to Geotechnical Report for pavement area requirements.
- Refer to Site Plan for extent of paving and exterior slabs.
- Submit compaction testing reports for review, for each layer specified as to its SPD.
- Slope all sub-grade to drain.

asphalt paving (standard duty: parking stalls)

- 2" asphalt
- 6" granular base: 3/4" down crushed limestone (compacted to 100% SPD)
- 6" granular sub-base: 2" down crushed limestone (6" lifts, compacted to 98% SPD)
- In-situ consolidated subgrade compacted to 95% SPD

asphalt paving (heavy duty: approaches, driveway and aisle)

- 3" asphalt
- 6" granular base: 3/4" down crushed limestone (compacted to 100% SPD)
- 12" granular sub-base: 2" down crushed limestone (6" lifts, compacted to 98% SPD)
- In-situ consolidated subgrade compacted to 95% SPD

concrete slab on grade (sidewalks, typical)

- 4" reinforced concrete slab, see struct.
- 6" granular base: 3/4" down crushed limestone (compacted to 100% SPD)
- In-situ consolidated subgrade compacted to 95% SPD

concrete structural slab (sidewalks, where noted)

- Reinforced concrete slab, see struct.
- 6" granular base: 3/4" down crushed limestone (compacted to 100% SPD)
- In-situ consolidated subgrade compacted to 95% SPD

granular paving (north sidewalk)

- 2" granular finish layer: 3/4" clean crushed limestone
- 6" granular base: 3/4" down crushed limestone (compacted to 100% SPD)
- Geotextile fabric
- In-situ consolidated subgrade compacted to 95% SPD

SOFT LANDSCAPE NOTES:

- Confirm the location of all underground services prior to commencement of the work. The contractor will be responsible for repairing all damage to undergrounds as a result of his work.
- The 2-year maintenance will begin once all plant material has been installed and accepted.
- The 1-year warranty will commence at the date of substantial performance. All plants found to be dead or unhealthy due to plant stock quality, excluding acts of vandalism or damage beyond the contractor's control, shall be replaced and warranted for an additional year.
- Sub-grades shall be consolidated and compacted to 95% SPD and scarified to a 6" depth prior to installing topsoil and other base material.
- Shrubs and grasses shall be installed in min. 12" firmly packed topsoil bed, 4-way mix. Provide 2" D cedar mulch over entire bed unless noted otherwise. See detail 8/a002. Adjacent to the building, provide 3" D clean riverwash 1 1/2" stone over beds.
- All plants shall be well formed and bushy. Quantities shall be as indicated on plans, with layouts as provided by the architect prior to commencement of the work.
- Provide staked edging to separate sod, planting beds & granular toppings

sod (west lawn and patching)

- Class 1 or 2 as per City of Winnipeg specifications.
- Min. 6" topsoil, 4-way mix.
- In-situ consolidated subgrade compacted to 95% SPD

Karl Foerster Reed Grass (Calamagrostis acutiflora 'Karl Foerster')

- 1 gal. pot, 2yr plants from division, min. 6" height;

Moor Grass (Molinia caerulea)

- 1 gal. pot, 2yr plants from division, min. 6" height;
- 2 gal. pot, 15"-18" height, min. 5 major basal branches;

Prince of Wales Juniper (Juniperus horizontalis)

- 2 gal. pot, 15"-18" height, min. 5 major basal branches;

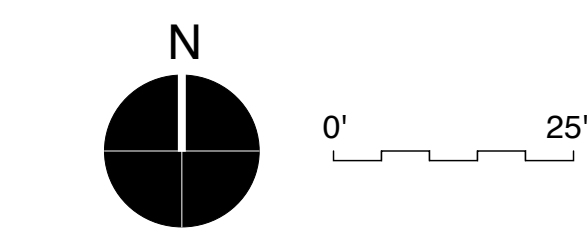
Calgary Carpet Juniper (Juniperus sabina)

- 2 gal. pot, 15"-18" height, min. 5 major basal branches;
- 5 gal. pot, min. 24" height, min. 5 major basal branches;

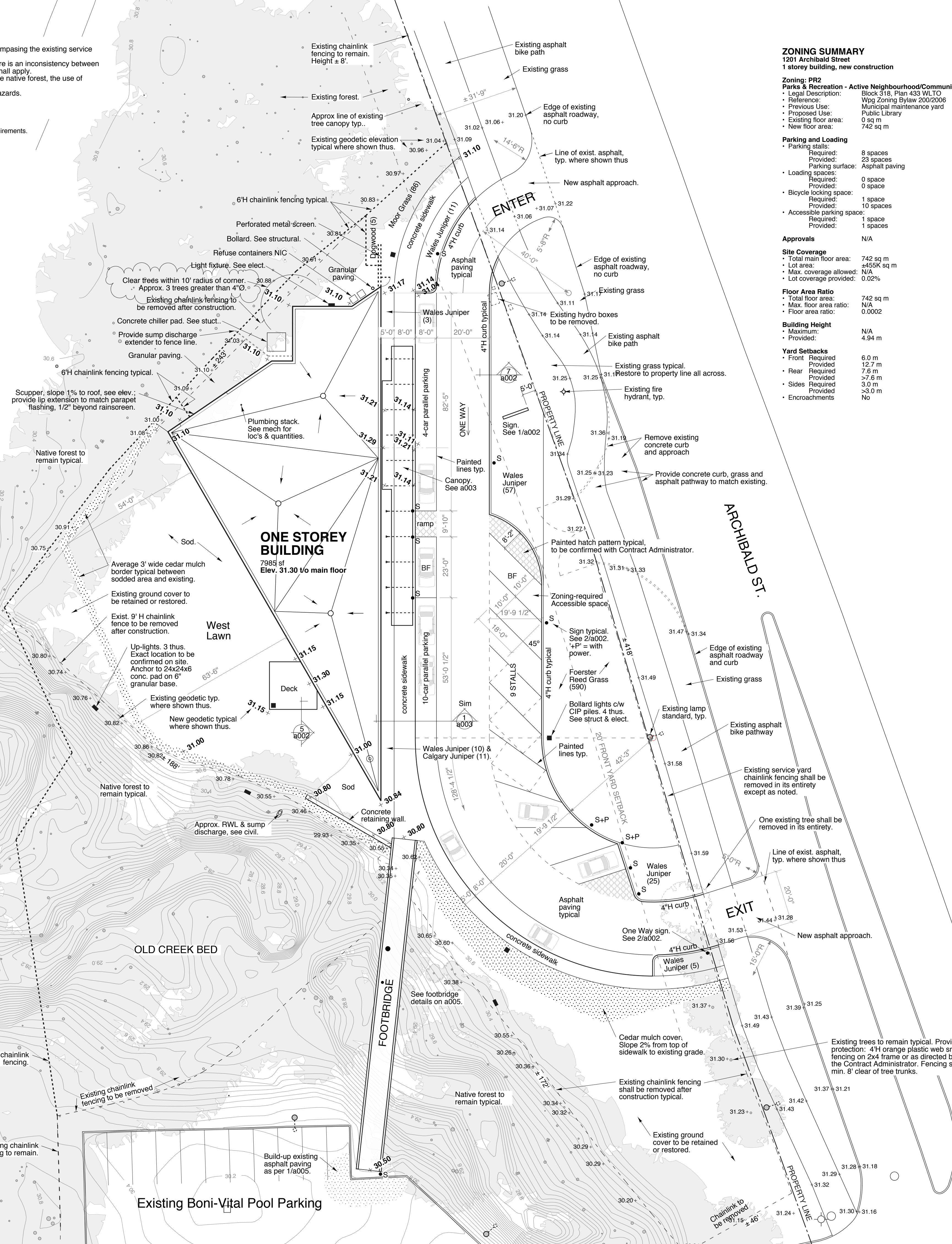
Ivory Halo Dogwood (Cornus alba)

- 5 gal. pot, min. 24" height, min. 5 major basal branches;

Windsor Park Golf Course



1
a001
site plan
1" = 20'



ZONING SUMMARY
1201 Archibald Street
1 storey building, new construction

Zoning: PR2
Parks & Recreation - Active Neighbourhood/Community

- Legal Description: Block 318, Plan 433 WLTO
- Reference: Wpg Zoning Bylaw 200/2006
- Previous Use: Municipal maintenance yard
- Proposed Use: Public Library
- Existing floor area: 0 sq m
- New floor area: 742 sq m

Parking and Loading

- Parking stalls: Required: 8 spaces, Provided: 23 spaces
- Parking surface: Asphalt paving
- Loading spaces: Required: 0 space, Provided: 0 space
- Bicycle locking space: Required: 1 space, Provided: 10 spaces
- Accessible parking space: Required: 1 space, Provided: 1 space

Approvals
N/A

Site Coverage

- Total main floor area: 742 sq m
- Lot area: 455K sq m
- Max. coverage allowed: N/A
- Lot coverage provided: 0.02%

Floor Area Ratio

- Total floor area: 742 sq m
- Max. floor area ratio: N/A
- Floor area ratio: 0.0002

Building Height

- Maximum: N/A
- Provided: 4.94 m

Yard Setbacks

- Front: Required: 6.0 m, Provided: 12.7 m
- Rear: Required: 7.6 m, Provided: >7.6 m
- Sides: Required: 3.0 m, Provided: >3.0 m
- Encroachments: No



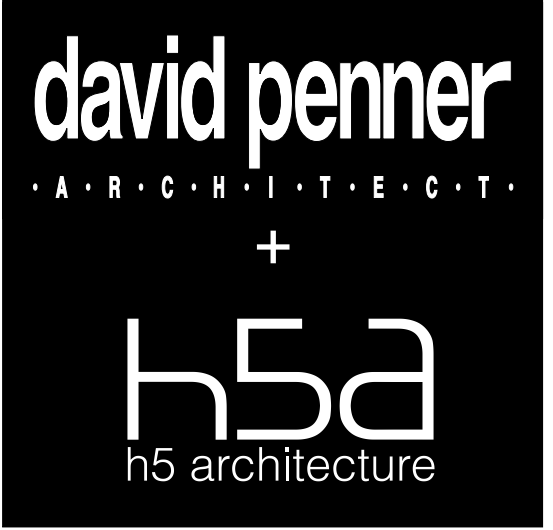
2
a001
location plan
1 : 10000

1 Issued for Addendum 1: April 20, 2016
0 Issued for Construction: March 28, 2016
REV#

NOTES:
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PROJECT
Windsor Park Library
ADDRESS
1201 Archibald Street

DATE
March 28, 2016

SCALE
as noted

site plan
a.001