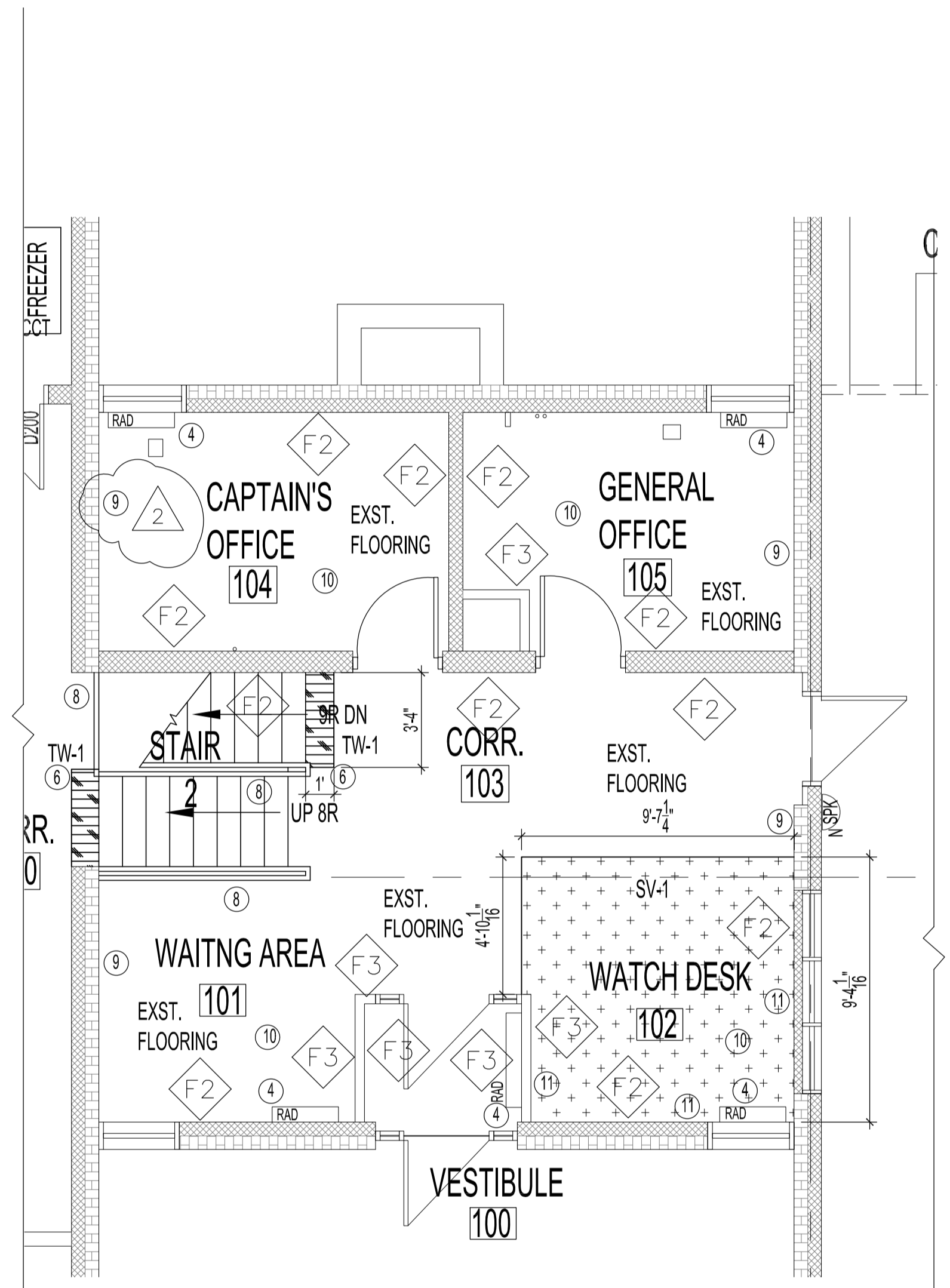


1 LOWER LEVEL NEW FLOOR AND WALL FINISH PLAN
 A1.7 SCALE: 1/4"=1'-0"



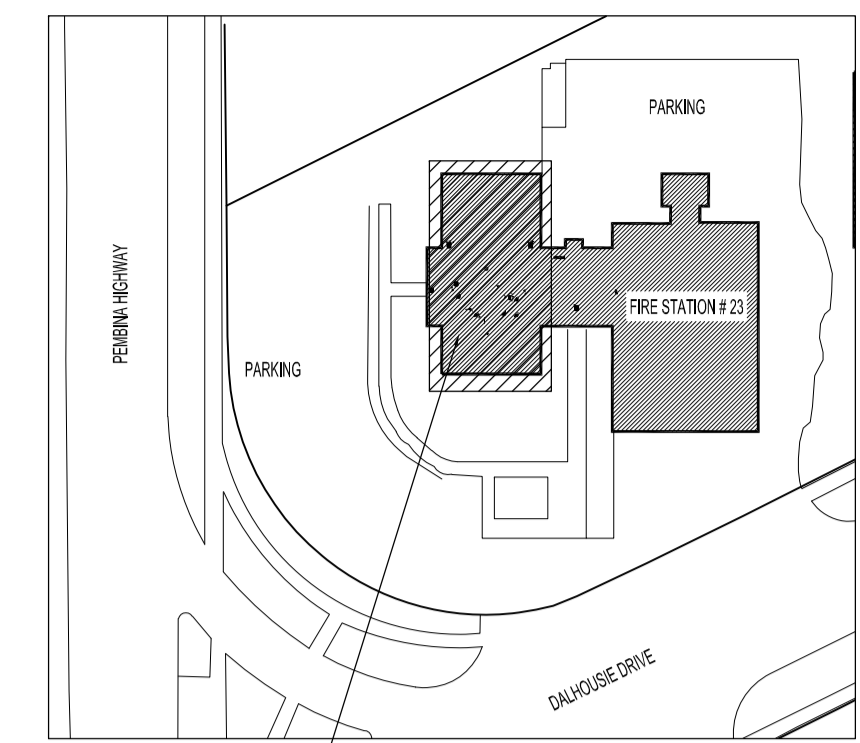
2 MAIN FLOOR- NEW FLOOR AND WALL FINISH PLAN
 A1.7 SCALE: 1/4"=1'-0"

FLOORING SYMBOL LEGEND

- NEW RESILIENT SHEET VINYL FLOOR RSF-1; INLAID INTO EXISTING SHEET VINYL FLOOR. ARMSTRONG COMMERCIAL FLOORING; PRODUCT: CORLON ; COLOR: 88713 SANDSTONE; COORDINATING WELD ROD: ARMSTRONG # WS180 SANDSTONE
- NEW TACTILE WARNING TW-1 FLOORING INSET TARKETT; # TW-40; COLOR: BLACK. TO BE LEVEL WITH SURROUNDING FLOORING.

WALL SYMBOL LEGEND

- EXISTING DRYWALL WALLS
- NEW DRYWALL WALLS
- EXISTING CONCRETE MASONRY (CMU) BLOCK WALL PAINTED
- EXISTING BRICK MASONRY NOT TO BE PAINTED
- INTERIOR CONCRETE MASONRY WALL EXTERIOR BRICK MASONRY WALL
- INTERIOR GYPSUM BOARD WALL EXTERIOR BRICK MASONRY WALL



AREA OF WORK
 KEY PLAN
 SCALE: N.T.S.

WALL FINISH LEGEND

- STONGLAZE VSR RESINOUS WALL FINISH ON 5/8" THICK CEMENT BOARD. REFER TO SPECIFICATIONS FOR PT-3.
- SEMI GLOSS WALL PAINT ON CONCRETE MASONRY UNIT WALL. 2 FINISH COATS REQUIRED.REFER TO SPECIFICATIONS.
- PEARL WALL PAINT ON GYPSUM WALL BOARD. 2 FINISH COATS REQUIRED. REFER TO SPECIFICATIONS.
- SEMI GLOSS WALL PAINT ON CONCRETE MASONRY UNIT WALL AT APPROX 36" AFF. DRYWALL FINISH ABOVE TO U/S OF CEILING. 2 FINISH COATS REQUIRED.REFER TO SPECIFICATIONS.
- STONGLAZE VSR RESINOUS WALL FINISH ON CONCRETE MASONRY UNIT WALL. REFER TO SPECIFICATIONS FOR PT-3.

DRAWING NOTES

- 1 FLOOR TILE QT-1 WITH EPOXY GROUT. GR-1. 6" HIGH SPLIT TILE BASE WITH SCHLUTER DILEX COVERED BASE TRIM TR-1 REQUIRED. REFER TO SPECIFICATIONS AND DWG. 1/A2.4
- 2 4" HIGH SPLIT TILE BASE REQUIRED WITH SCHLUTER DILEX COVERED BASE TRIM TR-1. AND TR-3. REFER TO SPECIFICATIONS AND DWG. 1/A2.4 & 3/A2.4
- 3 SCHLUTER EDGE TRIM TR-2 REQUIRED AT ALL TILE TO VINYL TRANSITIONS. REFER TO SPECIFICATIONS & DWG. 2/A2.4
- 4 EXISTING RADIATORS TO BE REPAINTED. REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
- 5 EXISTING FLOORING TO REMAIN
- 6 RUBBER TACTILE WARNING FLOORING INSET AT TOP / BOTTOMS OF EXISTING STAIRS.
- 7 EXISTING STAIR FINISHES/TREADS TO REMAIN. N.I.C
- 8 EXISTING WOOD STAIR RAILING TOP TO BE SANDED DOWN TO NATURAL WOOD TO ELIMINATE POSSIBLE SLIVERS. FINISH WITH TWO COATS OF NATURAL URETHANE.
- 9 EXISTING BRICK WALL TO REMAIN. NOT TO BE PAINTED.
- 10 CONTRACTOR TO REMOVE AND REINSTALL ALL EXISTING WALL MOUNTED WHITEBOARDS AND TACKBOARDS PRIOR TO PAINTING WALLS.
- 11 CONTRACTOR TO PROVIDE NEW RUBBER COVERED BASE RCB-1 WHERE NEW RESILIENT SHEET VINYL IS INSTALLED.

NOTES:
 THESE DRAWINGS SHALL NOT BE SCALED. CONSULT WITH CONTRACT ADMINISTRATOR AND DESIGNER ON ANY CONCERNS.
 SUBMISSION OF SITE MARK-UPS, AS-BUILTS, OPERATING & MAINTENANCE MANUALS AND OTHER SUPPORTING DOCUMENTS TO CLIENT ARE MANDATORY AT THE COMPLETION OF THIS PROJECT.
 THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
 THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCTS, PIPES & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
 ALL OPENINGS THROUGH FIRE ASSEMBLIES INCLUDING FLOORS AND CEILINGS ARE TO BE FIRE STOPPED AND SEALED WITH UL/C APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.
 ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS, APPLICABLE CODES AND AUTHORITY HAVING JURISDICTION.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING PART OF THE RENOVATION WORK.
 WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.
 WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.
 ALL NEW LIGHTING FIXTURES & NEW RECEPTACLES TO BE CONNECTED TO APPROPRIATE PANELS.
 GENERAL DUTY RECEPTACLES SHALL BE WHITE, & CSA APPROVED, C/W STAINLESS STEEL TRIM PLATES MOUNTED 18" ABOVE FINISHED FLOOR OR OTHERWISE NOTED.
 THERMOSTATS, FIRE ALARM PULL STATIONS & OCCUPANCY LIGHT SWITCHES SHALL BE MOUNTED 47" ABOVE FINISHED FLOOR OR OTHERWISE NOTED.
 ALL ABANDONED ELECTRICAL FIXTURES, COMPONENTS, RECEPTACLE & DATA WIRING SHALL BE REMOVED BACK TO SOURCE & TERMINATED AS PER APPLICABLE CODES. IF APPLICABLE, THIS INCLUDES WIRING CONTAINED IN HEADER DUCTS IN-FLOOR.
 REFER TO CITY OF WINNIPEG, MATERIALS MANAGEMENT GENERAL TERMS & CONDITIONS FOR PROJECT: [HTTP://WINNIPEG.CA/MATMG/GEN_COND.STM](http://winipeg.ca/matmg/gen_cond.stm)
WARNING:
 ASBESTOS KNOWN TO BE PRESENT IN DRYWALL, ABATEMENT BY CITY OF WINNIPEG CONTRACTOR TO PRECEDE START OF CONSTRUCTION. ASBESTOS MAY BE PRESENT IN OTHER AREAS. IF ASBESTOS OR ANY HAZARDOUS MATERIAL IS FOUND, STOP WORK IMMEDIATELY & CONTACT CITY OF WINNIPEG, CENTRAL CONTROL, PH: 204-986-2351.

No.	REVISION/DESCRIPTION	BY	DATE
2	ADDENDUM # 2		JULY 20 / 2020
1	ADDENDUM # 1		JULY 15 / 2020
0	ISSUED FOR TENDER		JUNE 22 / 2020
00	ISSUED FOR CLIENT REVIEW		MAY 22 / 2020
000	ISSUED FOR CLIENT REVIEW		APRIL 17 / 2020

DATE	CHECKED	DESIGNED	APPROVED
2020.06.22	KJN	KJN	KJN
	USER	USER	APPROVAL

THE CITY OF WINNIPEG
 PLANNING, PROPERTY AND
 DEVELOPMENT DEPARTMENT
 MUNICIPAL ACCOMMODATIONS DIVISION
 3-65 GARRY STREET, R3C 4K4

PROJECT
 WINNIPEG FIRE PARAMEDIC SERVICES
 FIRE STATION # 23
 RENOVATIONS TO WASHROOMS AND SECOND FLOOR
 880 DALHOUSIE DRIVE TENDER NO. 349-2020

SHEET TITLE
 MAIN FLOOR AND LOWER LEVEL
 FLOOR AND WALL FINISH PLANS

SCALE	PROJECT No:	SHEET No:
AS SHOWN	2019-147	A1.7R2