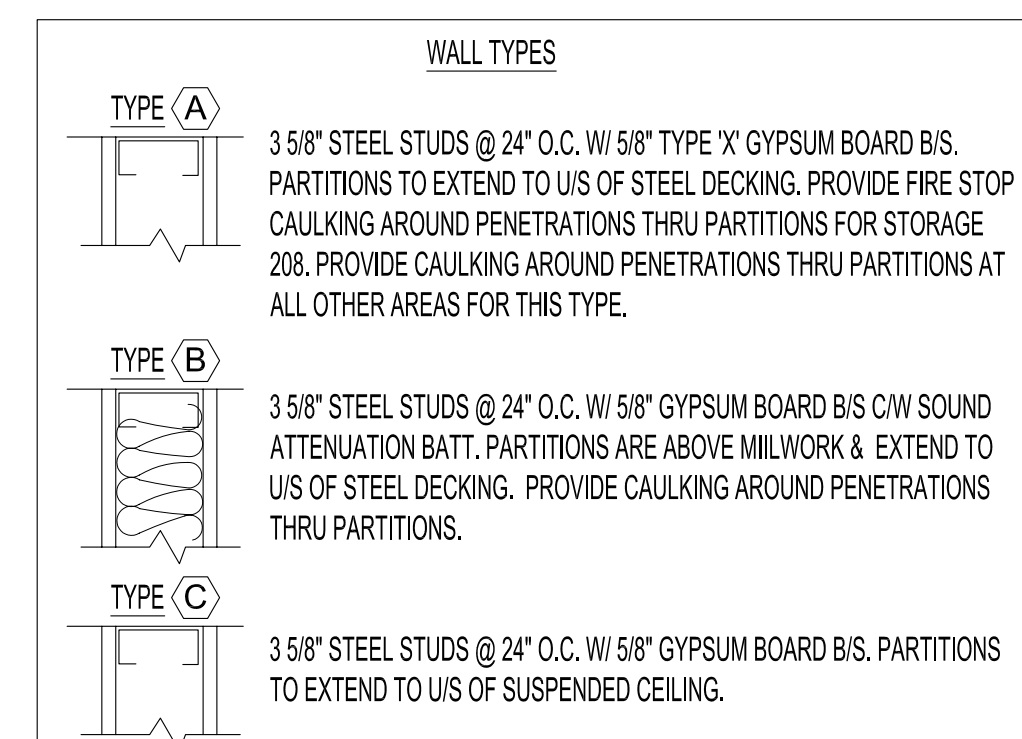
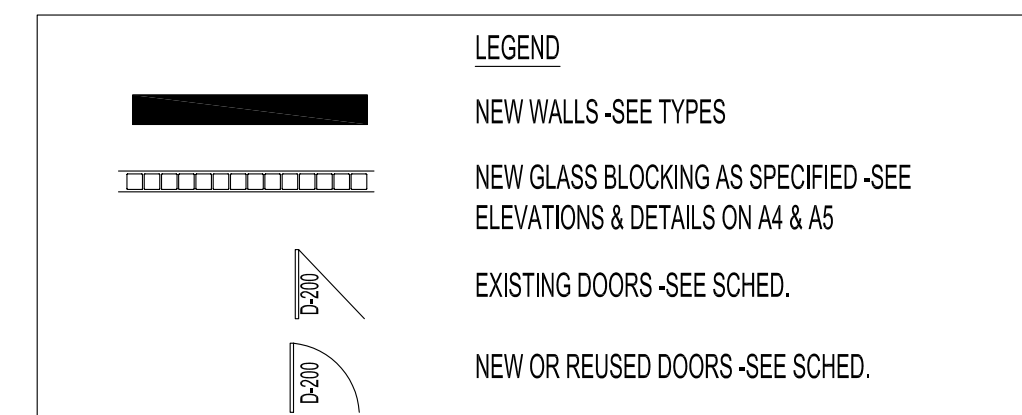


SECOND FLOOR PLAN - RENOVATION
SCALE: 1/8"=1'-0"



ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR	BASEBOARD	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	CEILING HEIGHT	NOTES
200	ELEVATOR LOBBY	EXISTING		SEE NOTE	EXISTING			AC. TILE & METAL SYSTEM	11'-0"	PAINT NEW WALLS ONLY
201	WOMENS WASHROOM	EXISTING						AC. TILE	8'-0"	
202	EAST STARWELL	EXISTING								
203	BREAK OUT AREA	EXISTING						AC. TILE	11'-0" & 11'-2"	
204	CORRIDOR	EXISTING	R.B.B. SEE NOTE	SEE NOTE				AC. TILE	11'-0"	PAINT NEW WALLS ONLY R.B.B. NEW WALLS ONLY
205	CONFERENCE ROOM #1	EXISTING	EXISTING		EXISTING			AC. TILE & METAL SYSTEM	11'-0" 1/2" & 11'-5" 1/2"	
206	CONFERENCE ROOM #2	EXISTING	EXISTING			EXISTING		AC. TILE & METAL SYSTEM	11'-0" 1/2" & 11'-5" 1/2"	
207	CONFERENCE ROOM #3	EXISTING	EXISTING			EXISTING		AC. TILE & METAL SYSTEM	11'-0" 1/2" & 11'-5" 1/2"	
208	STORAGE	EXISTING	R.B.B.		PT.		PT.	AC. TILE	11'-0"	
209	FUTURE FEMALE H/C WASHROOM	EXISTING		SEE NOTE				AC. TILE	11'-0"	SEE GEN. RENOV. NOTES
210	FUTURE MALE H/C WASHROOM	EXISTING		SEE NOTE				AC. TILE	11'-0"	SEE GEN. RENOV. NOTES
211	WIRING ROOM	EXISTING	R.B.B.	PT.	SEE NOTE	PT.	PT.	AC. TILE	11'-0"	SEE GEN. RENOV. NOTES
212	UNFINISHED	EXISTING	R.B.B. SEE NOTE		PT.	PT.	PT.	AC. TILE	11'-0"	R.B.B. NEW WALLS ONLY
213	WEST STARWELL	EXISTING								
214	JANITOR	EXISTING						AC. TILE	8'-0" & 8'-0"	
215	MEVS WASHROOM	EXISTING						AC. TILE	8'-0"	
216	WEST SIDE UNDEVELOPED	EXISTING								

ABBREVIATIONS PT. - PAINT AC. T. - ACOUSTIC TILE R.B.B. - RUBBER BASEBOARD

HARDWARE CODES

GROUP #1
SCHLAGE
1 1/2 PR. CB 1900 x 626 412 x 4 HINGES
BEST LOCK WITH BEST CORE
99K-AR-16D-STK-626
RICHELIEU 151034-10 SATIN CHROME CLOSER
RICHELIEU 150934-10 KICKPLATES B/S

GROUP #2
SCHLAGE
LEVER HANDLE SERIES 'D'
#D105 BATH ATHENS
COLOUR #813, OIL RUBBED BRONZE
686P DEADLOCK 5" BACKSET #13 FINISH
1 1/2 PR. 4 1/2" x 4" STANLEY HINGES #CB179, 108 FINISH
KICKPLATES 8" x 34" B/S. #13 FINISH
REUSE EXISTING HEADER LATCHES FROM DOORS

GROUP #3
SCHLAGE
LEVER HANDLE SERIES 'D' BEST LOCK WITH BEST CORE
#D179BATH ATHENS COLOUR #813, OIL RUBBED BRONZE
1 1/2 PR. 4 1/2" x 4" STANLEY HINGES #CB179, 108 FINISH
KICKPLATES 8" x 40" B/S. #13 FINISH

GROUP #4
SCHLAGE
1 1/2 PR. CB 1900 x 626 412 x 4 HINGES
BEST LOCK WITH BEST CORE
D85D-7-AR-16D-STK-626
RICHELIEU 151034-10 KICKPLATES B/S

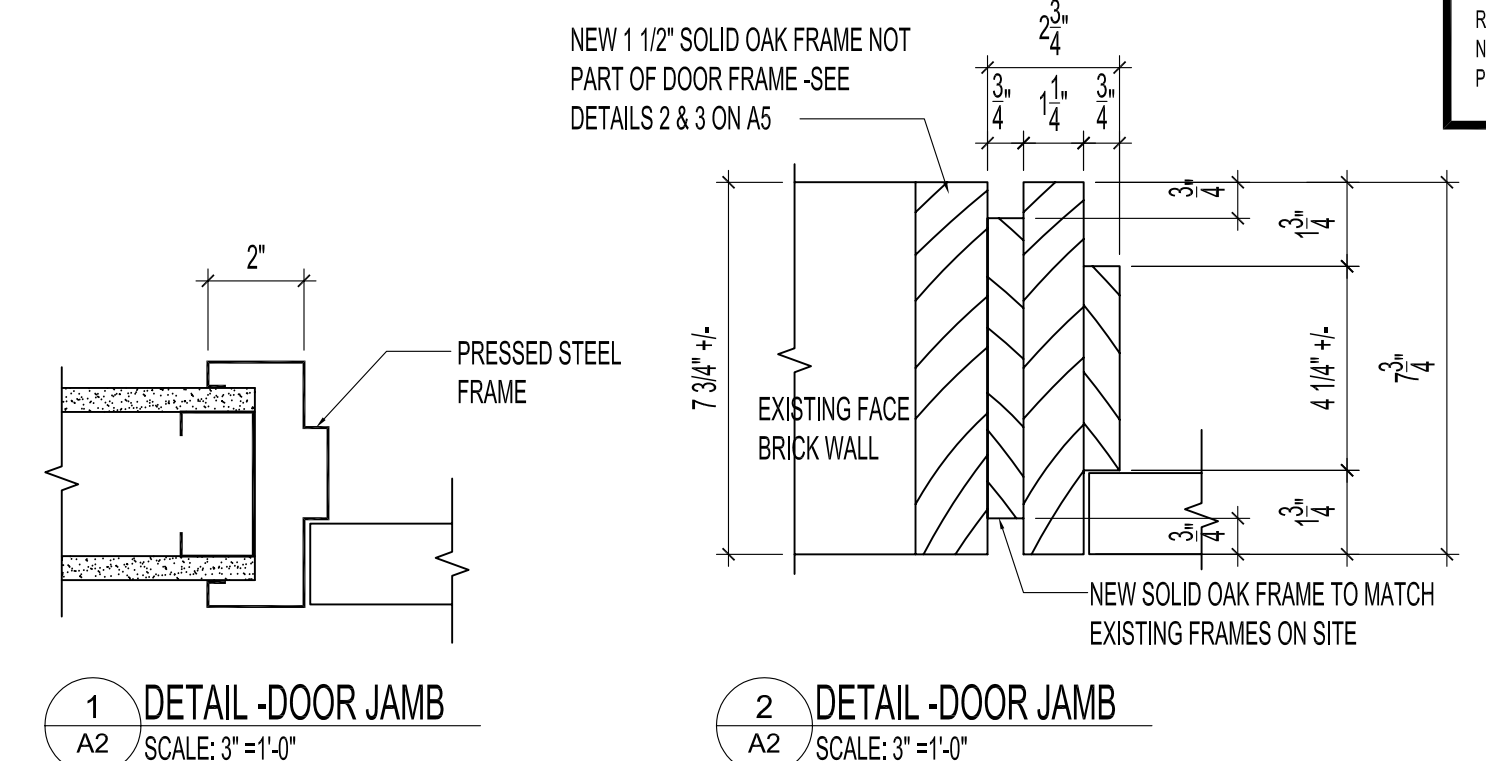
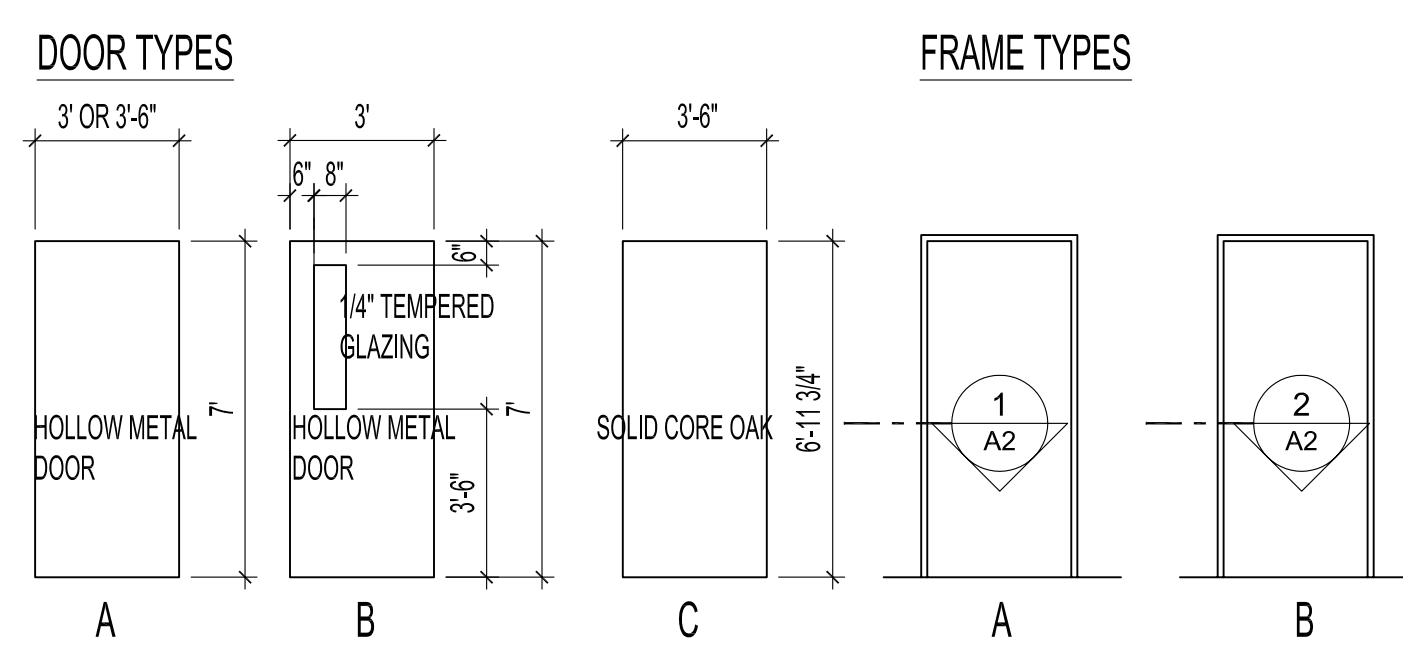
GROUP #5
SCHLAGE
1 1/2 PR. CB 1900 x 626 412 x 4 HINGES
BEST LOCK WITH BEST CORE
99K-AR-16D-STK-626
RICHELIEU 151034-10 KICKPLATES B/S

GROUP #6
REPLACE ALL EXISTING WEATHERSTRIPPING W/ NEW WEATHERSTRIPPING FOR A TIGHT SEAL
PROVIDE NEW THRESHOLD AND DOOR SWEEPS.

DOOR SCHEDULE

DOOR NO.	TYPE	WIDTH	HEIGHT	THICK.	FRAME			RATING	HARDWARE CODE		
					TYPE	MATL.	FINISH				
D200A	B	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	1 1/2 HRL	GROUP #1
D200B	B	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	1 1/2 HRL	GROUP #1
D200C	EXISTING										GROUP #6
D200D	EXISTING										GROUP #6
D205A	EXISTING DOOR PAR.				M.P.	EXISTING		M.P.			SEE DOOR SCHEDULE NOTE #1
D205B	EXISTING										SEE DOOR SCHEDULE NOTE #2
D206A	C	3'-5"	6'-11 3/4"	1 3/4"	S.C. WD.	M.P.	B	S.W.	M.P.		GROUP #3
D206B	EXISTING										SEE DOOR SCHEDULE NOTE #2
D207	EXISTING DOOR PAR.				M.P.	EXISTING		M.P.			GROUP #2
D208	A	3'-5"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	3/4 HR.	GROUP #4
D209	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.		GROUP #5
D210	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.		GROUP #5
D211	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.		GROUP #4

ABBREVIATIONS S.C. WD. - SOLID CORE WOOD S.W. - SOLID WOOD M.P. - MATTE POLYURETHANE H.M. - HOLLOW METAL P.S. - PRESSED STEEL PT. - PAINT



- NOTES :**
- DOOR SCHEDULE NOTES:**
- RELOCATE EXISTING DOUBLE OAK DOORS IN REVERSE SWING TO NEW OR EXISTING OPENINGS. INSTALL SALVAGED HEADER RAIL FROM REMOVED CENTRAL DOORS (ROOM 206) TO DOOR #207. NEW DOOR # D206A TO MATCH EXISTING DOORS ON SITE. REMOVE ALL HARDWARE & KICKPLATES & REPLACE AS PER HARDWARE GROUP. HEADER LATCHES AT TOP OF DOORS TO REMAIN AND BE REUSED. REMOVE CONFERENCE SIGNS FROM DOORS, PATCH HOLES W/ WOOD FILLER, STRIP & SAND EXISTING DOORS & FRAMES & PREPARE SURFACES FOR NEW FINISH AS NOTED ON DWG AS -GENERAL NOTES & FINISHES.
 - BY OTHERS: REMOVE & SALVAGE EXISTING FOLDING DOOR PARTITIONS. ALL WOOD ON DOORS TO BE STRIPPED & SANDED & PREPARED FOR FINISHING. 1/4" THICK BOTTOM DOOR RAIL (MAHOGANY) TO BE REPLACED. ALL FABRIC ON FOLDING DOORS TO BE REPLACED AS SPECIFIED. ALL WOOD JAMBS AND HEADERS IN EXISTING CONFERENCE ROOMS TO BE STRIPPED & SANDED DOWN & REFINISHED AS SPECIFIED. ALL EXISTING FOLDING DOOR GASKETS TO BE REPLACED AS SPECIFIED.
- RENOVATION REFERENCE NOTES:**
- FURR OUT WALL TO CORNER W/ WALL TYPE 'C'.
 - GROUT NEW EXPOSED FLOOR AREAS UNDER NEW DOOR OPENINGS FLUSH W/ EXISTING TERRAZZO.
- GENERAL RENOVATION NOTES:**
- WIRING ROOM 211 SOUTH WALL & FUTURE MALE H/C WASHROOM 210 SOUTH WALL -MORTAR EXISTING HOLES WHERE ELECTRICAL OUTLETS HAVE BEEN REMOVED.
- HANDICAP WASHROOMS 209 & 210 INTERIORS & FINISHES ARE TO BE CONSTRUCTED IN FUTURE PHASE.
- RUBBER BASEBOARD TO BE 4" IN COLOUR BLACK.
-PAINT COLOURS TO BE DETERMINED AT A LATER DATE.

NO.	REVISION/DESCRIPTION	BY	DATE
SEALS			

DRAWN BY MMK **CHECKED BY** [] **APPROVED** []
DATE 2005.05.24 **USER APPROVAL** []

CITY OF WINNIPEG
PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT
CIVIC ACCOMMODATIONS DIVISION
300 - 65 GARRY ST. R3C 4K4

PROJECT
ADMINISTRATION BUILDING
SECOND FLOOR RENOVATIONS
CONFERENCE ROOM RENOVATIONS
510 MAIN STREET

SHEET TITLE
SECOND FLOOR PLAN
RENOVATION & SCHEDULES

SCALE AS NOTED **PROJECT NO.** 2004-180 **SHEET NO.** A2

DRAWING SHEET SIZE: A1 (841mm x 594mm) PLOT 1:1