

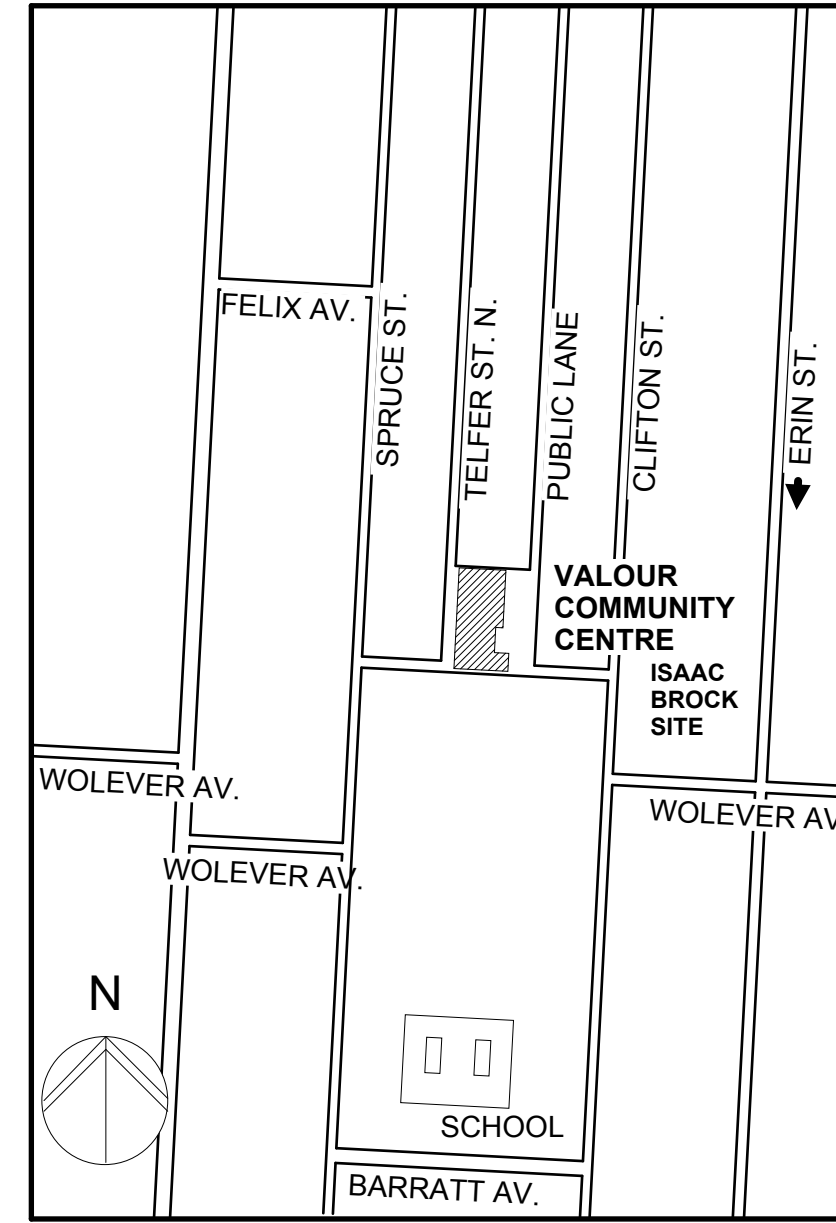
NOTES TO CONTRACTOR

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF BUILDING LAYOUT DIMENSION PRIOR TO COMMENCEMENT OF FOUNDATION WORK.
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING BUILDING DIMENSIONS IN RELATION TO THE PROPOSED ADDITIONS TO THE EXISTING BUILDING INCLUDING HEIGHTS WHERE ROOF ALIGNMENT IS CONCERNED OR REQUIRED.
- THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DRAWINGS PRIOR TO EXECUTING THE WORK AS SCHEDULED AND NOTIFY THE CONTRACT ADMINISTRATOR OF DISCREPANCIES AND INCONSISTENCIES PERTAINING TO THE ITEMS BELOW OR OTHER ITEMS AS THEY BECOME EVIDENT IN THE REVIEW PROCESS:
 - EXISTING GRADE ELEVATIONS IN RELATION TO NEW ENTRANCES - BARRIER FREE REQUIREMENTS: ASPHALT MEETING ENTRANCES, CONCRETE SLABS, ETC.
 - NEW FLOOR LEVELS IN RELATION TO EXISTING FLOOR LEVELS
 - MANUFACTURERS INSTRUCTIONS IN APPLYING AND ASSEMBLING CONSTRUCTION MATERIALS AS INDICATED IN THE DRAWINGS AND IN THE SPECIFICATIONS.
 - RATED WALLS, CEILINGS, NON-COMBUSTIBLE AIR PLENUMS AND RATED DUCT SHAFTS.
 - LOCATIONS OF LIGHTING FIXTURES, BELLS/DETECTORS, OUTLETS, SWITCHES, MOTION DETECTORS, ETC.
 - RATING REQUIREMENTS OF STRUCTURAL MEMBERS
 - PRIOR KNOWLEDGE OF MECHANICAL SYSTEMS AND HOW THEY INTERFACE WITH THE BUILDING SYSTEMS AS A WHOLE
 - IN-DEPTH REVIEW OF ALL SHOP DRAWINGS. SITE CONDITIONS SHALL DICTATE SHOP DRAWING REQUIREMENTS WHERE HEIGHTS AND DIMENSIONS ARE CONCERNED, EXCEPT WHERE THE ARCHITECTS INTENT IS COMPREHENSIBLE. IN WHICH CASE THE CONTRACT ADMINISTRATOR SHALL BE CONTACTED FOR INSTRUCTIONS.
 - INCORPORATE ALL ADDENDA, REVISIONS AND SUBSEQUENT CLARIFICATIONS OR INSTRUCTIONS
 - ARCHITECTURAL SPECIAL TIES SUCH AS CABINETS, SHELVEING, WOOD TRIM/BANDING, WASH ROOM ACCESSORIES, EQUIPMENT, THRESHOLDS, ETC.
 - ACCEPTABLE FLOOR FINISH AND CONDITION FOR FLOOR FINISH APPLICATION
 - ALL GOVERNING CODES AND BYLAWS PERTAINING TO THE PROJECT
- THE CONTRACTOR SHALL APPOINT A WELL EXPERIENCED, QUALIFIED SUPERINTENDENT TO COORDINATE AND SUPERVISE THE WORK AS DEFINED IN THE SPECIFICATIONS, SECTION 01001, WORKMANSHIP, 2.1 GENERAL REQUIREMENTS, ITEM .1.
- ALL INCONSISTENCIES AND ERRORS SHALL BE PROMPTLY REPORTED TO THE CONTRACT ADMINISTRATOR FOR CORRECTION PRIOR TO FURTHER COMMENCEMENT OF WORK.
- ARCHITECTURAL DIMENSIONS AND HEIGHTS GOVERN OVER STRUCTURAL WHERE INCONSISTENCIES OCCUR. IF THE CONTRACTOR FAILS TO LOOK AT THE ARCHITECTURAL DRAWINGS IN CASE OF ERRORS, HE SHALL BE FULLY RESPONSIBLE AND CORRECT AS DIRECTED BY THE CONTRACT ADMINISTRATOR.
- THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK BETWEEN SUB-TRADES AND OTHER SPECIALTY ITEMS.
- CONTRACTORS SHALL NOT COMMENCE WORK ON SITE PRIOR TO A CAREFUL REVIEW OF THE WORK WITH THE SUPERINTENDENT, AND PRIOR TO NOTIFYING THE SUPERINTENDENT OF COMMENCEMENT OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE BLOCKING AND BACKING IS PROVIDED FOR ALL EQUIPMENT, FIXTURES, ACCESSORIES, CABINETS, HANDRAILS, ETC., FOR PURPOSES OF SECURE FASTENING. ALSO PROVIDE NON-COMBUSTIBLE HEAT DISPENSING BOXES FOR RECESSED POT LIGHTS INTO WOOD FLOOR AND ROOF STRUCTURE.
- THE CONTRACTOR SHALL REVIEW THE WOOD AND STEEL TRUSS SHOP DRAWINGS FOR ADEQUATE SPACING REQUIREMENTS FOR MECHANICAL DUCTS, DIFFUSERS, ETC.
- INSULATION SHALL BE INSTALLED WITH CARE. LOOSE FITTING INSTALLED INSULATION IS UNACCEPTABLE! INSULATION SHALL COVER THE FULL DEPTH OF STUD CAVITY, AND SHALL BE UNIFORMLY FLUSH WITH THE FACE OF THE STUDS.
- VAPOUR BARRIER SHALL BE A CONTINUOUS MEMBRANE AND BUILDING ENVELOPE. TEARS SHALL BE PATCHED AND CAULKED AS SPECIFIED UNDER CONTRACTOR'S SUPERVISION. ALL EXTERIOR WOOD OR METAL STUDS PLACED ON CONCRETE SHALL BE PLACED ON A FOAM STRIP AS SPECIFIED, AND CONTINUOUSLY CAULKED BETWEEN PLATE AND PLYWOOD OR CONCRETE FLOOR BOTH INSIDE AND OUTSIDE. ATTACH AND CAULK VAPOUR BARRIER TO WINDOWS, DOORS, ELECTRICAL OUTLETS, ETC. WALL AND ROOF VAPOUR BARRIER SHALL BE CONTINUOUS AND CAULKED. THE VAPOUR BARRIER SHALL ACT AS A CONTINUOUS BUILDING ENVELOPE. TO ENSURE THAT ATTACHMENT OF POLYETHYLENE HAS BEEN ACHIEVED, USE MECHANICAL FASTENERS. FOLLOW THE INSTRUCTIONS OF THE MANUFACTURER WHEN INSTALLING PEEL AND STICK BITUMEN MEMBRANE.
- THE CONTRACTOR SHALL COORDINATE ALL ROUGH WINDOW, DOOR AND GRILLE OPENINGS IN FRAMED CONDITION AS A WHOLE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB-TRADES TO INSTALL ALL PRODUCTS SUCH AS BITUMINOUS MEMBRANES, EQUIPMENT (MECHANICAL AND ELECTRICAL), LIGHTING FIXTURES, ACCESSORIES, ETC., STRICTLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. FAILURE TO DO SO CAN RESULT IN DEFECTING THE WORK. FAILURE TO DO SO CAN RESULT IN REINSTALLATION OF SUCH AT NO EXTRA COST TO THE OWNER.
- SHOP DRAWINGS SHALL BE PROVIDED AND SUBMITTED TO THE CONTRACT ADMINISTRATOR FOR REVIEW. THE SHOP DRAWING SHALL BE REVIEWED FOR THE ARRANGEMENT OF ALL STRUCTURAL COMPONENTS, INCLUDING MEMBRANE, ENVELOPE, VAPOUR BARRIER SYSTEMS, ACCESSORIES, HARDWARE, AND OTHER SPECIALTIES, ETC. AS COMPRISE THE BUILDING AS A WHOLE. THE CONTRACTOR SHALL AFTER REVIEW, FORWARD THE SHOP DRAWINGS TO THE CONTRACT ADMINISTRATOR. THE CONTRACT ADMINISTRATOR SHALL REVIEW THE SAME FOR INTENT ONLY. FABRICATORS SHALL NOTIFY THE CONTRACT ADMINISTRATOR IN WRITING WHERE DEVIATION FROM DRAWINGS IN DIMENSIONS OR EQUIPMENT SIZES AND LOCATION, ETC., DIFFER FROM THE INTENT OF THE DRAWINGS OR SUGGESTIONS ARE MADE CONTRARY TO THE THE DRAWINGS AS A WHOLE. ACCEPTED SHOP DRAWINGS SHALL GOVERN ALL SUBSEQUENT WORK.
- CONTRACTORS SHALL PROVIDE ALL NECESSARY MATERIALS, FASTENERS, ETC., WHETHER SHOWN OR NOT SHOWN, FOR SECURING AND FINISHING THE WORK AS INTENDED. SUB-CONTRACTORS SHALL NOTIFY THE CONTRACT ADMINISTRATOR IN WRITING OF UNIDENTIFIED ITEMS REQUIRED TO COMPLETE WORK, DURING THE TENDER PERIOD. FAILURE TO DO SO CANNOT CONSTITUTE AN EXTRA AFTER THE TENDER HAS CLOSED.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER SPECIALTY DRAWINGS SHALL BE READ TOGETHER AS A WHOLE. STRUCTURAL ITEMS NOT SHOWN IN THE ARCHITECTURAL DRAWINGS, SHALL BE INCLUDED IN THE WORK, WHERE CONFLICT ARISES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, CONTACT THE CONTRACT ADMINISTRATOR FOR CLARIFICATION.
- THE ARCHITECTURAL DRAWINGS SHALL GOVERN OVER ALL OTHER DRAWINGS WHERE DISAGREEMENTS AND INCONSISTENCIES ARISE. IN SUCH INSTANCES CONTACT THE CONTRACT ADMINISTRATOR FOR CLARIFICATIONS.
- THE CONTRACTOR SHALL ENSURE THAT A HIGH QUALITY AND STANDARD OF WORKMANSHIP IS MAINTAINED THROUGHOUT THE ENTIRE PERIOD OF WORK UNTIL THE WORK IS COMPLETE. PROPER 'FIT' SHALL BE ACHIEVED BETWEEN ALL COMPONENTS AS INTENDED. WHERE THIS CANNOT BE ACHIEVED, CONTACT THE CONTRACT ADMINISTRATOR FOR FURTHER REVIEW AND CLARIFICATION.
- THE CONTRACT ADMINISTRATOR WILL ASSIST IN ALL MATTERS REQUIRING CLARIFICATIONS OR INTERPRETATIONS, OR WHERE REQUIRED, TO PROVIDE ADDITIONAL DETAILS DURING THE SCHEDULED PERIOD OF WORK.

MATERIAL SYMBOLS

EARTH		RIGID INSULATION	
GRAVEL FILL		BATT INSULATION	
BRICK MASONRY		STEEL	
CUT STONE MASONRY		SAND FILL	
CONCRETE		GYPSUM BOARD	
CONCRETE BLOCK		FIBER BOARD	
WOOD FRAMING		ASPHALT	
FINISHED WOOD		PLYWOOD	

LOCATION MAP



DRAWING SYMBOLS

	WALL TYPE IDENTIFICATION	OVER ALL WALLS	DIMENSION LINES
	DOOR NUMBER	WINDOWS	
	WINDOW TYPE IDENTIFICATION		GRID LINE
	ROOM NAME & NUMBER		
	EXISTING GRADE		DETAIL IDENTIFICATION
	PROPOSED NEW GRADE		DIMENSION FROM/TO GRID LINES
	DETAIL SECTION & BUILDING SECTION		NORTH ARROW
	INTERIOR ELEVATION		DETAIL MARKER
	CATCH BASIN		
	ELEVATION HEIGHTS		CENTRAL VACUUM INLET

ABBREVIATIONS

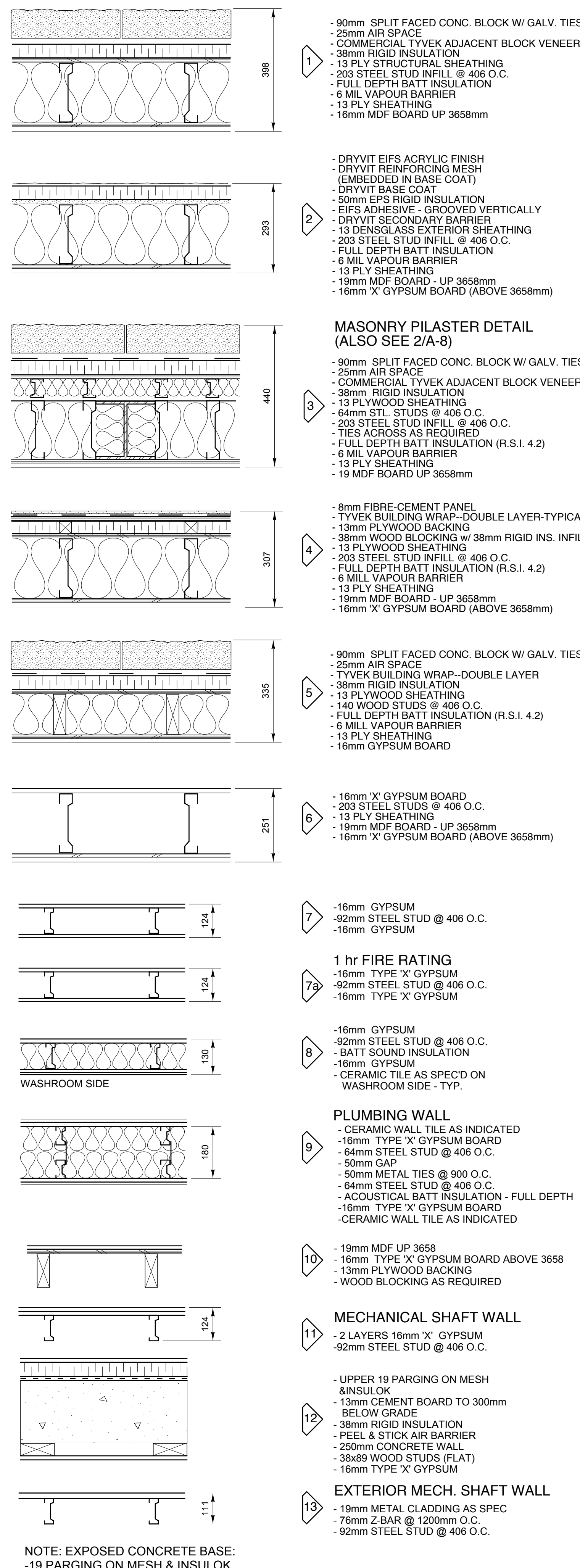
R.O	ROUGH OPENING	ADJ.	ADJUSTABLE DIMENSIONS
R.D	ROOF DRAIN	INT.	INTERIOR
F.N.D	FEMININE NAPKIN DISPOSAL	EXT.	EXTERIOR
F.N.V.	FEMININE NAPKIN VENDOR	SIM.	SIMILAR
S.H.	SOAP HOLDER	REV.	REVERSE
C.H.	COAT HOOK	MIR.	MIRROR
T.D.	PAPER TOWEL DISPENSER	BTM.	BOTTOM
T.D./R.	PAPER TOWEL DISPENSER & WASTE	FLSHG.	FLASHING
T.P.H.	TOILET PAPER HOLDER	P	PLATE
TYP.	TYPICAL	C	CENTRE LINE
O.C.	ON CENTRE	MEZZ.	MEZZANINE
U/S	UNDER SIDE	MISC.	MISCELLANEOUS
T/O	TOP OF	DRG.	DRAWING
F/O	FACE OF	DTL.	DETAIL
G.B.	GRADE BEAM	INSUL.	INSULATION
GA.	GAUGE	H.S.S	HOLLOW STEEL SECTION
V.C.T	VINYL COMPOSITE TILE	HT.	HEIGHT
F.D.	FLOOR DRAIN	PLY.	PLYWOOD
G.B.	GRAB BAR	CLG.	CEILING
M.T.P.	METAL TOILET PARTITION	DR.	DOOR
G.W.G	GEORGIAN WIRE GLASS	WDW.	WINDOW
POLY. V.B.	POLYETHYLENE VAPOUR BARRIER	INCL.	INCLUDE
A/C	AIR CONDITIONER	MIN.	MINIMUM
G.I.	GALVANIZED IRON	CORR.	CORRIDOR
GA.LV.	GALVANIZED	LTG.	LIGHTING
O.D	OUTSIDE DIAMETER	G.W.B.	GYPSUM WALLBOARD
H.M.	HOLLOW METAL	D.W.	DRYWALL
H.C.	HOLLOW CORE	T.H.	TEST HOLE
AN. ALUM.	ANODIZED ALUMINUM	R.O	ROUGH OPENING
WD.	WOOD	SPL. PAD.	SPLASH PAD
PRE. FIN.	PREFINISHED	CONC.	CONCRETE
Q.T.	QUARRY TILE	BL.	BLOCK
CPT.	CARPET	STL.	STEEL
S.C.	SOLID CORE	MTL.	METAL
COL.	COLUMN	DBL.	DOUBLE
N.I.C.	NOT IN CONTRACT	BLDG.	BUILDING
REQ'D	REQUIRED	ARCHT	ARCHITECT
C/W	COMPLETE WITH	CTR.	CENTRE
R.	RADIUS	PL. LAM.	PLASTIC LAMINATE
R.W.L	RAIN WATER LEADER	R.S.C.	RESILIENT SOUND CHANNEL
REINF.	REINFORCED	D.F.	DRINKING FOUNTAIN
E.J.	EXPANSION JOINT	P.T.	PRESSURE-TREATED
		C.I.P	CAST IN PLACE

ROOM FINISHES SCHEDULE

No.	Room Name	Floor	Base	Walls	Finish	Ceiling	Finish	Height	Remarks
001	New Stairs	OPST	R.B	Gypsum	Paint	Gypsum	Paint	2438	
002	Storage Room	Existing	R.B	Exist/ Gypsum	Paint	Gypsum	Paint	2438	
003	Corridor	VCT	R.B	Exist/ Gypsum	Paint	Gypsum	Paint	2438	
004	Corridor	VCT	R.B	Exist/ Gypsum	Paint	Gypsum	Paint	2438	
005	Lg Multipurpose Rm	Existing	R.B	Gypsum	Paint	Gypsum	Paint	2438	
006	Multipurpose Rm	VCT	R.B	Gypsum	Paint	Gypsum	Paint	2438	
007	New Exit Stairs	OPST	R.B	Gypsum	Paint	Gypsum	Paint	2438	
008	Hallway	Existing	R.B	Gypsum	Paint	Gypsum	Paint	2438	
009	Stairs	Existing	R.B	Exist.	Paint	Gypsum	Paint	2438	
010	Storage Room	Existing	R.B	Gypsum	Paint	Gypsum	Paint	2438	Add threshold plate at new door
011	Stairs	Existing	R.B	Exist.	Paint	Gypsum	Paint	2438	
101	Vestibule	S.Rubber	R.B	Gypsum	Paint	Gypsum	Paint	3050	
102	Lobby	S.Rubber	R.B	Gypsum	Paint	Gypsum	Paint	8100	
103	Corridor	S.Rubber	R.B	Gypsum	Paint	Gypsum	Paint	3650	
104	Boys	S.Rubber	R.B	Gypsum/ C.T.	Paint	Gypsum	Paint	3650	
105	Girls	S.Rubber	R.B	Gypsum/ C.T.	Paint	Gypsum	Paint	3650	
106	Common Room	S.Rubber	R.B	Gypsum/Exist.	Paint	Gypsum	Paint	3650	
106A	Janitor	VCT	R.B	Gypsum	Paint	Gypsum	Paint	3650	
107	Office	VCT	R.B	Gypsum	Paint	Gypsum	Paint	3650	
108	Office	VCT	R.B	Gypsum	Paint	Gypsum	Paint	3650	
109	Kitchen	Sheet Vinyl	COVE	Gypsum	Paint	Gypsum	Paint	3650	SEAMLESS COVE BASE
110	Food Storage	Sheet Vinyl	R.B	Gypsum	Paint	Gypsum	Paint	3650	
111	Gym Storage	Athletic Rubber	R.B	Gypsum	Paint	Gypsum	Paint	3650	
112	New Stair	S.Rubber	R.B	Gypsum	Paint	Gypsum	Paint	3650	
113	Stair	S.Rubber	R.B	Gypsum	Paint	Gypsum	Paint	3050	
114	Gymnasium	Athletic Rubber	R.B	MDF/Gypsum	Paint	Open	Paint	7460	Paint OWS's, ducts, and deck
114A	Janitor	Athletic Rubber	R.B	Gypsum	Paint	Gypsum	Paint	3050	

NOTE: C.B. - CONCRETE BLOCK
C.T. - CERAMIC TILE
R.B. - RUBBER BASE
CONC. - CONCRETE
VCT - VINYL COMPOSITION TILE
OPST - ONE-PIECE RUBBER STAIR TREAD
S. RUBBER - SKATE RESISTANT RUBBER

WALL TYPES



NOTE: EXPOSED CONCRETE BASE:
-19 PARGING ON MESH & INSULOK

R1: 01-28-2008: ROOM FINISHES SCHEDULE REVISED
revisions

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project

VALOUR COMMUNITY CENTRE GYMNASIUM ADDITION AND RENOVATIONS
715 TELFER ST. N. BID OPPORTUNITY NO. 286-2007

sheet title

LOCATION, WALL TYPES MATERIAL SYMBOLS

project no. 06 1288 sheet no.

scale AS SHOWN

drawn by B.P.

approved by H.F.

date 28 JANUARY 2008