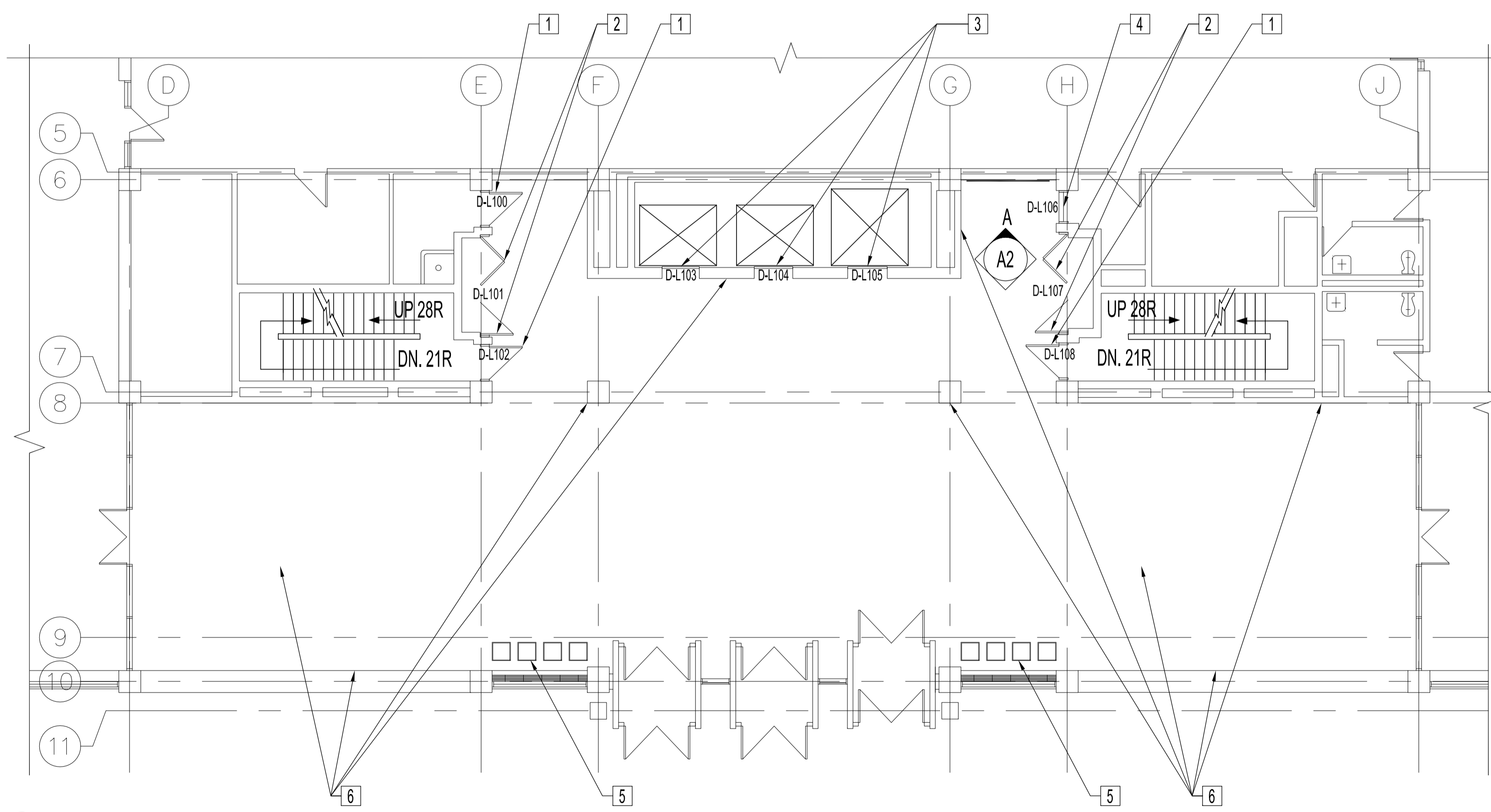


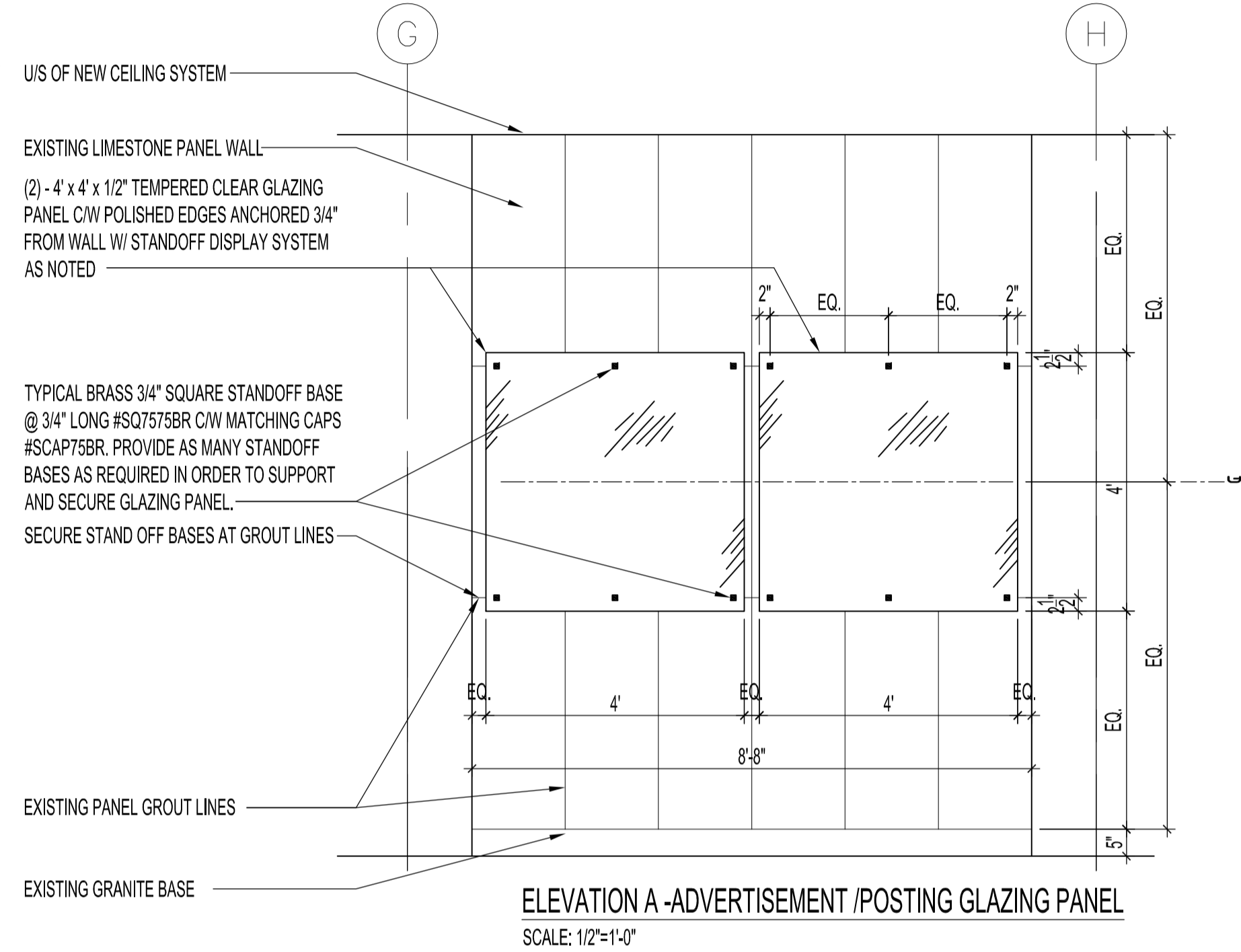
PARTIAL MAIN FLOOR PLAN - LOBBY DEMOLITION
SCALE: 1/8"=1'-0"



PARTIAL MAIN FLOOR PLAN - LOBBY RENOVATION
SCALE: 1/8"=1'-0"

LOBBY DEMOLITION NOTES:

- ① DEMOLISH THE TEMPORARY LOBBY HOARDING (PLYWOOD & WOOD STUD) WALLS, DOORS, & CEILING INCLUDING CANTILEVERED OVERHANG. ALL TEMPORARY LIGHT FIXTURES, EMERGENCY LIGHTING & EXIT SIGNS THAT ARE PART OF THE TEMPORARY HOARDING. ALL WALLS & FLOOR WHERE TEMPORARY HOARDING IS ATTACHED ARE TO BE CLEANED AFTER REMOVAL.
- NOTE:**
HOARDING IS ONLY TO BE DEMOLISHED AFTER THE INSTALLATION OF THE NEW LOBBY CEILING, LIGHT FIXTURES, SPRINKLERS & HVAC HAS BEEN COMPLETED. SEE ELEC. DWG FOR THE DEMOLITION OF THE TEMPORARY LIGHTING, EMERGENCY LIGHTING & EXIT SIGNS.



ELEVATION A - ADVERTISEMENT / POSTING GLAZING PANEL
SCALE: 1/2"=1'-0"

LOBBY RENOVATION NOTES:

- ① PAINT DOORS & FRAMES FOR DOOR NUMBERS D-L100, D-L102 & D-L108. COLOUR TO BE DETERMINED BY THE CONTRACT ADMINISTRATOR. HARDWARE TO BE REUSED AND CLEANED OF ALL PAINT. BRASS DOOR LEVER HANDLE FOR D-L100 TO BE REPAIRED.
- ② FULL HEIGHT FOLDING & LATCH WOOD DOORS D-L101 & D-L107 TO BE STRIPPED OF EXISTING FINISH AND PREPARED FOR (2) TWO COATS CLEAR URETHANE SATIN FINISH W/ SANDING & DUSTING IN BETWEEN. FRAMES TO BE PAINTED. COLOUR TO BE DETERMINED BY THE CONTRACT ADMINISTRATOR. HARDWARE TO BE REUSED AND CLEANED OF ALL FINISHES AND CHEMICALS USED IN THE RENOVATION.
- ③ PAINT ELEVATOR DOORS D-L103, D-L04 & D-L105 ONLY (NOT FRAMES). ALL ELEVATOR DOOR SIGNAGE TO BE PROPERLY TAPED. COLOUR TO BE DETERMINED BY THE CONTRACT ADMINISTRATOR.
- ④ PAINT DOOR D-L106 & EXISTING FRAME SAME COLOUR. PATCH ALL EXISTING HOLES PRIOR TO PAINTING. COLOUR TO BE DETERMINED BY THE CONTRACT ADMINISTRATOR.
- ⑤ PROVIDE (8) EIGHT PLANT CONTAINERS AS SUPPLIED BY PLANTCONTAINERS.COM. PLANTERS TO BE FROM THE HORIZON COLLECTION "TALL VASES" #HT 20A, 20" x 20" x 37" IN MATTE METALLIC CHARCOAL FINISH.
- ⑥ PROVIDE A MOCK UP SAMPLE OF REFINISHING TO CONTRACT ADMINISTRATOR PRIOR TO PROCEEDING WITH WORK. PROVIDE TERRAZZO REFINISHING (REPAIRS & GRANITE REPAIRS TO ENTIRE LOBBY FLOOR, COLUMN BASES & BASE OF PERIMETER OF LOBBY AS FOLLOWS:

- ⑥ (CONT.) **GRANITE BASEBOARD REPAIRS:**
SECURE LOOSE PIECES OF GRANITE BASEBOARD, FIX CHIPPED CORNERS, ETC. W/ TENEX MARBLE PATCH PIGMENTED TO MATCH THE COLOUR OF GRANITE.
- TERRAZZO FLOOR REPAIRS:**
SECURE LOOSE PIECES OF TERRAZZO FLOOR, FIX CHIPPED CORNERS, CRACKS IN FLOOR ETC. W/ EPOXY RESIN OR TENEX PIGMENTED TO MATCH THE TERRAZZO.
- TERRAZZO REFINISHING PROCESS:**
-PROCESS FOR GRINDING, DENSIFYING & POLISHING:
-GRIND W/ 30 GRIT METAL DIAMONDS
-GRIND W/ 70 GRIT METAL DIAMONDS
-APPLY DENSIFIER @ 170-200 SQUARE FEET PER GALLON
-GRIND W/ 120 GRIT METAL DIAMONDS
-POLISH W/ 200 GRIT PLASTIC DIAMONDS
-POLISH W/ 400 GRIT PLASTIC DIAMONDS
-POLISH W/ 800 GRIT PLASTIC DIAMONDS (PROVIDES GLOSS FINISH OPTION)
POLISH W/ 1500 GRIT RESIN WOOL PADS (PROVIDE OPTIONAL HI-GLOSS FINISH)
-APPLY 2 THIN COATS OF PENETRA-SIL 244 SEALER
NOTE:
-ALL GRINDING & POLISHING TO BE DONE W/ PLANETARY EQUIPMENT
-USE HAND HELD EQUIPMENT FOR ALL TERRAZZO BASE & FOLLOW SAME STEPS AS ABOVE FOR FINISHING.
-PROVIDE A GROUT COAT OF ACRYLIC MODIFIED GROUT AFTER THE 30 GRIT DIAMOND PROCESS IF THE GRINDING PROCESS LEAVES PIN HOLES IN FLOOR OR BASE.
-SPECIFICATION FOR DENSIFIER:
PENETRA-SIL 244 SEALER PENTRAGUARD
THE FOLLOWING TO BE INCLUDED & PROVIDED:
-PROTECTION OF SURROUNDING FINISHES.
-DUST CONTROL USING VACUUM SYSTEMS.

NOTES :

- APPLY PAINT & URETHANE IN ACCORDANCE WITH MPI PAINTING MANUAL GUIDE SPECIFICATION & PREMIUM GRADE FINISH REQUIREMENTS.
- ONLY MATERIALS LISTED IN THE LATEST EDITION OF THE MPI APPROVED PRODUCT LIST ARE ACCEPTABLE.
- APPLY ALL PAINT ON METAL DOORS & METAL FRAMES BY SPRAY PAINT METHOD ONLY. NO BRUSHING ACCEPTED.

ORIGINAL STAMPED BY: R.K.FOK LI Arch.
DATE: 2008.01.18

NO.	REVISION/DESCRIPTION	BY	DATE
SEALS			

DRAWN BY	MMK	CHECKED BY	APPROVED
DATE	2008.01.18	USER APPROVAL	

CITY OF WINNIPEG
PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT
CIVIC ACCOMMODATIONS DIVISION
300 - 65 GARRY ST. R3C 4K4

PROJECT
CITY HALL - ADMINISTRATION BUILDING
MAIN FLOOR LOBBY RENOVATIONS

510 MAIN STREET
SHEET TITLE

PARTIAL MAIN FLOOR PLAN
LOBBY TEMPORARY HOARDING DEMOLITION
& RENOVATION

SCALE	PROJECT NO.	SHEET NO.
AS SHOWN	2006-061	A2