

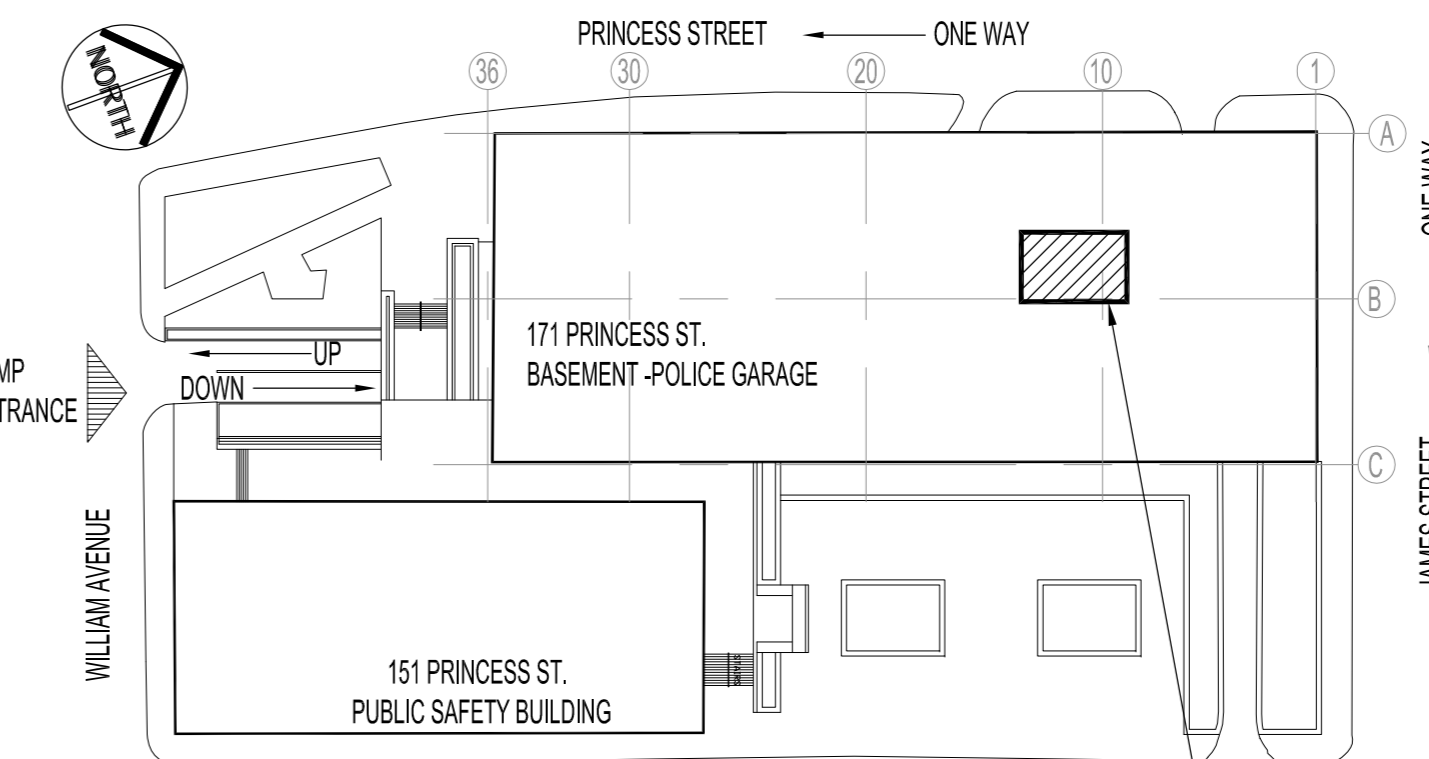
FILE NAME: 20080670.dwg DATE: 2008.10.06 DESCRIPTION: PARTIAL BASEMENT FLOOR PLAN - DEMOLITION PROJECT No: 2008-067 ADDRESS: 151 PRINCESS

BUILDING CODE SUMMARY NBC 2005

PROJECT DESCRIPTION:
RENOVATION & EXPANSION TO EXISTING EXHIBIT PROCESSING AREA IN THE POLICE GARAGE IN THE BASEMENT OF 171 PRINCESS STREET OF THE PUBLIC PARKADE. THE BASEMENT LEVEL CONNECTS TO THE PUBLIC SAFETY BUILDING BASEMENT.

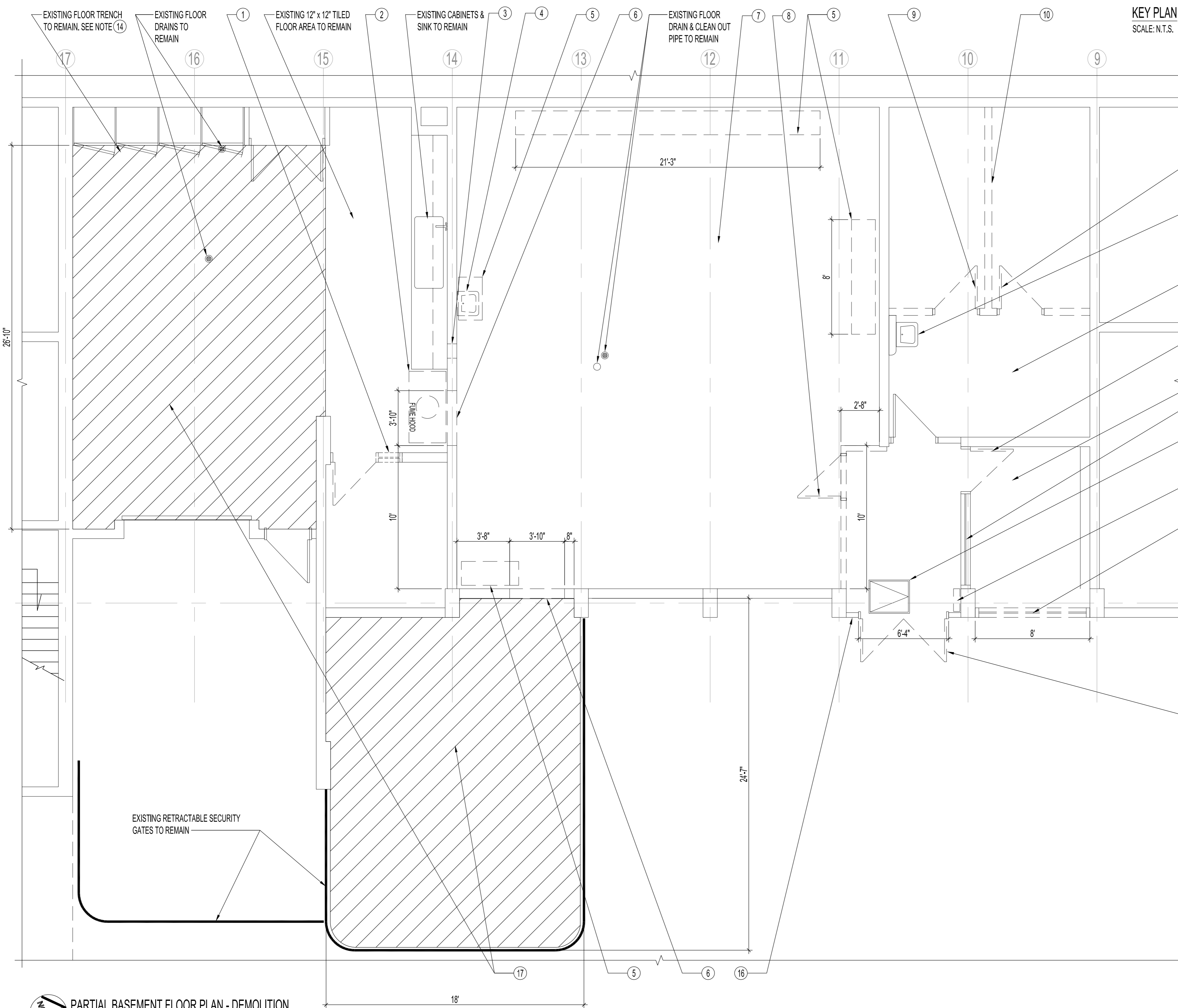
OCCUPANCY & CLASSIFICATION OF THE AREA:
GROUP F DIVISION 3 - LOW HAZARD LABORATORY
TOTAL AREA OF WORK - 2,785 SQ. FT. (257 m²)
AREA IS SPRINKLERED

3.3.5.6.1) STORAGE GARAGE SEPARATION
EXCEPT AS PERMITTED BY SENTENCES 3.3.4.2.(4) & (5), A STORAGE GARAGE SHALL BE SEPARATED FROM OTHER OCCUPANCIES BY A FIRE SEPARATION WITH A FIRE RESISTANCE RATING NOT LESS THAN 1.5 HR.



KEY PLAN
SCALE: N.T.S.

NOTES:
THESE DRAWINGS SHALL NOT BE SCALED.
THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH ULC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.
ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.
THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.
WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.
WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL UNLESS OTHERWISE NOTED.



LEGEND

	EXISTING DOORS TO BE DEMOLISHED -SEE DEMOLITION NOTES
	EXISTING WALLS TO BE DEMOLISHED -SEE DEMOLITION NOTES
	EXISTING GLAZING UNITS TO BE DEMOLISHED -SEE DEMOLITION NOTES
	AREAS OF GARAGE FLOOR REQUIRING PATCHING & REPAIRS -SEE DEMOLITION NOTE (17)

DEMOLITION NOTES:

- REMOVE & DISCARD EXISTING DOOR, FRAME & SIDELITE (WALL TO REMAIN). PATCH HOLES W/ GROUT IN EXISTING MASONRY BLOCK & CONCRETE WALL & FLOOR.
- DISCONNECT EXISTING FUME HOOD & RELOCATE TO NEW LOCATION. SEE RENOVATION & MECHANICAL DRAWINGS.
- CUT OPENING ABOVE CEILING SYSTEM IN EXISTING MASONRY BLOCK FOR NEW DUCTWORK (APPROX. 1'-2" x 1'-2" IN SIZE). SEE MECH DRAWING FOR DETAILS.
- REMOVE & DISCARD EXISTING WALL HUNG SINK & PLUMBING FIXTURES. SEE PLUMBING DRAWING.
- REMOVE & DISCARD EXISTING WOOD SHELVING & RODS. PATCH HOLES IN EXISTING MASONRY BLOCK & PREPARE FOR PAINTING.
- CUT OPENINGS IN EXISTING MASONRY BLOCK WALLS & PREPARE FOR NEW DOORS & FRAMES. SEE ELEVATION REFERENCES ON RENOVATION DWG.
- CLEAN & PATCH EXISTING EPOXY FLOORING & BARE CONCRETE IN AREAS NOTED. PATCH HOLES AS REQUIRED. REMOVE AREAS OF FLOORING WHERE BUBBLING OR LIFTING HAS OCCURRED. PREPARE FLOOR AREAS NOTED FOR NEW VINYL SHEET FLOORING. SEE ROOM FINISH SCHEDULE & SPECS. & FLOOR FINISH PLAN SEE DEMOLITION NOTE (17) FOR ADDITIONAL FLOOR REPAIRS.
- DEMOLISH & DISCARD EXISTING WOOD STUD & GYPSUM BOARD WALLS, DOOR & FRAME. PATCH HOLES W/ GROUT IN EXISTING MASONRY BLOCK & PREPARE FOR PAINTING.
- REMOVE & SALVAGE RIGHT HAND SWING DOOR, FRAME & HARDWARE. SET ASIDE FOR RENOVATION.
- DEMOLISH & DISCARD EXISTING INTERIOR WALLS. SALVAGE BOTH DOORS FOR RENOVATION. SEE DEMOLITION NOTES (9) (11).
- REMOVE & SALVAGE LEFT HAND SWING DOOR ONLY. SET ASIDE FOR RENOVATION.
- REMOVE & DISCARD EXISTING DOOR & HARDWARE. PREPARE OPENING FOR SALVAGED DOOR. SEE RENOVATION DWG.
- EXISTING ELECTRICAL PANEL TO BE REMOVED & DISCARDED. SEE ELEC. DWGS. FOR NEW PANEL LOCATION.
- REMOVE & DISCARD EXISTING PRESSED STEEL FRAME & GLAZING UNIT (4'-6" x 8'-0"). PREPARE EXISTING MASONRY BLOCK OPENING FOR NEW MASONRY BLOCK. SEE RENOVATION DWG.
- REMOVE & DISCARD EXISTING DOUBLE DOORS, FRAME & HARDWARE ETC. PREPARE EXISTING MASONRY BLOCK OPENING FOR NEW MASONRY BLOCK. SEE RENOVATION DWG.
- CUT OPENING ABOVE CEILING SYSTEM IN EXISTING MASONRY BLOCK FOR NEW DUCTWORK (APPROX. 1'-6" x 1'-6" IN SIZE). SEE MECH DRAWING FOR DETAILS.
- CHIP LOOSE CONCRETE FROM EXISTING MAJOR CRIME ROOM B-14 & VEHICLE EXAMINATION BAY #2 B-16 FLOOR (SEE RENOVATION DWG FOR RM. NUMBERS). PATCH EXISTING HOLES & REPAIR W/ GROUT. PREPARE SURFACE FOR NEW PAINT. SEE ROOM FINISH SCHEDULE, MECH. DWGS.

DRAWING LIST

SHEET No:	SHEET TITLE
A1	PARTIAL BASEMENT FLOOR PLAN -DEMOLITION
A2	PARTIAL BASEMENT FLOOR PLAN -RENOVATION
A3	PARTIAL BASEMENT FLOOR PLAN, REFLECTED CEILING -DEMOLITION/RENOVATION
A4	PARTIAL BASEMENT FLOOR PLAN -FLOOR FINISH, SCHEDULES & DETAILS
A5	PARTIAL BASEMENT FLOOR PLAN -CABINET PLANS & ELEVATIONS
DS1	STEEL LINTELS FOR DOOR OPENINGS

ORIGINAL STAMPED BY: R.K. FOK LI, Arch.
DATE: 2010.09.20

NO.	REVISION/DESCRIPTION	BY	DATE
SEALS			

DRAWN BY	CHECKED BY	APPROVED
MMK	USER APPROVAL	
DATE: 2010.09.10		

CITY OF WINNIPEG
PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT
CIVIC ACCOMMODATIONS DIVISION
300 - 65 GARRY ST. R3C 4K4

PROJECT
PUBLIC SAFETY BUILDING
WINNIPEG POLICE SERVICES
EXHIBIT PROCESSING AREA DEVELOPMENT
151 PRINCESS STREET

SHEET TITLE
POLICE GARAGE
PARTIAL BASEMENT FLOOR PLAN
DEMOLITION

SCALE	PROJECT NO.	SHEET NO.
AS SHOWN	2008-067	A1

DRAWING SHEET SIZE: A1 (841mm x 594mm) PLOT 1:1

PARTIAL BASEMENT FLOOR PLAN - DEMOLITION
SCALE: 1/4"=1'-0"