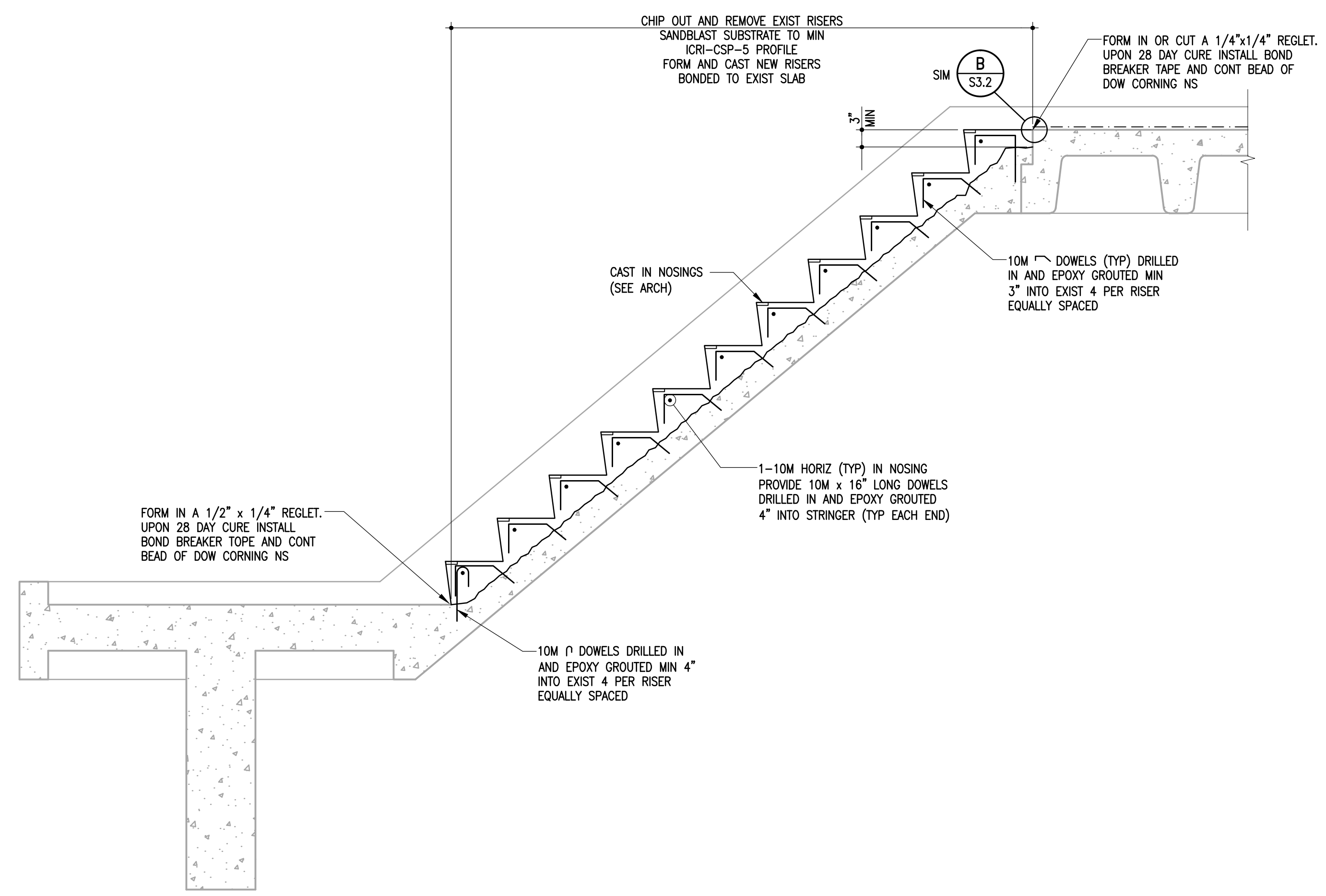
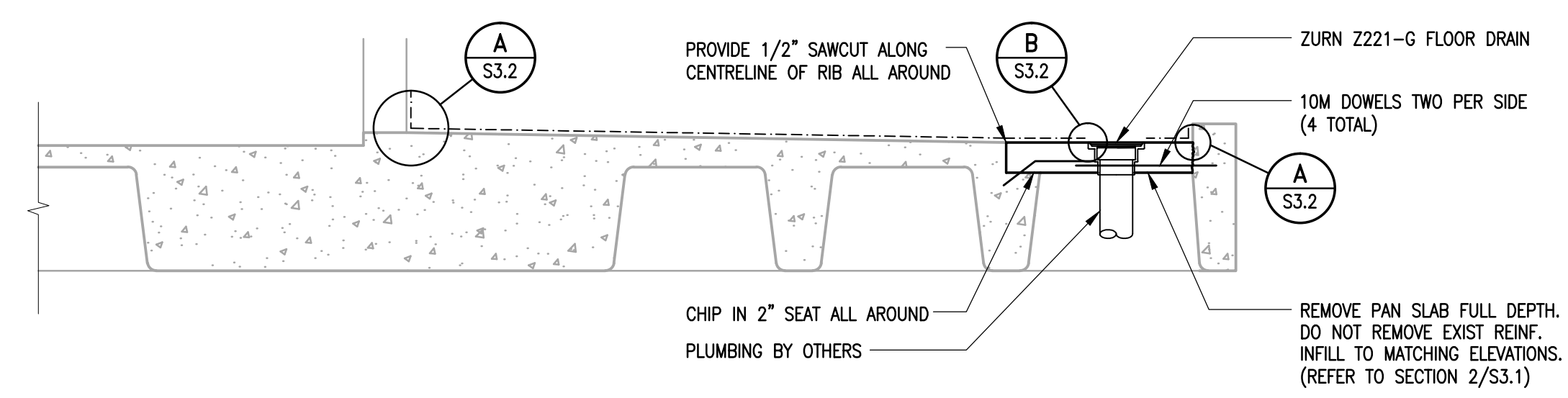


THIS DRAWING MUST NOT BE SCALED.
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DETAILS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED TO NUMBER TEN ARCHITECTURAL GROUP BEFORE PROCEEDING.
 VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION OF NUMBER TEN ARCHITECTURAL GROUP.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF NUMBER TEN ARCHITECTURAL GROUP AND THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. IT MAY BE REPRODUCED ONLY WITH THE PERMISSION OF NUMBER TEN ARCHITECTURAL GROUP, IN WHICH CASE THE REPRODUCTION MUST BEAR THEIR NAME.

REVISED/ ISSUED/ PLOTTED	DATE
ISSUED FOR TENDER	NOV 21, 2011
R1 REVISION 1	MAR 06, 2012



1 SECTION
 S3.2 3/4" = 1'-0"



2 SECTION
 S3.2 3/4" = 1'-0"

EXISTING CONDITIONS:
 THE BIDDER MAY NOTE THE FOLLOWING REGARDING THE CONDITION OF THE EXTERIOR BALCONY AND STAIR STRUCTURES. THE INFORMATION PROVIDED WAS OBTAINED BY ON-SITE INVESTIGATION COMPLETED BY CROSIER KILGOUR & PARTNERS IN SUMMER 2011.

- THE SURFACE OF THE EXTERIOR BALCONY AREA EXHIBITS PITTING AND MODERATE TO SEVERE SCALING OF THE SURFACE CONSISTENT WITH FREEZE-THAW DETERIORATION. REPAIRS ARE REQUIRED TO ADDRESS THE LOSS IN SECTION, PROTECT THE TOP REINFORCING STEEL, AND PROVIDE A SMOOTH SOUND SURFACE FOR THE WATERPROOFING MEMBRANE. CHAIN DRAG SOUNDINGS HAVE IDENTIFIED APPROXIMATELY 100 SQ.FT. OF TOP SURFACE SCALING AND APPROXIMATELY 15 SQ.FT. OF TOP SURFACE DELAMINATION. REFER TO PHOTOGRAPHS #1, #2, AND #5 INCLUDED WITH THIS ADDENDUM.
- RANDOM CRACKING IS PRESENT THROUGHOUT THE TOP SURFACE. PRE-STRIPPING AND/OR ROUTING AND SEALING OF CRACKS WILL BE REQUIRED PRIOR TO APPLICATION OF THE WATERPROOFING MEMBRANE IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS.
- EXTENSIVE DELAMINATION AND SPALLING OF THE CONCRETE STAIR STRINGERS WAS OBSERVED AT THE NORTH EXTERIOR STAIR. REPAIR OF THE STAIR STRINGERS IS REQUIRED. REFER TO PHOTOGRAPHS #3 AND #4 INCLUDED WITH THIS ADDENDUM.
- HAMMER SOUNDINGS OF THE BALCONY SOFFITS DID NOT REVEAL ANY DETERIORATION.

PHOTO #1:
 EXTERIOR BALCONY SHOWING AREAS OF PITTING AND SCALING.

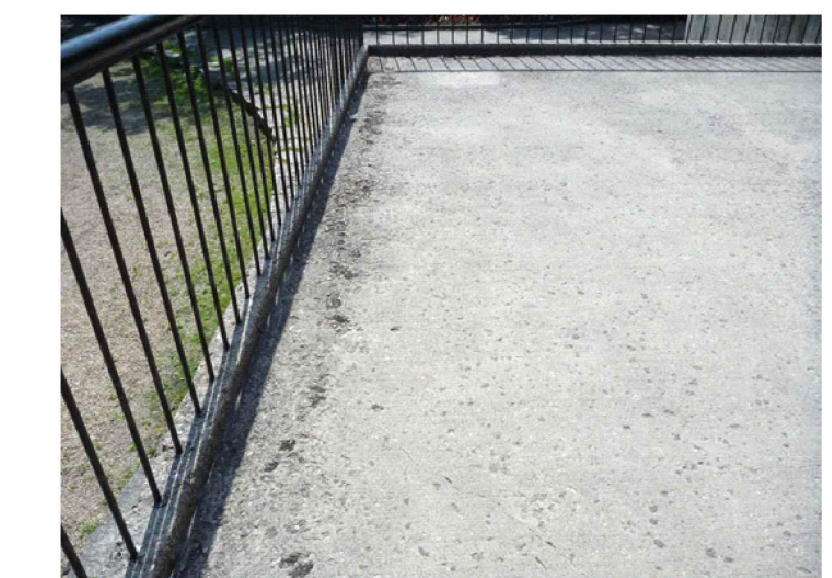


PHOTO #4:
 CRACKING AND DELAMINATION OF STAIR STRINGER.



PHOTO #2:
 MODERATE TO SEVERE SCALING OF SLAB SURFACE IN NORTHEAST CORNER.

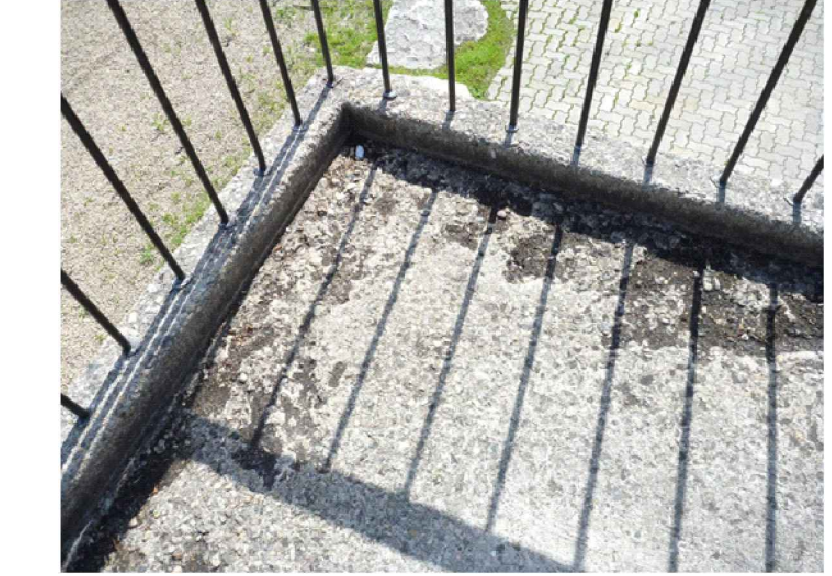
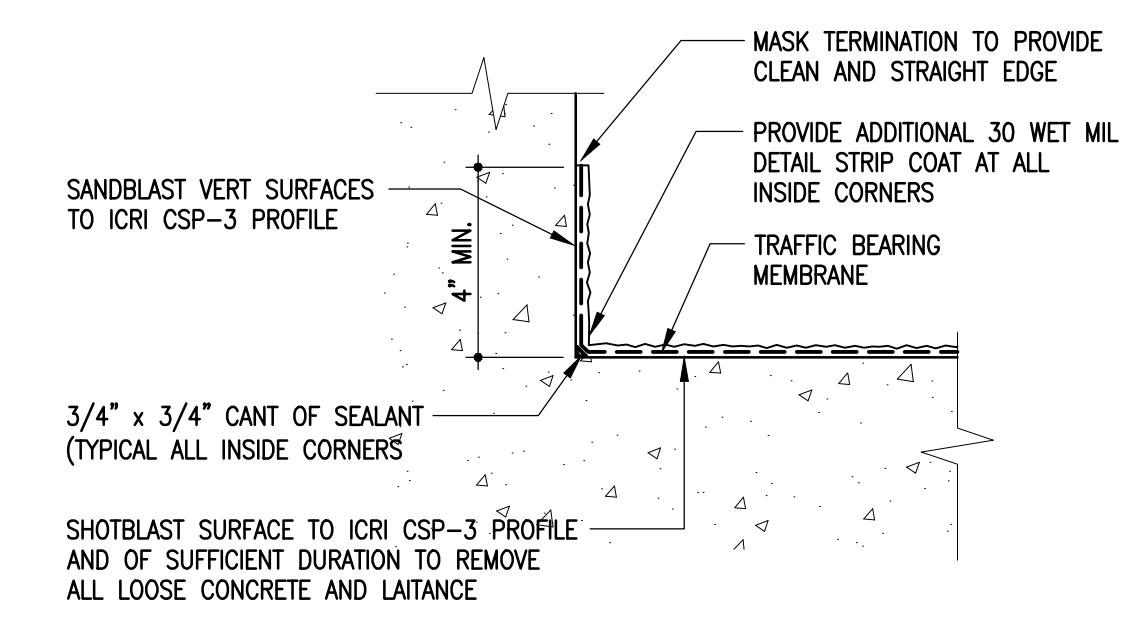
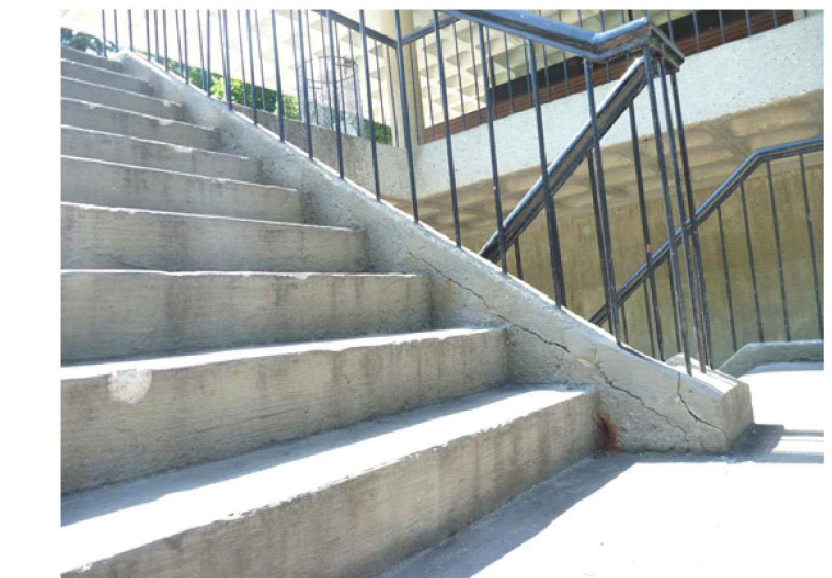


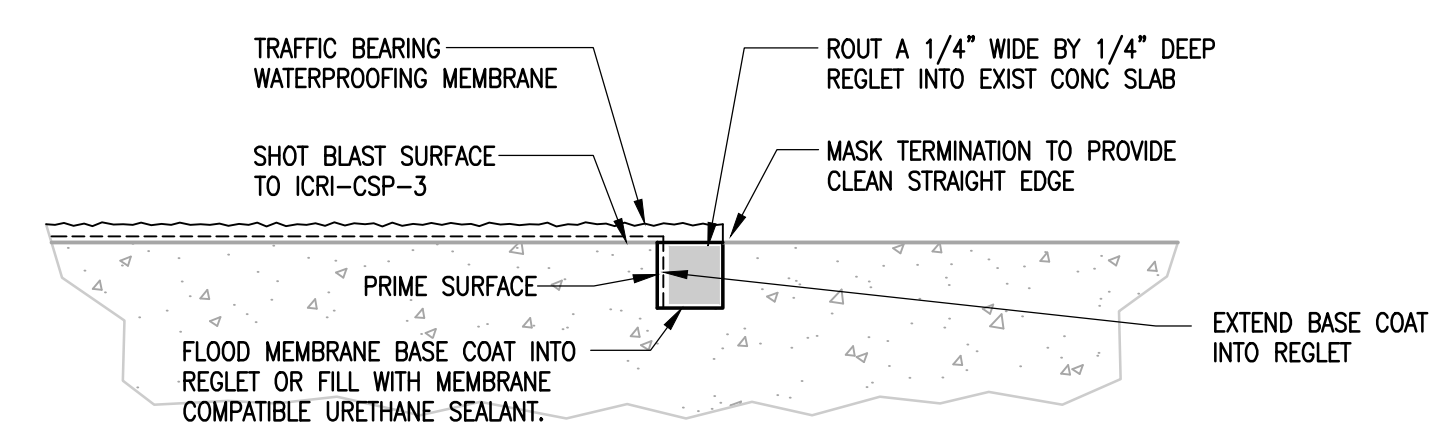
PHOTO #5:
 TOP SURFACE OF LANDING SHOWING SKIM COAT REPAIR.



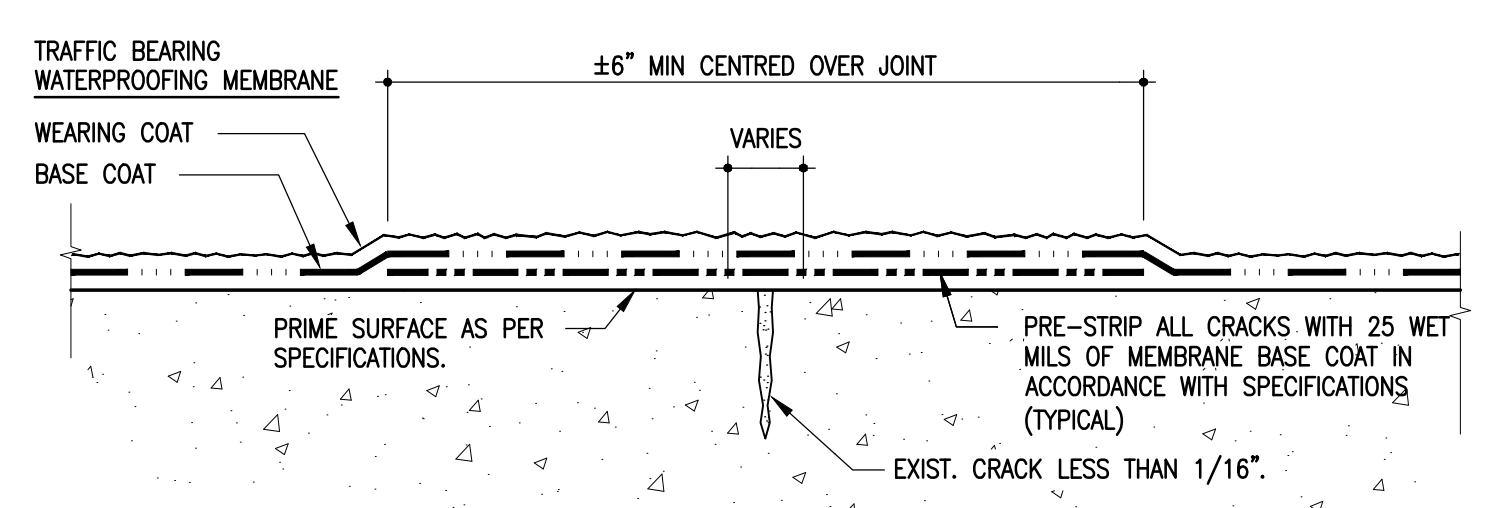
PHOTO #3:
 CRACKING AND DELAMINATION OF STAIR STRINGER.



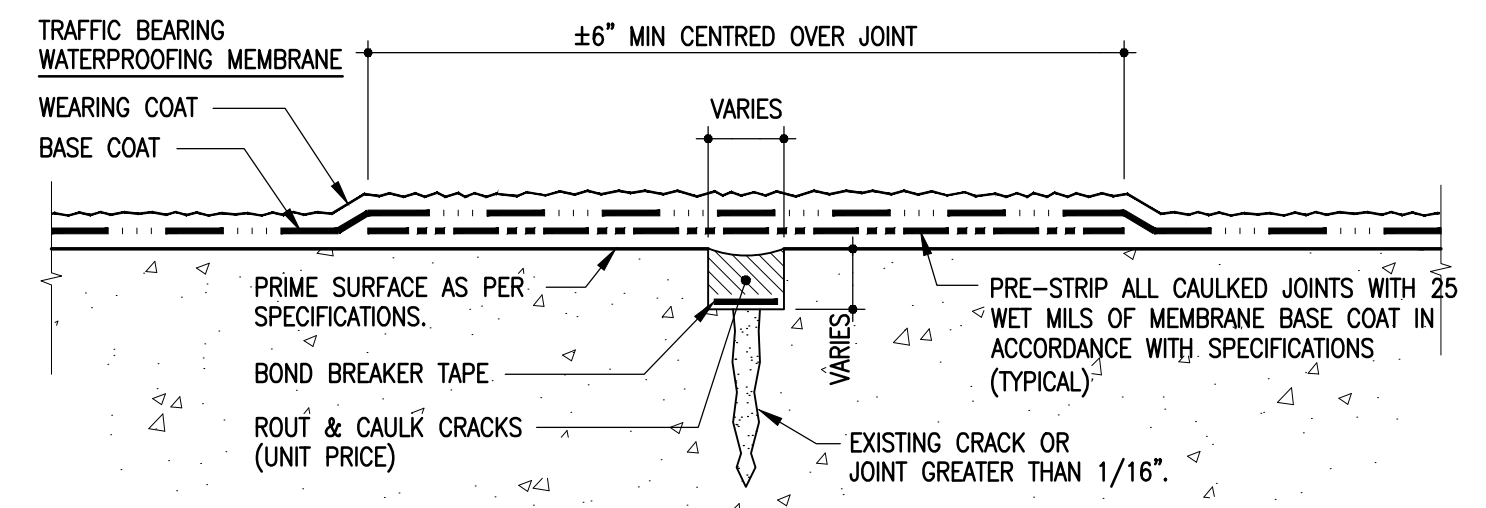
A TYPICAL DETAIL AT VERTICAL TRANSITION
 S3.2 3/4" = 1'-0"



B TYPICAL HORIZ TERMINATION DETAIL
 S3.2 SCALE: NTS



C TYPICAL DETAIL AT CRACKS
 S3.2 N.T.S.



D TYPICAL DETAIL AT CAULKING JOINT
 S3.2 N.T.S.



numberTEN
 architectural group
 winnipeg MB regina SK victoria BC
 204 942.0981 306 721.1501 250 360.2106
 architecture • interior design • graphic design

PEGUIS PAVILION
 UPGRADES AND ENTRY ADDITION
 BIDDING #913-2011

TYPICAL CONCRETE REPAIR DETAILS

300-278 Centre Street
 Winnipeg, Manitoba R3C 5R6
 F 204.943.7901
 F 204.943.7907
 2011-0492
 Crosier Kilgour & Partners Ltd.
 CONSULTING STRUCTURAL ENGINEERS

ORIGINAL DRAWING
 SEALED BY
 D.J. MIZAK
 AND DATED
 NOV 21, 2011

scale: AS NOTED
 date: March 7, 2012
 drawn by: MS
 checked by: TKM
 project no. 2011026
 sheet no. S3.2-R1