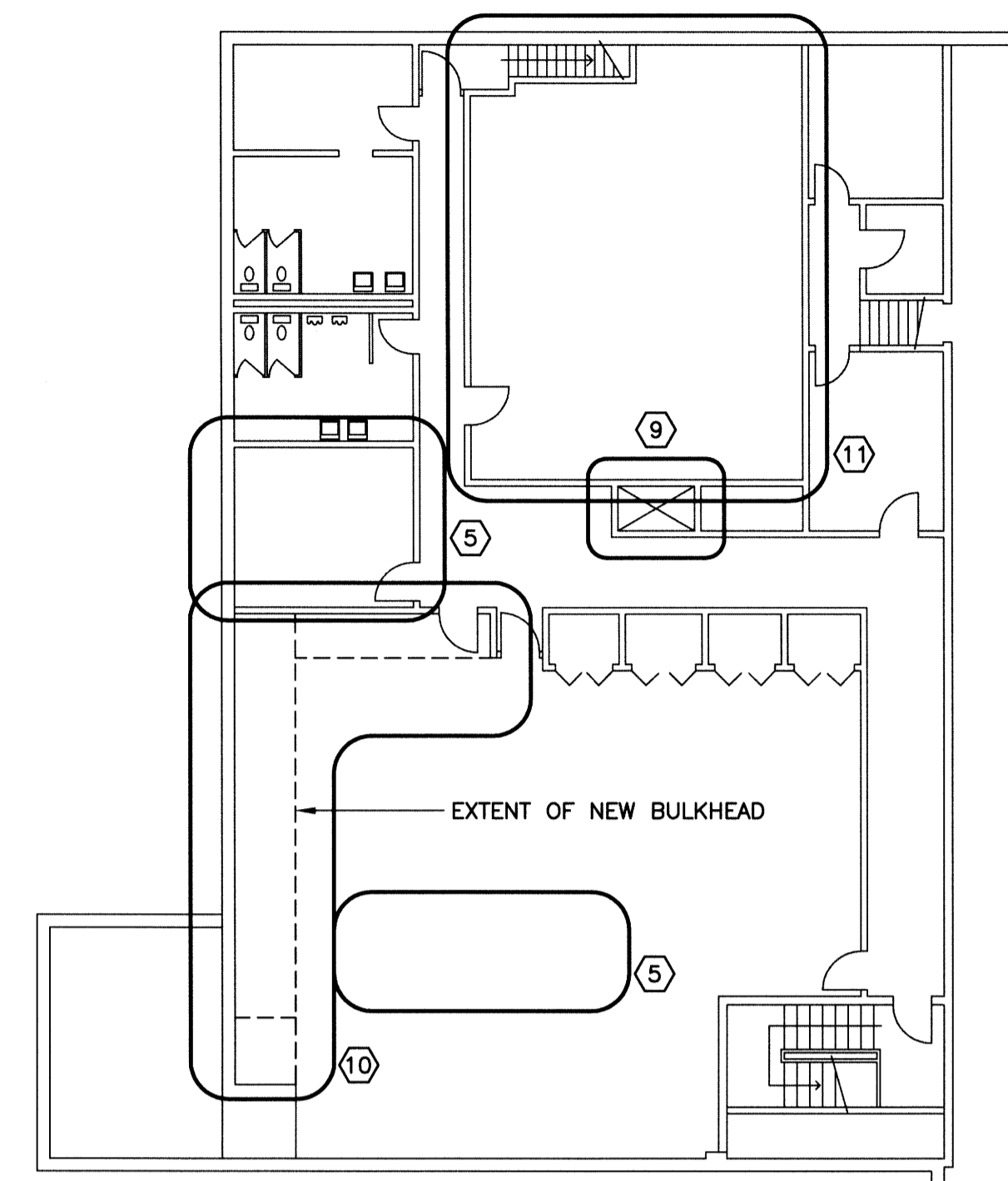


1 MAIN FLOOR PLAN
 SCALE: 1:150mm (24"x36")
 1:300mm (11"x17")



2 WEST WING - SECOND FLOOR PLAN
 SCALE: 1:150mm (24"x36")
 1:300mm (11"x17")

SCOPE OF WORK NOTES: (CONTINUED):

- 4 REMOVE AND RECONSTRUCT PIPE CHASE AS REQUIRED TO REMOVE PIPING - SEE DRAWING M-1, NOTE 3 & 4.
- 5 REMOVE AND REPLACE CEILING AS REQUIRED TO REMOVE/INSTALL PIPING AND DUCTWORK. PROVIDE PLYWOOD BACKING TO DRYWALL IN CHANGING AND DRESSING ROOM AREAS TO MATCH EXISTING. REFERENCE DRAWING M-1 AND M-5.
- 6 REMOVE EXISTING CEILING TILES AND PROVIDE NEW SUSPENDED CEILING TILES TO MATCH EXISTING. CLEAN EXISTING CEILING GRID PRIOR TO INSTALLING NEW CEILING TILE - SEE DRAWING M-1, NOTE 7 AND DRAWING M-5. WHERE THERE IS NO SUSPENDED CEILING, PATCH AND REPAIR EXISTING OPENINGS AND PROVIDE NEW OPENINGS AS REQUIRED. REPAINT ENTIRE CEILING.
- 7 PROVIDE NEW 100mm CONCRETE HOUSE KEEPING PAD FOR NEW BOILER; 10M Ø300 O/C E.W., 35mm TOP COVER. SEE DRAWING M-7.
- 8 PROVIDE NEW WALL OPENINGS FOR AIR INTAKE AND CHIMNEY EXHAUST. INFILL EXISTING OPENING. REFERENCE DRAWING M-6, M-7 AND M-8. SEE DETAIL "4" ON "S-3"
- 9 REMOVE AND REINSTALL NEW CHASE AND CEILING DUCTS AS REQUIRED TO INSTALL NEW PIPES AND DUCTS. REFERENCE DRAWINGS M-2, M-4 AND M-6.
- 10 REMOVE EXISTING DUCT BULKHEAD AND REPLACE WITH STEEL STUDS AND DRYWALL BULKHEAD TO MATCH EXISTING.
- 11 REMOVE EXISTING CEILING TILE AS REQUIRED TO REMOVE/INSTALL PIPING AND DUCTWORK. RE-USE CEILING TILE IF NOT DAMAGED. DAMAGED CEILING TILE TO BE REPLACED TO MATCH EXISTING.
- 12 PROVIDE NEW ROOFING AROUND ALL NEW PIPE PENETRATIONS THROUGH ROOF. ROOFING TO BE AS PER SECTION 3/S03 OR APPROVED ALTERNATE IN ACCORDANCE WITH B6.

GENERAL NOTES:

- 1. PATCH EXISTING FLOOR, WALL, CEILING ASSEMBLIES, ETC. WHERE REQUIRED DUE TO DEMOLITION/RENOVATION WORK TO MATCH EXISTING CONSTRUCTION, MATERIALS, TEXTURES AND FINISHES UNLESS NOTED OR PERMITTED OTHERWISE.
- 2. USE ONLY NEW MATERIALS TO BLEND WITH EXISTING EXCEPT WHERE THE USE OF SALVAGED EXISTING MATERIALS WOULD BE DESIRABLE AND IS PERMITTED BY THE CONTRACT ADMINISTRATOR.
- 3. EXISTING ASSEMBLIES THAT ARE DAMAGED OR WEAKENED IN ANY WAY DUE TO DEMOLITION AND RENOVATION WORK, SHALL BE RESTORED TO THEIR FORMER STATE BY REINFORCING, REBUILDING, OR REPLACEMENT, TO THE SATISFACTION OF THE CITY.
- 4. PATCHED WALL AREAS SHALL BE PAINTED TO INCLUDE THE ENTIRE SURFACE PLANE TO THE NEAREST CORNERS AND WALL AND CEILING INTERFACES UNLESS PERMITTED OTHERWISE.

ROOF MEMBRANE (SBS MODIFIED):

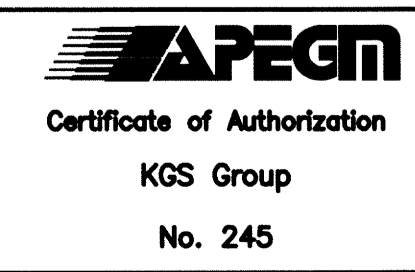
- 1. ROOF MEMBRANE TO BE 2 PLY TORCH APPLIED SBS MODIFIED BITUMEN MEMBRANE. ALL COMPONENTS OF THE ROOF MEMBRANE SYSTEM TO BE THE PRODUCTS OF A SINGLE MANUFACTURER ACCEPTABLE MANUFACTURER: SOPREMA OR TO MATCH EXISTING.
- 2. BASE SHEET TO MATCH EXISTING OR BE "SOPRALENE FLAM 180", A NON-WOVEN POLYESTER REINFORCEMENT AND SBS MODIFIED BITUMEN C/W A THERMO FUSIBLE PLASTIC FILM ON EACH FACE. BASE SHEET TO BE TORCH APPLIED TO TORCHABLE ROOF INSULATION.
- 3. CAP SHEET TO MATCH EXISTING OR BE "SOPRALENE FLAM 250 GR", A NON-WOVEN POLYESTER REINFORCEMENT AND SBS MODIFIED BITUMEN. COLOURED GRANULES (GREY) ON TOP FACE AND THERMO FUSIBLE PLASTIC FILM ON BOTTOM FACE. CAP SHEET TO BE TORCH APPLIED TO BASE SHEET.
- 4. ALL ROOF MEMBRANE COMPONENTS TO BE SHIPPED, STORED, HANDLED AND INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

HEAT PIPING SHROUD NOTES:

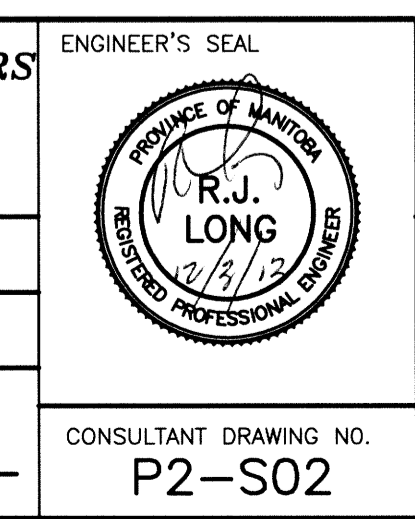
- 1. ALL NEW SURFACE MOUNTED HEAT PIPING IS TO BE PROTECTED WITH A 16 GA. STAINLESS STEEL, BENT PLATE SHROUD.
- 2. THE SHROUD IS TO BE ONE PIECE, EXTENDING CONTINUOUSLY FROM FLOOR SURFACE TO THE CEILING SURFACE AND IS INTENDED TO HINDER VANDALISM OF THE PIPING OR PIPING INSULATION.
- 3. THE SIZE AND SHAPE OF THE SHROUD IS TO BE DETERMINED BY THE CONTRACTOR TO SUIT THE SIZE AND LOCATION OF THE PIPING.
- 4. THE SHROUD IS TO INCLUDE A FLANGE ON THE VERTICAL SIDES OF THE SHROUD THROUGH WHICH THE SHROUD IS SECURED TO THE CONCRETE BLOCK WALLS WITH TAPCON SCREWS AT 12" O/C MAXIMUM.
- 5. WHEN INSTALLED, THE SHROUD IS NOT TO LIMIT THE FUNCTION OR ACCESS TO THE HEATING UNIT. SHROUD TO BE INSTALLED SO IT CAN BE REMOVED TO ACCESS PIPING IF REQUIRED.
- 6. SHOP DRAWING OF SHROUD TO BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.

GENERAL PATCHING NOTES:

- 1. PATCH EXISTING FLOOR, WALLS, CEILING ASSEMBLIES, ETC. WHERE REQUIRED DUE TO DEMOLITION / RENOVATION WORK TO MATCH EXISTING CONSTRUCTION, MATERIALS, TEXTURES AND FINISHES UNLESS NOTED OR PERMITTED OTHERWISE. EXPOSED HOLES AND DAMAGED SURFACES DUE TO DEMOLITION WORK MUST BE PATCHED AND PAINTED TO MATCH EXISTING.
- 2. USE ONLY NEW MATERIALS TO BLEND WITH EXISTING EXCEPT WHERE THE USE OF SALVAGED EXISTING MATERIALS WOULD BE DESIRABLE AND IS PERMITTED BY THE CONTRACT ADMINISTRATOR.
- 3. EXISTING ASSEMBLIES THAT ARE DAMAGED OR WEAKENED IN ANY WAY DUE TO DEMOLITION AND RENOVATION WORK, SHALL BE RESTORED TO THEIR FORMER STATE BY REINFORCING, REBUILDING OR REPLACEMENT TO THE SATISFACTION OF THE CITY.
- 4. PATCHED WALL AREAS SHALL BE PAINTED TO INCLUDE THE ENTIRE SURFACE PLANE TO THE NEAREST CORNERS AND WALL AND CEILING INTERFACES UNLESS PERMITTED OTHERWISE.
- 5. WERE POSSIBLE, MAKE NEW PENETRATIONS IN EXISTING CEILING AS SMALL AS REQUIRED TO SUIT NEW MECHANICAL COMPONENTS TO REDUCE THE AMOUNT OF PATCHING REQUIRED TO THE SPECIAL TEXTURE CEILING FINISH. WHERE A LARGE PENETRATION CANNOT BE AVOIDED, AND PATCHING IS REQUIRED, PROVIDE NEW DRYWALL WITH A SMOOTH, PAINTED FINISH TO MATCH THE EXISTING CEILING COLOUR. IS ACCEPTABLE. THE AREA OF THE PATCHED MUST EXTEND THE TOTAL WIDTH OF THE CORRIDOR OR ROOM BUT IS PERMITTED TO BE LIMITED TO THE WIDTH OF THE REQUIRED OPENING, OR TO THE NEAREST STRUCTURAL SUPPORT FOR THE DRYWALL PATCH. PROVIDE APPROPRIATE TRANSITION BEAD FOR EXISTING CEILING AND NEW PATCH JOINT.



B.M. ELEV. :		KGS GROUP CONSULTING ENGINEERS & PROJECT MANAGERS WINNIPEG (204) 896-1209 THUNDER BAY (807) 345-2233	
DESIGNED BY	RJL	CHECKED BY	JMW
DRAWN BY	MB	APPROVED BY	[Signature]
HOR. SCALE: AS SHOWN		RELEASED FOR CONSTRUCTION:	
VERTICAL:		DATE	
NO.	REVISIONS	DATE	BY
2	RE-ISSUED FOR TENDER	13/03/08	RJL
1	RE-ISSUED FOR TENDER	12/04/23	RJL
0	ISSUED FOR TENDER	12/03/27	RJL



THE CITY OF WINNIPEG
 PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT

PROJECT TITLE: FORT ROUGE LEISURE CENTRE HVAC UPGRADE

ENGINEER'S SEAL: P2-S02

SHEET OF: 002 OF 003

COMPUTER FILE NAME: 11-0107-02-P2-S02

CITY DRAWING NUMBER

MAIN FLOOR PLAN