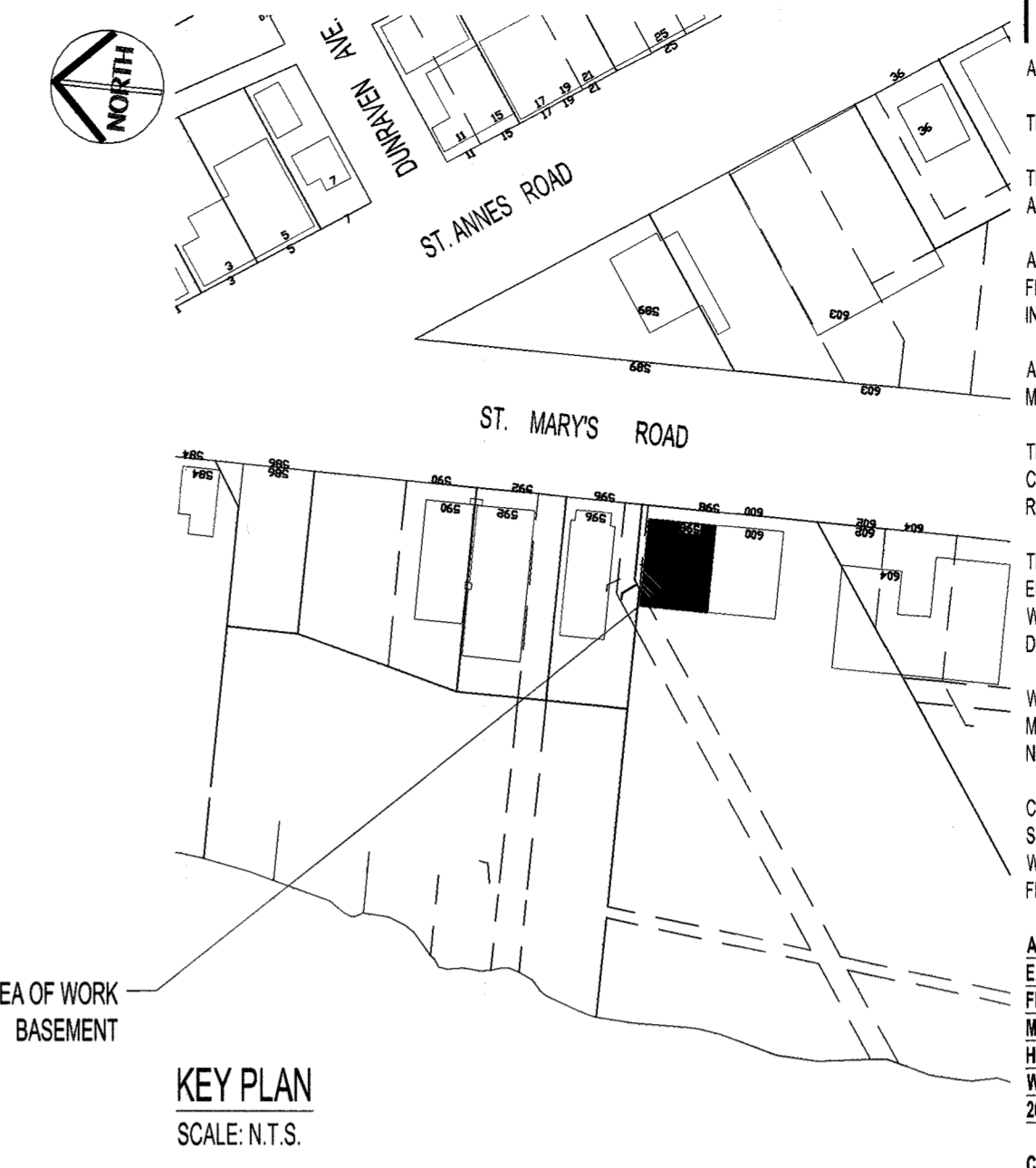
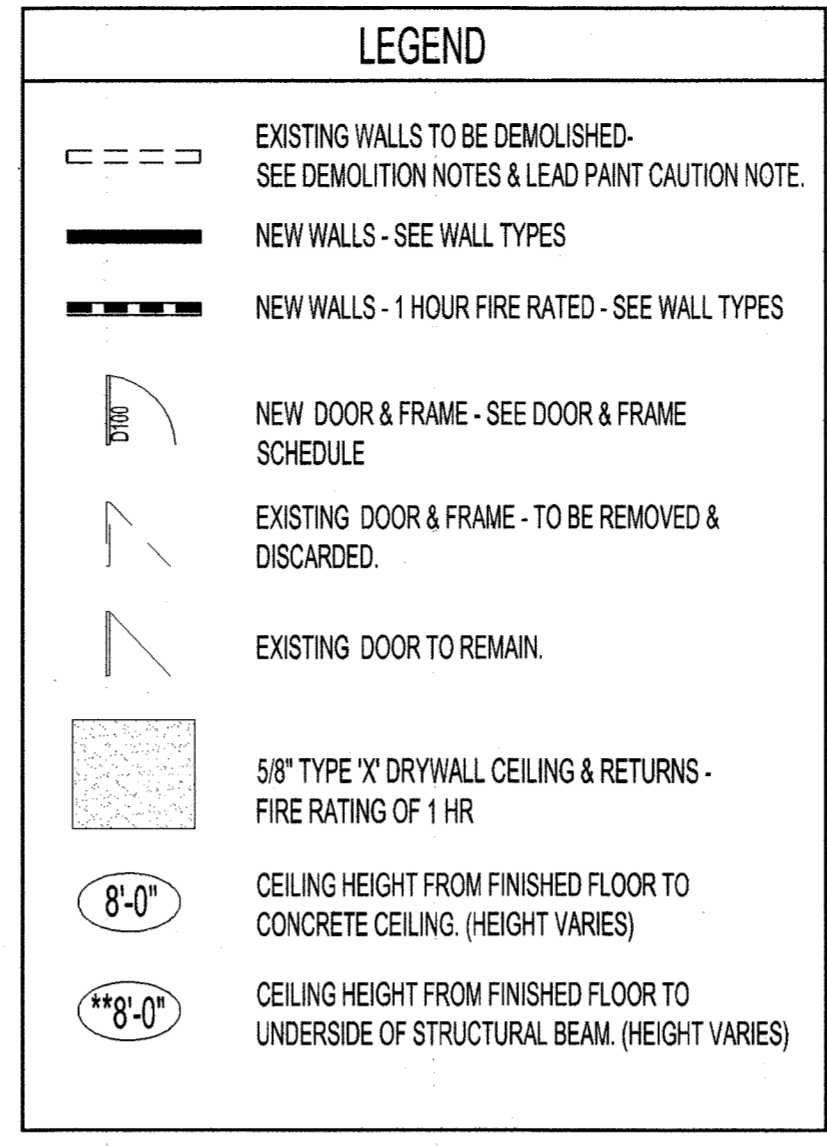


**BASEMENT FLOOR DEMOLITION NOTES:**

- ALSO SEE ELECTRICAL & MECHANICAL DEMOLITION DWGS
- EXISTING TO REMAIN
  - - - - - TO BE DEMOLISHED
- 1 EXISTING CONCRETE BLOCK WALL TO BE DEMOLISHED, REMOVED AND DISCARDED.
  - 2 REMOVE & DISCARD EXISTING DOOR FRAME AND PREPARE OPENING FOR NEW WALL INFILL.
  - 3 DEMOLISH, REMOVE & DISCARD (2) ENTIRE WOOD SHELVING UNITS.
  - 4 DEMOLISH, REMOVE & DISCARD (FULL HEIGHT) CONCRETE BLOCK, TERRA-COTTA BLOCK, CEMENT PARING, WOOD STUD WALLS INCLUDING ASSOCIATED RE-INFORCING MATERIALS. (FULL HEIGHT), ALSO SEE LEGEND.
  - 5 ABANDONED BOILER TO BE REMOVED BY OWNER.
  - 6 EXISTING WOOD STAIRS TO BE DEMOLISHED, REMOVED AND DISCARDED.



**NOTES:**

ALSO SEE STRUCTURAL, MECHANICAL & ELECTRICAL DEMOLITION & RENOVATION DWGS.

THESE DRAWINGS SHALL NOT BE SCALED.

THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.

ALL OPENINGS THROUGH EXISTING CEILINGS, WALLS & NEW FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH ULC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.

ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.

THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.

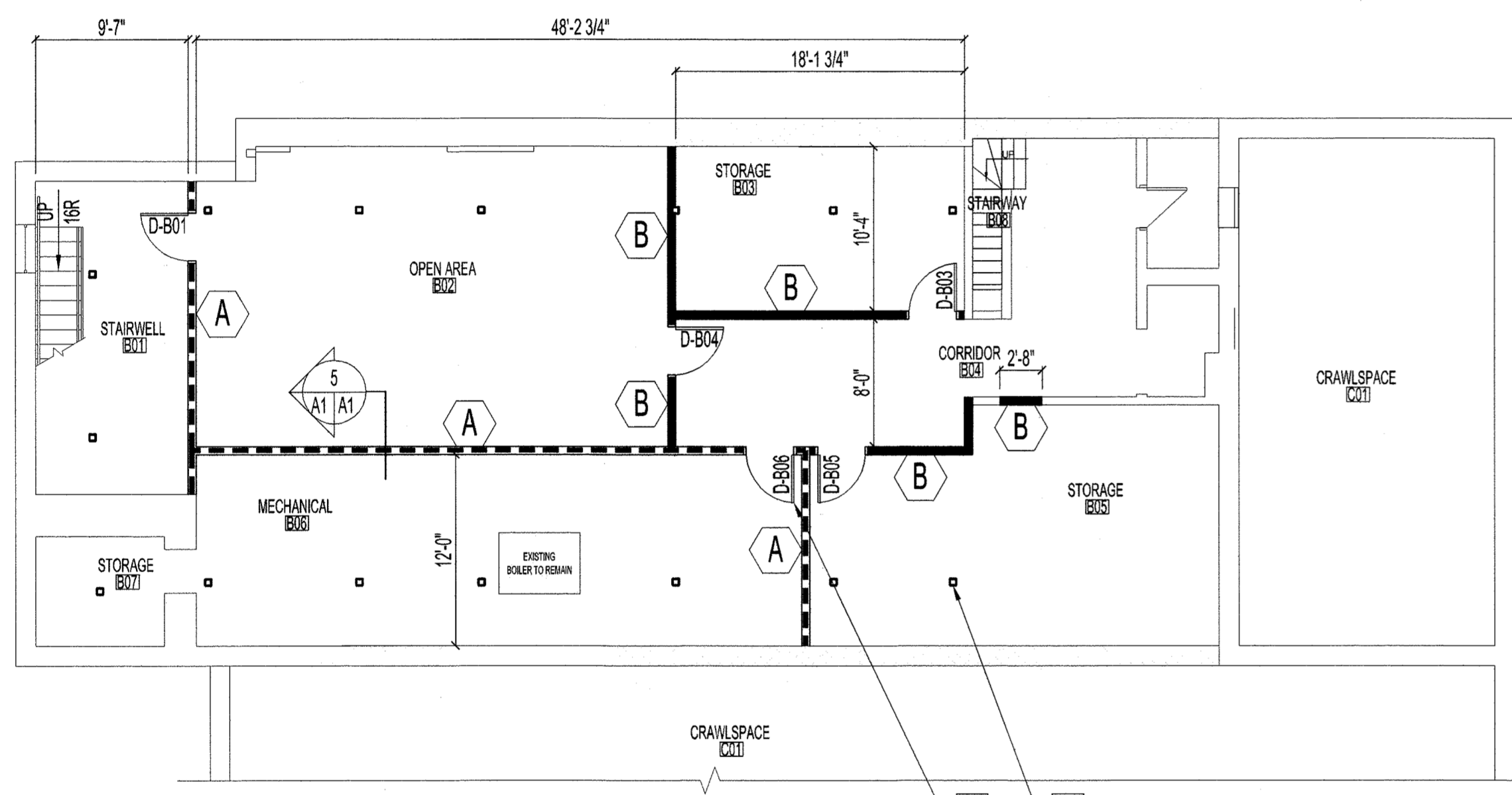
WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

CONTRACTOR TO REMOVE & DISCARD ALL ABANDONED PIPE CEILING HANGERS, ANCHORS, STRAPS, BRACKETS & SHIELDS INCLUDING ABANDONED ELECTRICAL COMMUNICATION WIRING AND COMPONENTS IN BASEMENT (RENOVATION WORK AREA) CEILING AREA. PATCH & FILL HOLES FLUSH TO CONCRETE.

**ASBESTOS & LEAD PAINT CAUTION:**  
EXISTING MECHANICAL, PLUMBING, CEILING & FLOORING MATERIALS IN BASEMENT & MAIN FLOOR AREAS MAY CONTAIN ASBESTOS. BASEMENT & MAIN FLOOR WALLS & CEILING PAINT MAY CONTAIN LEAD. CONTRACTOR SHALL FOLLOW MANITOBA WORKPLACE SAFETY & HEALTH ACT REGULATIONS IF ASBESTOS AND HAZARDOUS MATERIAL IS FOUND. STOP WORK IMMEDIATELY AND CONTACT CITY OF WINNIPEG, CENTRAL CONTROL OFFICE AT 204-988-2351.

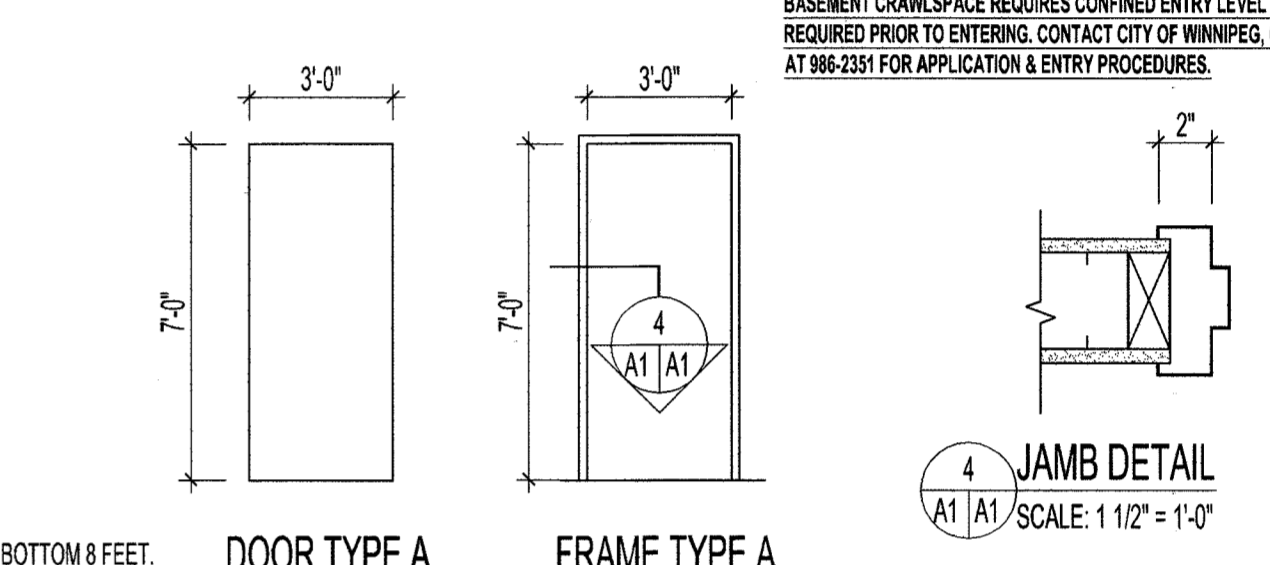
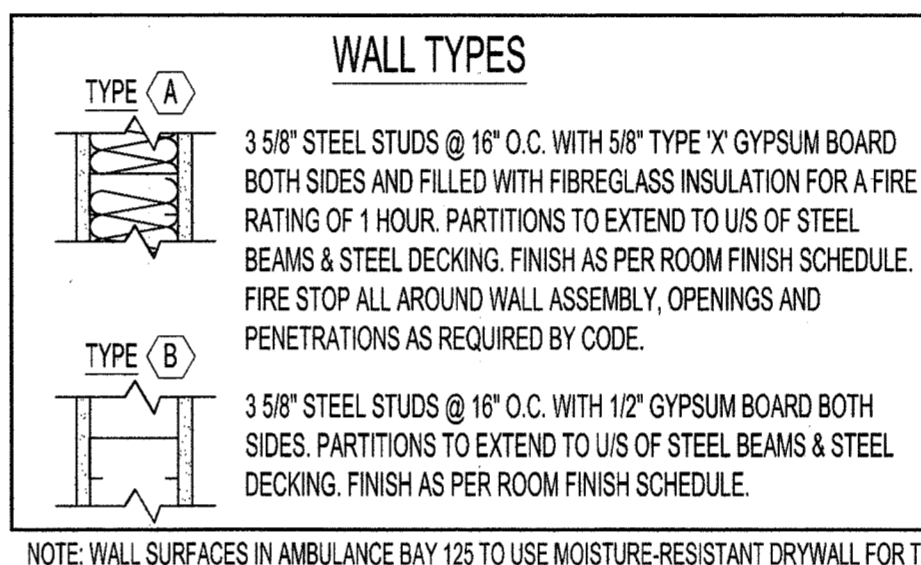
**CONFINED ENTRY:**  
BASEMENT CRAWLSPACE REQUIRES CONFINED ENTRY LEVEL 2 ACCESS. ENTRY PERMIT REQUIRED PRIOR TO ENTERING. CONTACT CITY OF WINNIPEG, CENTRAL CONTROL OFFICE AT 988-2351 FOR APPLICATION & ENTRY PROCEDURES.

1 BASEMENT & PARTIAL CRAWLSPACE FLOOR PLAN - DEMOLITION  
SCALE: 1/8"=1'-0"

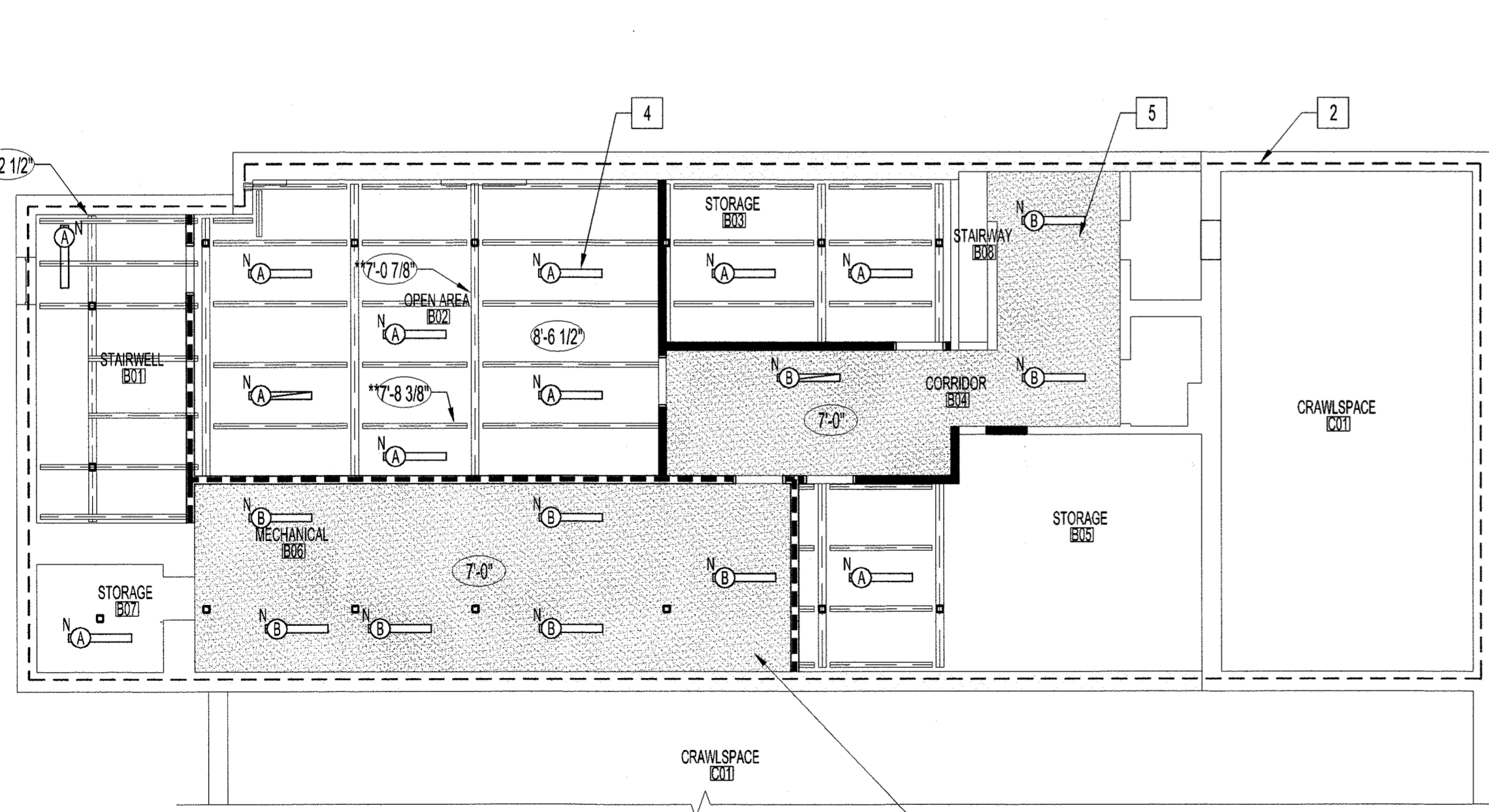


**BASEMENT FLOOR RENOVATION NOTES:**

- ALSO SEE WALL TYPES & SCHEDULES & ELECTRICAL & MECHANICAL RENOVATION DRAWINGS
- 1 NEW 1 HOUR FIRE RATED STEEL DOOR & FRAME COMPLETE WITH HARDWARE. SEE DOOR & FRAME SCHEDULE & HARDWARE CODES. INSTALL ASBESTOS CAUTION STICKERS TO NEW MECHANICAL ROOM (B06) DOOR (D-B06) BOTH SIDES. INSTALL STICKERS CENTERED TO DOOR & 5'-0" FROM CONCRETE FLOOR. STICKERS TO BE SUPPLIED BY CITY OF WINNIPEG.
  - 2 FIRESTOP ALL BASEMENT WALLS & CEILING OPENINGS & PENETRATIONS.
  - 3 NEW STEEL COLUMNS - SEE STRUCTURAL DRAWINGS.
  - 4 NEW LIGHTING - SEE ELECTRICAL DRAWINGS.
  - 5 NEW FIRE RATED CEILING - SEE ROOM FINISH SCHEDULE.



2 BASEMENT & PARTIAL CRAWLSPACE FLOOR PLAN - RENOVATION  
SCALE: 1/8"=1'-0"



3 BASEMENT & PARTIAL CRAWLSPACE REFLECTED CEILING PLAN - RENOVATION  
SCALE: 1/8"=1'-0"

**DRAWING LIST**

SHEET No:	SHEET TITLE
A1	BASEMENT, PARTIAL CRAWLSPACE & REFLECTED CEILING PLAN, DETAILS & SCHEDULES-DEMOLITION & RENOVATION
A2	STAIR PLAN, SECTIONS & DETAILS
A3	MAIN FLOOR PLAN DEMOLITION, RENOVATION & PHASING
S1	FOUNDATION PLAN
S2	MAIN FLOOR FRAMING PLAN
S3	STRUCTURAL DETAILS
S4	STRUCTURAL SPECIFICATION
M1	BASEMENT FLOOR PLAN MECHANICAL DEMOLITION
M2	BASEMENT FLOOR PLAN MECHANICAL RENOVATION
M3	BASEMENT FLOOR PLAN PLUMBING DEMOLITION
M4	BASEMENT & MAIN FLOOR PLAN PLUMBING RENOVATION
M5	MECHANICAL SPECIFICATION
E1	BASEMENT FLOOR PLAN ELECTRICAL POWER & LIGHTING DEMOLITION
E2	MAIN FLOOR PLAN ELECTRICAL DEMOLITION & RENOVATION
E3	BASEMENT FLOOR PLAN ELECTRICAL POWER & LIGHTING RENOVATION
E4	ELECTRICAL SPECIFICATION

**ROOM FINISH SCHEDULE**

RM. NO.	RM. NAME	FLOOR	BASEBOARD	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	CEILING HEIGHT	NOTES
B01	STAIRWELL	CONC.	RB.	EXIST.	PT.	EXIST.	EXIST.	EXP.	8'-6 1/2"	RB TO ALL NEW WALLS
B02	OPEN AREA	CONC.	RB.	PT.	PT.	EXIST.	PT.	EXP.	8'-6 1/2"	RB TO ALL NEW WALLS
B03	STORAGE	EXIST.	RB.	PT.	PT.	EXIST.	PT.	EXP.	8'-6 1/2"	RB TO ALL NEW WALLS
B04	CORRIDOR	EXIST.	RB.	PT.	PT.	PT.	PT.	GYP. BD. PT.	7'-0"	RB TO ALL NEW WALLS
B05	STORAGE	EXIST.	RB.	PT.	EXIST.	PT.	EXIST.	GYP. BD. PT.	7'-0"	RB TO ALL NEW WALLS
B06	MECHANICAL	CONC.	RB.	PT.	PT.	PT.	EXIST.	GYP. BD. PT.	7'-0"	RB TO ALL NEW WALLS
B07	STORAGE	CONC.	RB.	EXIST.	PT.	EXIST.	EXIST.	EXP.	8'-6 1/2"	RB TO ALL NEW WALLS
113	MUSEUM BAY	CONC.	RB.	PT.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	RB TO ALL NEW WALLS
122	STAIRWELL	CONC.	RB.	EXIST.	PT.	PT.	EXIST.	EXIST.	EXIST.	RB TO ALL NEW WALLS
123	STORAGE	CONC.	RB.	EXIST.	PT.	PT.	PT.	EXIST.	EXIST.	RB TO ALL NEW WALLS
124	VESTIBULE	CONC.	RB.	EXIST.	PT.	EXIST.	PT.	EXIST.	EXIST.	RB TO ALL NEW WALLS
125	AMBULANCE BAY	CONC.	RB.	PT.	PT.	EXIST.	EXIST.	EXIST.	EXIST.	RB TO ALL NEW WALLS

ABBREVIATIONS: PT. - PAINT RB. - RUBBER BASE EXIST. - EXISTING EXP. - EXPOSED STRUCTURE

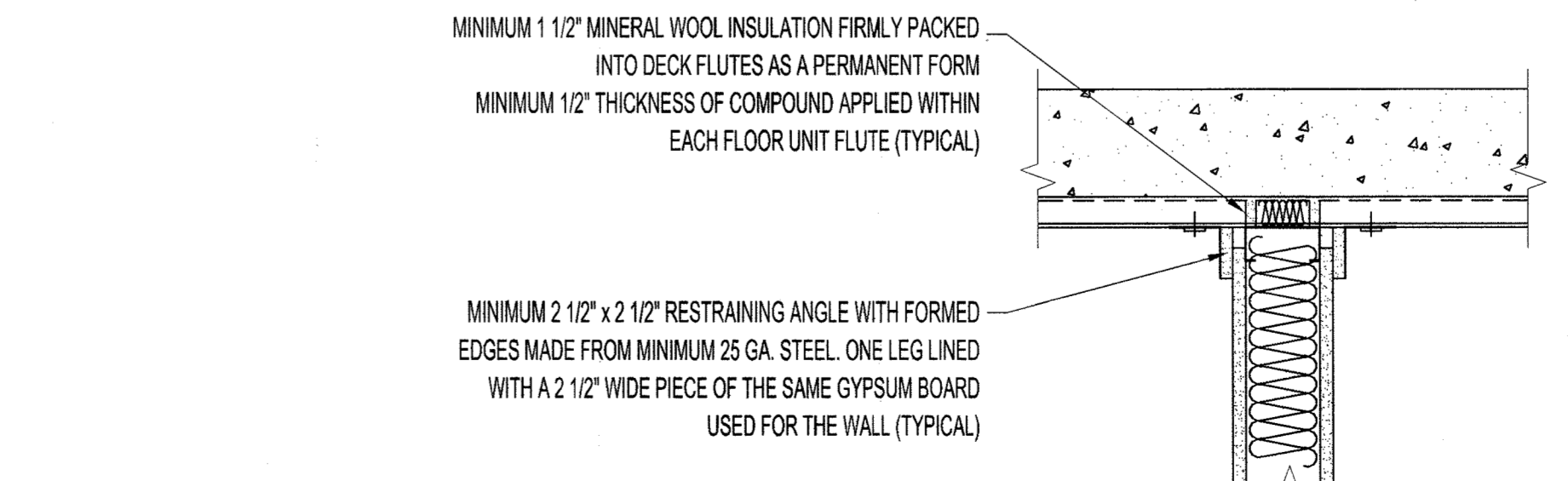
**DOOR & FRAME SCHEDULE**

DOOR NO.	DOOR				FRAME			RATING	HARDWARE GROUP			
	TYPE	WIDTH	HEIGHT	THICK.	MATL.	FINISH	TYPE			MATL.	FINISH	
D-B01	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	3/4 HR.	1	1A-2A-3A-4A-5A-6A
D-B03	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	N/A	2	1A-2A-3A-4A
D-B04	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	N/A	2	1A-2A-3A-4A
D-B05	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	N/A	2	1A-2A-3A-4A
D-B06	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	3/4 HR.	1	1A-2A-3A-4A-5A-6A
D-122	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	3/4 HR.	1	1A-2A-3A-4A-5A-6A
D-123	A	3'-0"	7'-0"	1 3/4"	H.M.	PT.	A	P.S.	PT.	N/A	2	1A-2A-3A-4A

ABBREVIATIONS: H.M. - HOLLOW METAL P.S. - PRESSED STEEL PT. - PAINT WD. - WOOD

**HARDWARE CODES:**

- 1A 1 1/2 PR. MCKINNEY MPB91, STEEL HINGES 4 1/2" x 4 1/2"
- 2A SCHLAGE AL-SERIES - PASSAGE SET 3410 W-626
- 3A LCN - CLOSER 1260 SERIES SLIM LINE & COVER INCL. NON-HANDED, PULL SIDE, ALUMINUM FINISH.
- 4A RICHELIEU - CONCRETE FLOOR STOP 2185FBR, BLACK BLISTER
- 5A K.N. CROWDER MFG. INC. - DOORSWEEP W13S 36" 673, CLEAR COATED.
- 6A K.N. CROWDER MFG. INC. - SMOKE SEAL W21 BLACK



5 TOP OF FIRE RATED WALL DETAIL  
SCALE: 1 1/2"=1'-0"

No.	REVISION/DESCRIPTION	BY	DATE

SEAL

JAWRCP  
DRAWN [ ] CHECKED [ ] DESIGNED [ ] APPROVED [ ]  
DATE 2014.07.14 USER APPROVAL

THE CITY OF WINNIPEG  
PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT  
MUNICIPAL ACCOMMODATIONS DIVISION  
3-65 GARRY STREET, R3C 4K4

PROJECT  
AMBULANCE STATION #3  
STRUCTURAL & OCCUPANCY UPGRADES  
DESIGN OF STRUCTURAL UPGRADES  
588 ST. MARY'S ROAD

SHEET TITLE  
BASEMENT, PARTIAL CRAWLSPACE & REFLECTED CEILING PLAN, DETAILS & SCHEDULES-DEMOLITION & RENOVATION

SCALE AS SHOWN PROJECT No: 2013-047 SHEET No: A1  
DRAWING SHEET SIZE: A1 (841mm x 594mm) PLOT 1:1