

MAIN FLOOR PLAN - DEMO PLUMBING
SCALE: 1:100

GENERAL NOTES:

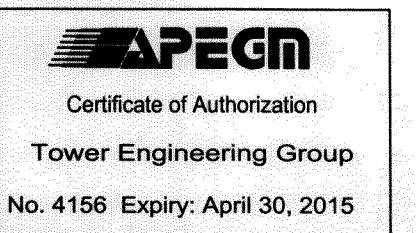
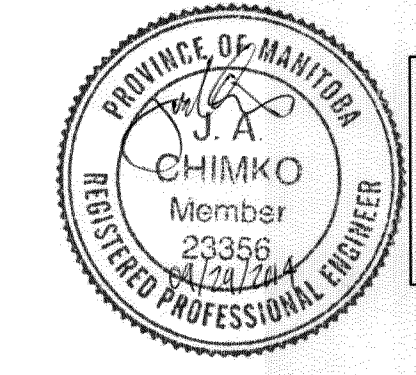
- MECHANICAL CONTRACTOR MUST EXAMINE THE SITE & EXISTING CONDITIONS AFFECTING THE PROJECT. EXAMINE THE COMPLETE SET OF CONTRACT DOCUMENTS TO ENSURE THAT THE WORK CAN BE CARRIED OUT WITHOUT SIGNIFICANT CHANGES TO THE INTENT OF THE DOCUMENTS. NO FUTURE ALLOWANCE WILL BE MADE FOR CHANGES UNLESS THE CONTRACT ADMINISTRATOR HAS BEEN NOTIFIED IN WRITING OF ANY DISCREPANCIES OR INTERFERENCES, PRIOR TO THE CLOSE OF TENDERS. NO ALLOWANCE WILL BE MADE FOR ITEMS THAT SHOULD HAVE BEEN NOTED DURING PRE-BID SITE INSPECTION.
- THE LOCATION ROUTING & ELEVATION OF ALL NEW AND EXISTING SERVICES & UTILITIES AS SHOWN ON THE DRAWING ARE TO BE CONSIDERED AS APPROXIMATIONS ONLY. VERIFY EXACT LOCATIONS, ROUTINGS & ELEVATIONS OF ALL SERVICES PRIOR TO COMMENCING WORK, & ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING SERVICES & UTILITIES.
- MECHANICAL CONTRACTOR SHALL VERIFY EXACT LOCATIONS, CONNECTIONS, SIZES, INVERTS, ETC. PRIOR TO BID CLOSE AND COMMENCEMENT OF WORK.
- MECHANICAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL DRAWINGS, EQUIPMENT SUPPLIER SHOP DRAWINGS, ETC. FOR EXACT LOCATIONS OF ALL FIXTURES, EQUIPMENT, ETC.
- ALL PLUMBING INSTALLATIONS, ETC. SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- VISIT THE SITE PRIOR TO BID CLOSING. ALL EXISTING MECHANICAL EQUIPMENT SHOULD BE SITE CONFIRMED PRIOR TO THE START OF ANY NEW MECHANICAL WORK. NO EXTRA COST WILL BE CONSIDERED FOR WORK WHICH WOULD REASONABLY HAVE BEEN ASCERTAINED BY THE SITE VISIT.
- THE DRAWINGS INDICATE APPROXIMATE LOCATIONS OF SOME EXISTING MECHANICAL SERVICES. ALLOW FOR ALL NECESSARY RELOCATION OF SERVICES TO ACCOMMODATE THE NEW WORK.
- COORDINATE PLUMBING WITH DUCT RUNS & ALL OTHER TRADES.

DRAWING NOTES:

- EXISTING WATER METER TO REMAIN IN LOCATION SHOW AND SHALL BE ENCLOSED IN NEW CABINET PROVIDED BY ARCHITECT BENEATH NEW LAVATORY SINKS.
- EXISTING LAVATORY SINK(S) TO BE REMOVED. EXISTING SAN, PV, DCW, & DHW SHALL BE RE-USED TO SUIT NEW LAYOUT.
- EXISTING TOILET(S) TO BE REMOVED. CAP-OFF EXISTING SAN LINES BENEATH SLAB IF REQUIRED. RE-USE UNDERSLAB PIPING IF POSSIBLE.
- EXISTING URINALS TO BE REMOVED. EXISTING SAN & DCW LINES SHALL BE RE-USED TO SUIT NEW LAYOUT.
- EXISTING DRINKING FOUNTAIN TO BE REMOVED. EXISTING SAN, PV, & DCW SHALL BE RE-USED TO SUIT NEW LAYOUT IF POSSIBLE. REFER TO DRAWING M1.2 FOR FURTHER INFORMATION.
- EXISTING JANITOR FLOOR SINK TO BE REMOVED. CAP-OFF SAN BENEATH FLOOR SLAB & ABANDON. CAP-OFF EXISTING DCW & DHW LINES AND REMOVE AS SHOWN. EXISTING MOP HANGER, HOSES, ETC., SHALL BE REUSED AND RELOCATED TO SUIT NEW JANITOR SINK SHOWN ON NEW PLUMBING DRAWING.
- EXISTING CANTEEN SINK TO BE REMOVED AND REPLACED WITH NEW. CAP-OFF SAN LINE & ABANDON. EXISTING DCW & DHW SHALL BE RE-USED; REMOVE PIPING BACK TO LOCATION SHOWN.
- EXISTING DOMESTIC HOT WATER HEATER (HW-1.1EX) TO REMAIN.
- EXISTING SINGLE COMPARTMENT KITCHEN SINK TO BE REMOVED AND REPLACED WITH NEW. EXISTING SAN, PV, DCW, & DHW SHALL BE RE-USED TO SUIT NEW LAYOUT.
- EXISTING 3-COMPARTMENT KITCHEN SINK TO BE REMOVED AND REPLACED WITH NEW. EXISTING SAN, PV, DCW, & DHW SHALL BE RE-USED TO SUIT NEW LAYOUT.
- EXISTING SENIOR'S ROOM SINK TO BE REMOVED AND REPLACED WITH NEW. EXISTING SAN, PV, DCW, & DHW SHALL BE RE-USED TO SUIT NEW LAYOUT.
- EXISTING DISHWASHER TO REMAIN.
- EXISTING TOILETS TO BE REMOVED. CAP-OFF EXISTING SAN LINES BENEATH SLAB & ABANDON. CAP-OFF EXISTING DCW LINE AND REMOVE AS SHOWN. PATCH & REPAIR FLOOR.
- EXISTING DCW AND DHW LINES DROPPING DOWN ALONG EXISTING WALL SHALL BE RELOCATED TO SUIT NEW WASHROOM WALL. REFER TO NEW MAIN FLOOR PLUMBING LAYOUT FOR FURTHER INFO.
- CAP-OFF EXISTING SAN PIPING BENEATH FLOOR SLAB & ABANDON. PATCH & REPAIR FLOOR.
- EXISTING TOILET TO BE REMOVED. RE-USE EXISTING SAN & DCW CONNECTIONS WITH NEW LAYOUT.
- EXISTING LAVATORY SINKS TO BE REMOVED. CAP-OFF EXISTING SAN PIPING BENEATH FLOOR SLAB & ABANDON. CAP-OFF EXISTING DCW & DHW LINES AND REMOVE AS SHOWN. PATCH & REPAIR FLOOR.
- EXISTING URINAL TO BE REMOVED. CAP-OFF EXISTING SAN BENEATH FLOOR SLAB & ABANDON. REMOVE DCW LINE.

LEGEND

- EXISTING TO REMAIN
- - - DEMOLITION
- D DEMO
- R RELOCATE



- rev4 - 2014-09-29 - Issued for Construction
- rev3 - 2014-08-01 - Issued for 95% Review
- rev2 - 2014-06-27 - Issued for 75% Review
- rev1 - 2014-04-30 - Issued for 30% Review

The drawings, specifications, revisions, addendums, and clarifications, must be read as a whole. Errors and omissions due to separation of the documents by the general contractor become the responsibility of the same.

This drawing must not be scaled.

The general Contractor must verify all dimensions, datums and levels prior to commencement of work. All errors and omissions must be reported immediately to the Architect.

Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

TOWER PROJECT NO. :141033

TOWER ENGINEERING GROUP
 UNIT 1 - 1140 WAVERLEY ST. WINNIPEG, MB R3T 0P4
 TEL: (204) 925-1150 FAX: (204) 925-1155
 EMAIL: towereng@towereng.ca WEB: www.towereng.ca
 • WINNIPEG • CALGARY • CAMBRIDGE

harold funk architect inc.

Harold Funk Architect Inc.
 Architecture and Urban Design
 401-55 Donald Street, Winnipeg, Manitoba R3C 1L8
 T (204) 943-5087 info@funkarchitect.com
 F (204) 949-9231 funkarchitect.com

project
WESTON MEMORIAL COMMUNITY CENTRE - INTERIOR RENOVATION WINNIPEG, MANITOBA

sheet title
MECHANICAL MAIN FLOOR PLAN DEMO - PLUMBING

project number: 14-004 drawing number:
 scale: AS SHOWN **M-1.1**
 drawn by: JRR
 approved by: JC
 date: September 30, 2014