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PAN AM POOL

INTERIOR RENOVATIONS

BID OPPORTUNITY 1034 -2015
25 POSEIDON BAY, WINNIPEG, MANITOBA

ISSUED FOR CONSTRUCTION

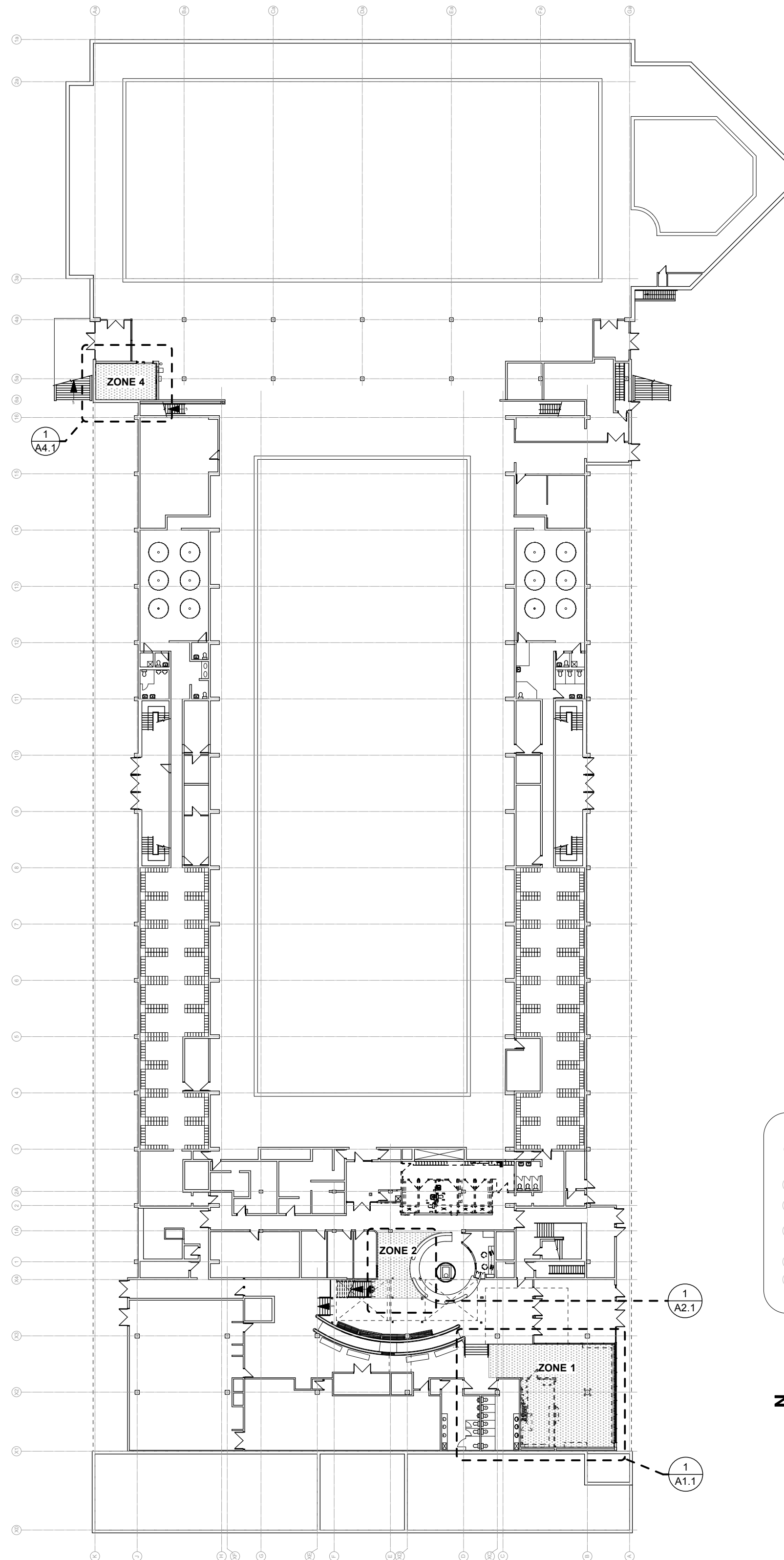
FEBRUARY 29, 2016

ABBREVIATIONS

A.F.L.	ABOVE FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
BLDG.	BUILDING
BM	BEAM
BOT, BTM	BOTTOM
B.S.	BOTH SIDES
BTWN	BETWEEN
C.I.P.	CAST IN PLACE
CL	CENTER LINE
C.P.	CENTER POINT
C.L.F.	CHAIN LINK FENCE
COL.	COLUMN
CW	COMPLETE WITH
CONC.	CONCRETE
C.B.	CONCRETE BLOCK
CJ	CONTROL JOINT
D	DEEP
DTL	DETAIL
DN	DOWN
DWG, DRWG	DRAWING
EA	EACH
ELEV.	ELEVATION
ELEC.	ELECTRICAL
EPOX.	EPOXY
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXP.	EXPOSED
EXT.	EXTERIOR
FD	FLOOR DRAIN
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FLR, FL.	FLOOR
GA.	GAUGE
GALV.	GALVANIZED
GLUM.	GALVALUME
G.C.	GENERAL CONTRACTOR
G.L.	GRID LINE
GWB.	GYPSUM WALL BOARD
H.W.	HAZARDOUS WASTE
H.	HIGH
H.D.	HEAVY DUTY
HT.	HEIGHT
H.M.	HOLLOW METAL
HOR, HORIZ.	HORIZONTAL
HR.	HOUR
HSS.	HOLLOW STEEL SECTION
HYDR.	HYDRAULIC
I.D.	INSIDE DIAMETER
IF.	INSIDE FACE
INT.	INTERIOR
INSUL.	INSULATION
L.W.	LIGHT WEIGHT
L.	LONG
LOC.	LOCATION
MAS.	MASONRY
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.A.O.	MASONRY OPENING
MR.	MIRROR
MTL.	METAL
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.	OUTSIDE FACE
O.H.	OVERHEAD
OPNG.	OPENING
O.W.S.J.	OPEN WEB STEEL JOIST
PL.	PLATE
PLAM.	PLASTIC LAMINATE
PLYW.	PLYWOOD
PNL.	PANEL
PREFIN.	PREFINISHED
PS.	PRESSED STEEL
PTD, PT.	PAINTED, PAINT
R/CONC.	REINFORCED CONCRETE
R.D.	ROOF DRAIN
REINF.	REINFORCED
RM.	ROOM
R.O.	ROUGH OPENING
SHWR.	SHOWER
SIM.	SIMILAR
SLP.	SLOPE
SPEC'D.	SPECIFIED
S.S.	STAINLESS STEEL
ST, STL.	STEEL
STO, STOR.	STORAGE
STRUC.	STRUCTURAL
SURF MTD.	SURFACE MOUNTED
SUSP.	SUSPENDED
TH.	THICK / THICKNESS
T.O.	TOP OF
T.O.C.	TOP OF CONCRETE
TYP.	TYPICAL
U/F.	UNDER FLOOR
U/G.	UNDER GROUND
U/S.	UNDER SIDE
VB.	VAPOUR BARRIER
VEH.	VEHICLE
VERT.	VERTICAL
VEST.	VESTIBULE
W.	WITH
W.MEM.	WATERPROOFED MEMBRANE
W.T.	WEAVING TILE

SYMBOLS

	NORTH ARROW
	BUILDING SECTION
	SECTION DETAIL
	WALL SECTION
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	DRAWING TITLE & REFERENCE
	STRUCTURAL GRID
	BENCHMARK ELEVATION
	EXTERIOR WALL TYPE
	INTERIOR WALL TYPES
	SEPARATION WITH F.R.R.
	GLAZING TYPE
	CEILING HEIGHT A.F.F.
	DOOR NUMBER
	FIRE RATING
	ROOM NAME & NUMBER
	KEY NOTE
	REVISION NUMBER
	ELEVATION POINTS IN PLAN



FIRST FLOOR REFERENCE PLAN
SCALE: NTS
NOTE: DEMOLITION PLAN ONLY. THE SCOPE OF THE WORK ON THE FIRST FLOOR IS DIVIDED INTO THE FOLLOWING ZONES OF RENOVATION AS HIGHLIGHTED IN GREY IN THE ABOVE PLAN:
- ZONE 1: LOUNGE & KITCHEN
- ZONE 2: RECEPTION DESK
- ZONE 3: NOT IN CONTRACT
- ZONE 4: SPECIAL EVENTS ROOM

NOTE: MECHANICAL AND ELECTRICAL SCOPE OF WORK REQUIRES WORK IN ADDITIONAL AREAS THAN SHOWN ABOVE. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.

DRAWING LIST

TITLESHEET

ARCHITECTURAL

- A1.1 ZONE 1 - DEMOLITION PLAN & RCP
- A1.2 ZONE 1 - PLAN & RCP & INTERIOR ELEVATIONS
- A1.3 ZONE 1 - DETAILS
- A2.1 ZONE 2 - PLAN & INTERIOR ELEVATIONS
- A4.1 ZONE 4 - DEMOLITION PLAN & RCP & NEW PLAN & RCP
- A5.1 ZONE 5 - DEMOLITION PLAN & NEW PLAN
- A5.2 ZONE 5 - ELEVATIONS
- A5.3 ZONE 5 - DETAILS

STRUCTURAL

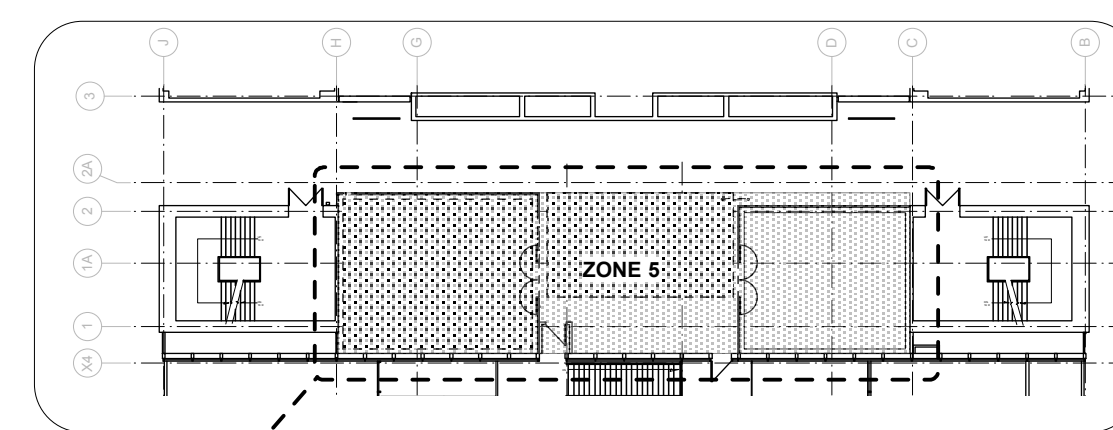
- S1 CONNECTION DETAILS

MECHANICAL

- MP2.1 MAIN FLOOR - PLUMBING DEMOLITION PLAN
- MP2.2 MAIN FLOOR - PLUMBING RENOVATION PLAN
- MF2.1 MAIN FLOOR - FIRE PROTECTION PLAN
- MY2.1 MAIN FLOOR - HYDRONIC RENOVATION PLAN
- MH2.1 MAIN FLOOR - HVAC DEMOLITION PLAN
- MH2.2 MAIN FLOOR - HVAC RENOVATION PLAN
- M7.1 HVAC & PLUMBING SCHEDULE

ELECTRICAL

- E0.1 ELECTRICAL SYMBOLS AND ABBREVIATIONS
- E2.1 ELECTRICAL LAYOUTS ZONE 1 - LOUNGE AND KITCHEN
- E2.2 ELECTRICAL LAYOUTS ZONE 2 - RECEPTION DESK
- E2.3 ELECTRICAL LAYOUTS ZONE 4 - SPECIAL EVENTS ROOM
- E6.1 ELECTRICAL SCHEDULES



PARTIAL SECOND FLOOR REFERENCE PLAN
SCALE: NTS

NOTE: DEMOLITION PLAN ONLY. THE SCOPE OF THE WORK ON THE SECOND FLOOR IS IN THE FOLLOWING ZONE OF RENOVATION AS HIGHLIGHTED IN GREY IN THE ABOVE PLAN:
- ZONE 5: DRYLAND TRAINING

WALL TYPES

WALL TYPE GENERAL NOTES

1. FIRE RATED WALL TYPE SYMBOLS ARE DESIGNATED WITH AN "R". REFER TO REFLECTED CEILING PLAN FOR LOCATION AND RATING OF FIRE RATED WALLS. FIRE RESISTANCE RATINGS (FRR) AND SOUND TRANSMISSION CLASSES (STC) ARE SHOWN FOR REFERENCE ONLY.
2. REFER TO ROOM FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR WALL FINISHES.
3. ALL ACOUSTICALLY INSULATED WALLS BETWEEN DIFFERENT TENANT SPACES AND/OR BETWEEN TENANT SPACES AND CORRIDORS TO EXTEND TO UNDERSIDE OF FLOOR STRUCTURE OR DECK ABOVE. SEAL WITH ACOUSTIC CAULKING AT PERIMETER AND ALL PENETRATIONS. REFER TO DETAILS AND CEILING PLAN.
4. PROVIDE TILE BACKER BEHIND ALL CERAMIC TILE FINISHES.
5. CONSTRUCT FIRE RATED WALLS TO UNDERSIDE OF FLOOR STRUCTURE OR DECK ABOVE.
6. ACOUSTIC INSULATION IN FIRE RATED WALLS TO BE MINERAL FIBRE PROCESSED FROM ROCK OR SLAG WITH A MASS OF AT LEAST 2.8 kg/m² FOR 3 1/2" THICKNESS. REFER TO SPEC.
7. ALL EXIT STAIR WALLS TO BE FIRE SEPARATIONS.
8. ACOUSTICALLY SEPARATE BACK TO BACK ELECTRICAL BOXES WHICH CANNOT BE SEPARATED BY MIN. 16" (1 FULL STUD SPACE). ATTACH DOUBLE LAYER 5/8" GWB TO SIDE OF STUD FROM FLOOR TO 48" HIGH. SEAL WITH ACOUSTIC CAULK ON BOTTOM AND SIDES.
9. ALL INTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF GYPSUM BOARD. COORDINATE STUDS TO SUIT.
10. PROVIDE SLIP-JOINT FOR ALL FULL HEIGHT PARTITIONS. MAINTAIN FIRE RESISTANCE RATING WHERE REQUIRED.
11. OFFSET DOOR FRAMES 4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.

INTERIOR WALL TYPES:

- S1 (NBC WALL TYPE S44) TH - 4 3/4" STC - 28
* FINISH - SEE ROOM FINISH SCHEDULE
* 5/8" TYPE X GYPSUM BOARD
* 3 1/2" STEEL STUDS @ 16" O.C.
* FINISH - SEE ROOM FINISH SCHEDULE
- S5 TH - 4 1/8"
* FINISH - SEE ROOM FINISH SCHEDULE
* 5/8" TYPE X GYPSUM BOARD
* 20 Ga 3 1/2" STEEL STUDS @ 16" O.C.
- S8 TH -
* FINISH - SEE ROOM FINISH SCHEDULE
* 5/8" TYPE X GYPSUM BOARD
* CONTRACTOR TO PROVIDE STEEL STUDS TO SUIT (MIN. SIZE TO BE 20 Ga 3 1/2" STEEL STUDS @ 16" O.C.)

GENERAL DRAWING NOTES

- THE DRAWINGS SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.
- THE CONTRACTOR SHALL SATISFY HIMSELF THAT ALL DIMENSIONS, ELEVATIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
- FACE OF MASONRY WALLS
- EXTERIOR FACE OF ALL INTERIOR WALLS
- PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR.
- VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE CONTRACT ADMINISTRATOR.
- ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED.
- NO REPRODUCTION OF THE DRAWINGS MAY BE MADE WITHOUT THE WRITTEN CONSENT OF THE CITY OF WINNIPEG AND ALL REPRODUCTION MUST BEAR THE NAME OF THE ARCHITECT.
- FOR ROOM FINISH SCHEDULE SEE SPECIFICATIONS.
- FOR DOOR AND FRAME SCHEDULE SEE SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATOR OF ANY MECHANICAL AND ELECTRICAL APPARATUS APPEARANCE WHICH MAY VARY FROM THAT INDICATED IN THE CONTRACT DOCUMENTS.

SCOPE OF WORK

- THE SCOPE OF WORK FOR THE INTERIOR RENOVATIONS TO THE PAN AM POOL CONSISTS OF THE FOLLOWING:
- ZONE 1:** RENOVATIONS AND RE-CONFIGURATION OF THE EXISTING KITCHEN AND LOUNGE AREA. THE NEW KITCHEN WILL INCLUDE NEW MILLWORK AND UPGRADES TO MECHANICAL AND ELECTRICAL. THE LOUNGE AREA WILL CONTAIN NEW FINISHES AND UPGRADES TO MECHANICAL AND ELECTRICAL SYSTEMS. THE OVERALL OCCUPANCY OF THE SPACE HAS NOT BEEN ALTERED.
- ZONE 2:** NEW ENTRY CONTROL SYSTEM AT THE RECEPTION DESK.
- ZONE 4:** UPGRADES TO THE SPECIAL EVENTS ROOM. THE EXISTING ROOM WILL BE RENOVATED WITH NEW FINISHES AND WILL CONTAIN UPGRADES TO MECHANICAL AND ELECTRICAL SYSTEMS. THE OVERALL OCCUPANCY OF THE SPACE HAS NOT BEEN ALTERED.
- ZONE 5:** RE-CONFIGURATION OF THE EXISTING DRYLAND TRAINING AREA AND MPR.
- THE SCOPE OF THIS RENOVATION DOES NOT CHANGE THE USE, OCCUPANT LOAD OR MAJOR OCCUPANCY CLASSIFICATION. IN OUR PROFESSIONAL OPINION, LIFE SAFETY WILL NOT BE AFFECTED BY THIS MODERNIZATION AND INTERIOR ALTERATION.
- THIS BUILDING HAS ASBESTOS CONTAINING MATERIALS. BEFORE WORK BEGINS ON SITE, OBTAIN SPECIFIC DETAILS REGARDING THE ASBESTOS CONTAINING MATERIALS FROM THE CONTRACT ADMINISTRATOR. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED DURING THE WORK OF THE CONTRACT, THE CONTRACTOR SHALL STOP ALL WORK AND NOTIFY THE CONTRACT ADMINISTRATOR IMMEDIATELY.