# St. Vital Park Washrooms

Floor Drain

bottom of

concrete

cast in place

complete with

door operator

downspout

epoxy paint

hand dryer

inside face

light fixture

overhead outside to outside

return grille

supply grille splash pad

stainless steel

hollow metal

inside to inside

not in contract on centre outside face

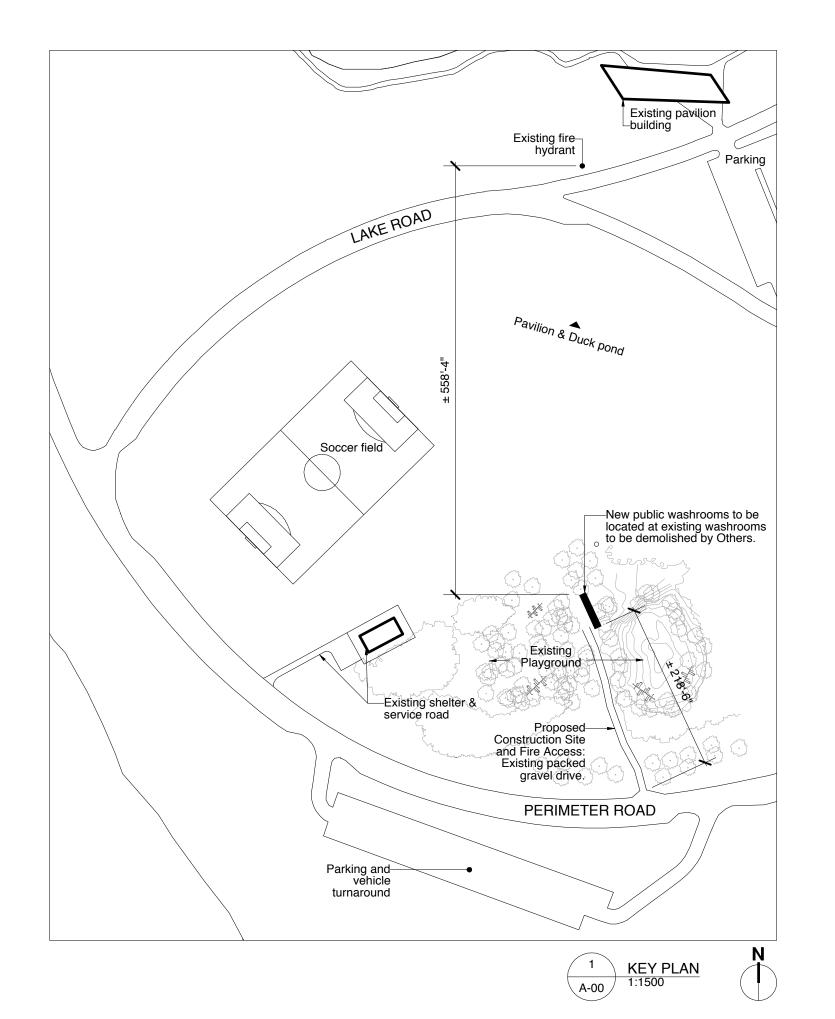
push to lock button

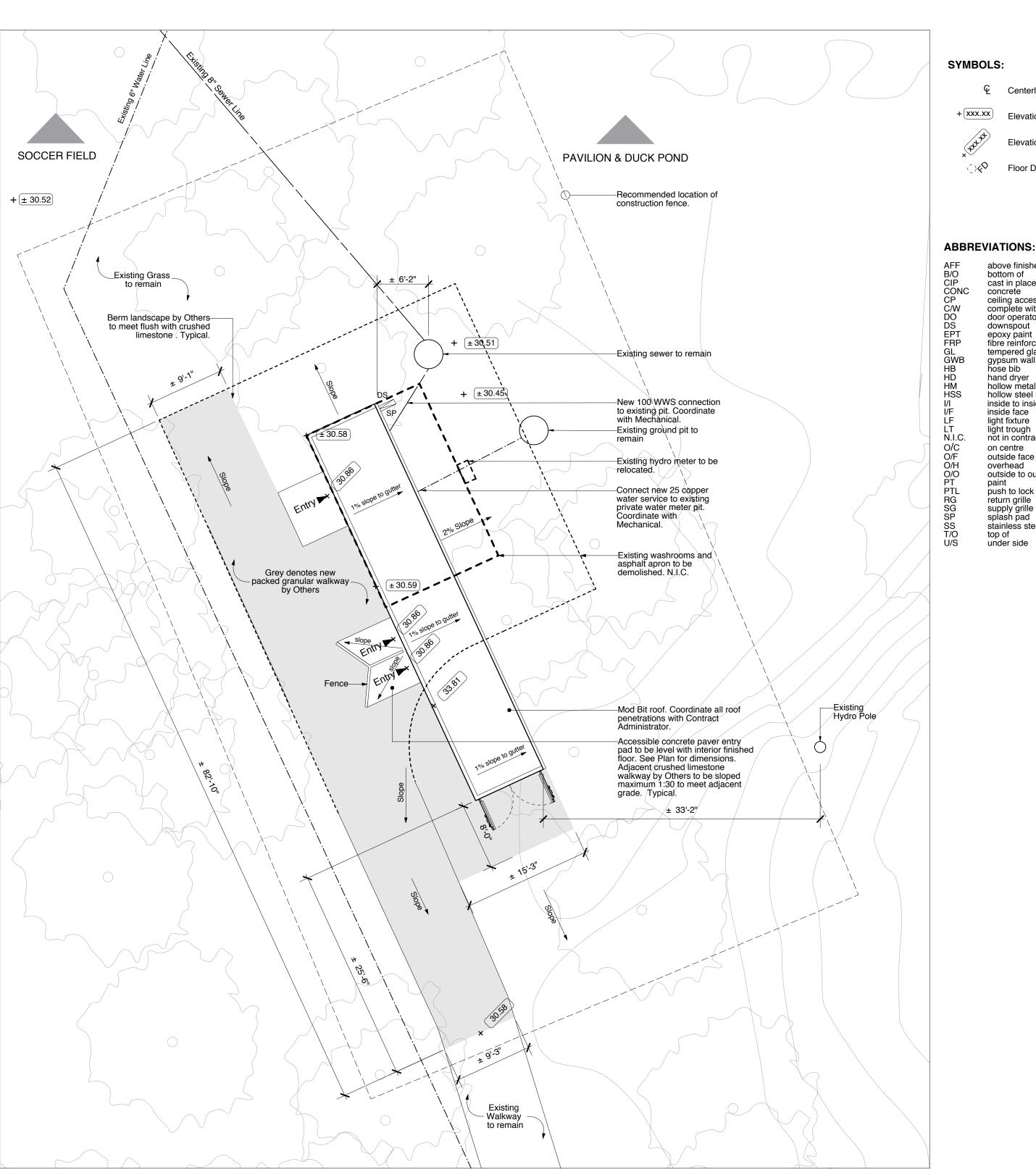
ceiling access panel

fibre reinforced panel tempered glass gypsum wall board

hollow steel section

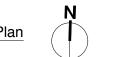
## 190 River Road, Winnipeg, MB





1. Elevations are relative to City of Winnipeg Benchmark 63-032 and can be made Geoetic by adding 200.00M 2. Elevation 30.86 M = 100'-0"

3. All Civil construction to conform with City of Winnipeg standard construction specification.



### **DRAWING LIST**

ARCHITECTURAL & STRUCTURAL
A-00 TITLE SHEET, SITE PLAN, ROOF PLAN & CIVIL WORK
A-01 FLOOR PLAN FOUNDATION PLAN & STRUCTURAL SPECIFICATIONS ELEVATIONS & DETAILS BUILDING SECTIONS & WALL SECTIONS ARCHITECTURAL SPECIFICATION

MECHANICAL PLUMBING & H.V.A.C. M-2.1 MECHANICAL SPECIFICATION E1.0 ELECTRICAL LAYOUTS

#### Project Description

This project consists of one re-purposed +/- 48'-0" (14.63m) High Cube shipping container converted into a washroom facility with one male, one female, and one universal washroom. All washrooms are designed for barrier-free use. One utility closet is included. The overall building area is 440 sq ft (40.9 sq m). A landscaped pedestrian grade access walkway is included. This pavilion is an amenity to the public program of St Vital Park in the City of Winnipeg and is designed in conformance with Part 9 of the Manitoba Building Code.

This project requires a phase of off-site prefabrication work on the shipping container. Site work at 190 River Road is to be minimal. The place of Work for modifications is to be provided by the Builder in co-operation with the City of Winnipeg. The shipping container to be used for this project is provided by the City of Winnipeg and is currently located at 960 Thomas Ave. Transportation of the container from the current location to a prefabrication site, followed by transportation to the building site is the responsibility of the Contractor. See bid documents for photographs of existing container, and map of current shipping container location.

#### **GENERAL NOTES**

- All existing dimensions are plus/minus and are to be confirmed by the General Contractor on site. All locations of existing site services are approximate. The General
- Contractor shall verify the location of all site services with their respective utility companies prior to commencement of work. Coordinate with
- Contract Administrator and subtrades for service tie-ins. Contract Administrator to verify site layout and location prior to commencement of construction
- Patch and make good all surfaces affected by installation and construction of adjacent disciplines should any surfaces be damaged through the course of construction and transportation. Clean up all construction debris from the site.
- Provide protective site hoarding until occupancy is issued. Any trees within construction area to be hoarded with 2 x 4 x 8'-0" wood stud loosely bound around trunk perimeter. Snow fence staked to ground around circumference of drip edge of tree. Ensure no compaction of soil or material storage within any drip edge of existing trees.

  All topographic data provided is approximate and is to be verified prior
- to construction. All construction to conform with with appropriate City of Winnipeg construction specifications.
- General Contractor to obtain all permits. General Contractor to obtain clearances before excavating.

#### Legal Description

All those portions of River Lots 43 and 44 Parish of St. Vital lying to the west of the a line drawn west of the parallel with and prep distant 1000 feet from the western limit of Lot 411 and its production sly which Lot 411 is shown on a plan of survey of part said Lots 43 and 44 Plan 1052 WLTO. exc out of the land above described all that portion contained withing the limits of said plan

#### Manitoba Building Code

Tenant: City of Winnipeg Address: 190 River Road Building Area: 40.13 sq m (432 sq ft)
Building Height: 2.95 m (9'-8") above floor sheathing

This project is governed by the National Building Code of Canada 2010 (NBC) - Division B, Part 9, Group D as adopted by the Manitoba Building Code of 2011. Part 3.8 accompanied by the MBC (2011) amendments appropriate where applicable.

The City of Winnipeg 185 King Street, Main Floor Winnipeg, MB R3B1J1

2015.10.20

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2015.08.18

Issued for Construction

PSastudio inc.
Peter Sampson Architecture Studio Incorporated







contractors shall verify all dimensions and other data on site prior to commencement of work. Discrepancies, errors, and omissions are to be reported to the Architect prior to proceeding with the Work. Drawings and specifications as instruments of service are the property of the Architect; the No reproduction or revision to these drawings may

and when made, must bear his name. All prints to be returned to the Architect upon request.

St. Vital Park Washrooms

Title Sheet, Site Plan, Roof Plan & Civil Work

PS As Noted