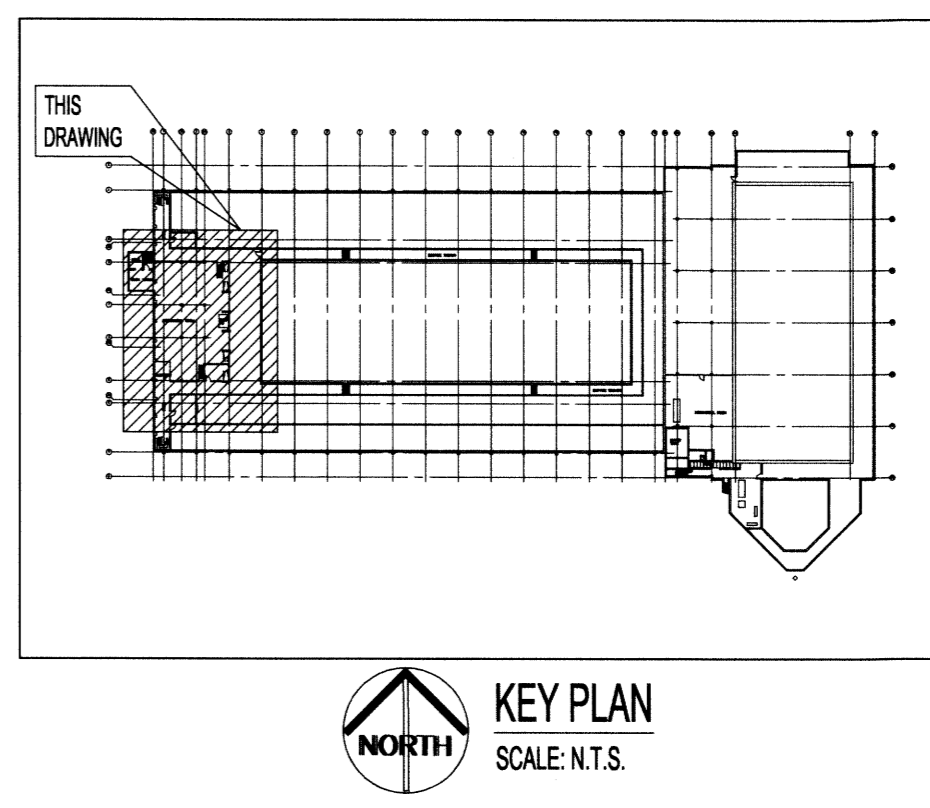
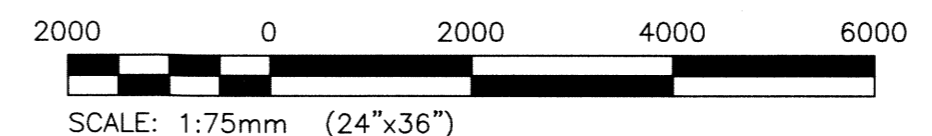


BOILER ROOM PLAN - DEMO
SCALE 1:75

SCALE VERIFIED BY: *MAP*



GENERAL NOTES:

- PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- EQUIPMENT LOCATIONS, DUCT, AND PIPE ROUTING INDICATED ON THE DRAWINGS IS APPROXIMATE ONLY. CONFIRM IN THE FIELD. REROUTE DUCTWORK AND PIPING AS REQUIRED TO ELIMINATE FIELD INTERFERENCES. WITH BUILDING STRUCTURES, ELECTRICAL, ETC. CONFIRM CHANGES WITH CONTRACT ADMINISTRATOR. COORDINATE WORK WITH ALL SUBTRADES. WHERE DIMENSIONS ARE INDICATED FOR PIPING, DUCTWORK, DUCT SIZES, EQUIPMENT SIZES, ETC. THESE ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING EQUIPMENT AND COMMENCING INSTALLATION WITHOUT EXTRA CHARGES TO THE PROJECT. THE CONTRACTOR IS RESPONSIBLE TO ENSURE ALL EQUIPMENT, DUCTWORK, AND PIPING FITS IN THE SPACE AVAILABLE AND TO MAINTAIN THE GENERAL DESIGN INTENT FOR THE SYSTEMS.
- ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFF SITE.
- INFILL ALL PENETRATIONS AFTER REMOVAL OF PIPING, DUCTWORK, ETC. AND FINISH TO MATCH EXISTING.
- CONFORM TO CSA B148: 1-15 NATURAL GAS AND PROPANE INSTALLATION CODE. CSA B51-14 BOILER, PRESSURE VESSEL, AND PRESSURE PIPING CODE AND REQUIREMENT OF THE OFC.

KEYNOTES:

- REMOVE EXISTING PIPING INCLUDING NATURAL GAS PIPING AND VENT LINES, CONNECTING REMOVED BOILER B-1 AND B-2, INCLUDING PUMPS AND CAP AT HEADERS (TYP.)
- EXISTING BOILER B-3 TO REMAIN IN OPERATION UNTIL NEW BOILERS ARE COMMISSIONED. REMOVE EXISTING CIRCULATION PUMP AND ASSOCIATED PIPING UP TO THE BUTTERFLY VALVES TO FACILITATE THE INSTALLATION OF THE NEW CHIMNEY. PROVIDE TEMPORARY BLIND FLANGES.
- REMOVE EXISTING DUCT INCLUDING RISER THAT GOES UP TO US OF ROOF.
- MODIFY EXISTING LINE TO FACILITATE NEW CHIMNEY.
- REMOVE EXISTING CHIMNEY AFTER COMMISSIONING OF NEW BOILERS. (SEE WORK SEQUENCE) REMOVAL INCLUDES THE ENTIRE CHIMNEY INCLUDING RISER UP THRU ROOF.
- ALL EXISTING PIPING IN THIS AREA TO BE MODIFIED / RE-ROUTED TO FACILITATE THE INSTALLATION OF NEW CHIMNEY. PIPING INCLUDES DOMESTIC WATER, HEATING WATER, DRAINAGE, NATURAL GAS AND SPRINKLER LINES. (NOT ALL EXISTING PIPING ARE SHOWN ON DWG. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING PIPING PRIOR TO BIDDING)
- REMOVE EXISTING POOL WATER HEATING HEAT EXCHANGER AFTER INSTALLATION OF NEW HEAT EXCHANGERS.
- REMOVE EXISTING BOILER #1 AND #2 INTERLOCKS AND ASSOCIATED WIRING BACK TO PANELS. BOILER #3 INTERLOCK TO BE REMOVED AFTER COMMISSIONING OF NEW BOILERS (SEE WORK SEQUENCE).
- REMOVE EXISTING BUTTERFLY VALVE. PROVIDE NEW GATE VALVE PER DRAWING M03.

WORK SEQUENCE - EXISTING BOILER B-3 REMOVAL:

- EXISTING BOILER B-3 SHALL REMAIN IN OPERATION UNTIL NEW BOILERS B-1, B-2 AND B-3 ARE COMMISSIONED.
- EXISTING BOILER B-3 AND REMAINDER OF EXISTING CHIMNEY CONTAINS ASBESTOS. ASBESTOS ABATEMENT WOULD BE CONDUCTED BY THE CITY UPON COMMISSIONING OF NEW BOILERS B-1, B-2, AND B-3. CONTRACTOR SHALL PROVIDE A THREE WEEK ADVANCED NOTICE OF THE FIRM'S COMMISSIONING COMPLETION DATE TO THE CONTRACT ADMINISTRATOR. ASBESTOS ABATEMENT WOULD TAKE 2 WEEKS TO COMPLETE.
- IMMEDIATELY UPON COMPLETION OF ABATEMENT, REMOVE EXISTING BOILER CHIMNEY AND INSTALL THE 2nd CHIMNEY AND COMMISSION NEW BOILERS B-1, B-2 AND B-3.
- DECOMMISSION AND REMOVE EXISTING BOILER B-3.
- REMOVAL OF THE EXISTING BOILER, CHIMNEY, AND INSTALLATION OF NEW CHIMNEY SHALL BE DONE AFTER NORMAL OPERATING HOURS OF THE POOL.

SPRINKLER SYSTEM:

- EXISTING SPRINKLER SYSTEM SHALL BE MODIFIED AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- SPRINKLER SUB-CONTRACTOR SHALL SUBMIT SHOP DRAWING THAT SHOW ALL MODIFICATIONS. SHOP DRAWING SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN MANITOBA.
- NOTIFY AND OBTAIN APPROVAL FROM THE CONTRACT ADMINISTRATOR FOR SHUTDOWNS OF SPRINKLER AND FIRE ALARM. THE CONTRACTOR SHALL PROVIDE FIRE WATCH DURING SHUTDOWN ACCORDING TO CODE.

NOTES:
THESE DRAWINGS SHALL NOT BE SCALED.
THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
ALL OPENINGS THROUGH THE FIRE SEPARATIONS AS A RESULT OF THE WORK OF THIS CONTRACT ARE TO BE FIRE STOPPED AND SEALED WITH ULC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER. EXISTING OPENINGS THROUGH FIRE SEPARATIONS THAT ARE NOT CURRENTLY FIRE STOPPED TO BE DEALT WITH UNDER SEPARATE CONTRACT.
ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.
THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.
WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.

WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

LEGEND:

| | |
|-----|--------------------------------|
| --- | EQUIPMENT/PIPING TO REMAIN |
| --- | EQUIPMENT/PIPING TO BE REMOVED |
| --- | DOMESTIC COLD WATER |
| --- | DOMESTIC HOT WATER |
| --- | DOMESTIC HOT WATER RETURN |
| --- | HOT WATER SUPPLY |
| --- | HOT WATER RETURN |
| --- | SANITARY |
| --- | NATURAL GAS |
| --- | FLOOR DRAIN |
| --- | BOILER |
| --- | ELECTRIC BOILER |
| --- | PUMP |
| --- | HOT WATER TANK |
| --- | HEAT EXCHANGER |

| 0 | ISSUED FOR TENDER | 16.05.20 |
|-----|----------------------|----------|
| No. | REVISION/DESCRIPTION | BY DATE |



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|-------|------------|---------|----------|-----|----------|
| DRAWN | ML | CHECKED | DESIGNED | MAP | APPROVED |
| DATE | 2016.04.14 | USER | APPROVAL | | |

Winnipeg THE CITY OF WINNIPEG
PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT
MUNICIPAL ACCOMMODATIONS DIVISION
3-65 GARRY STREET, R3C 4K4

PROJECT
REPLACEMENT OF BOILERS AND POOL WATER HEAT EXCHANGERS AT PAN AM POOL
25 POSEIDON BAY

SHEET TITLE
MECHANICAL BOILER ROOM PLAN DEMOLITION

| | | |
|----------|-------------|-----------|
| SCALE | PROJECT No: | SHEET No: |
| AS SHOWN | 16-0107-008 | P1_M01 |