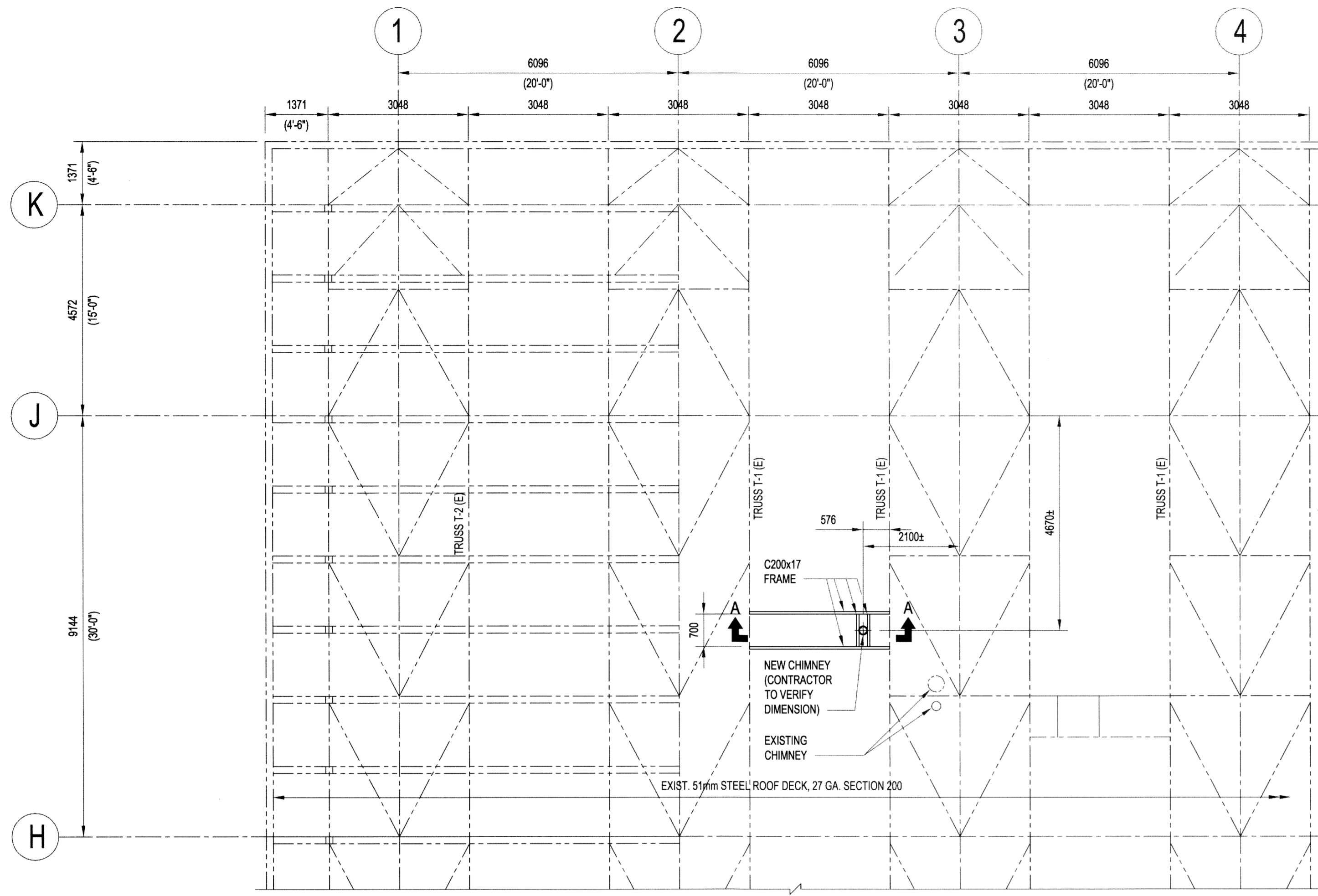
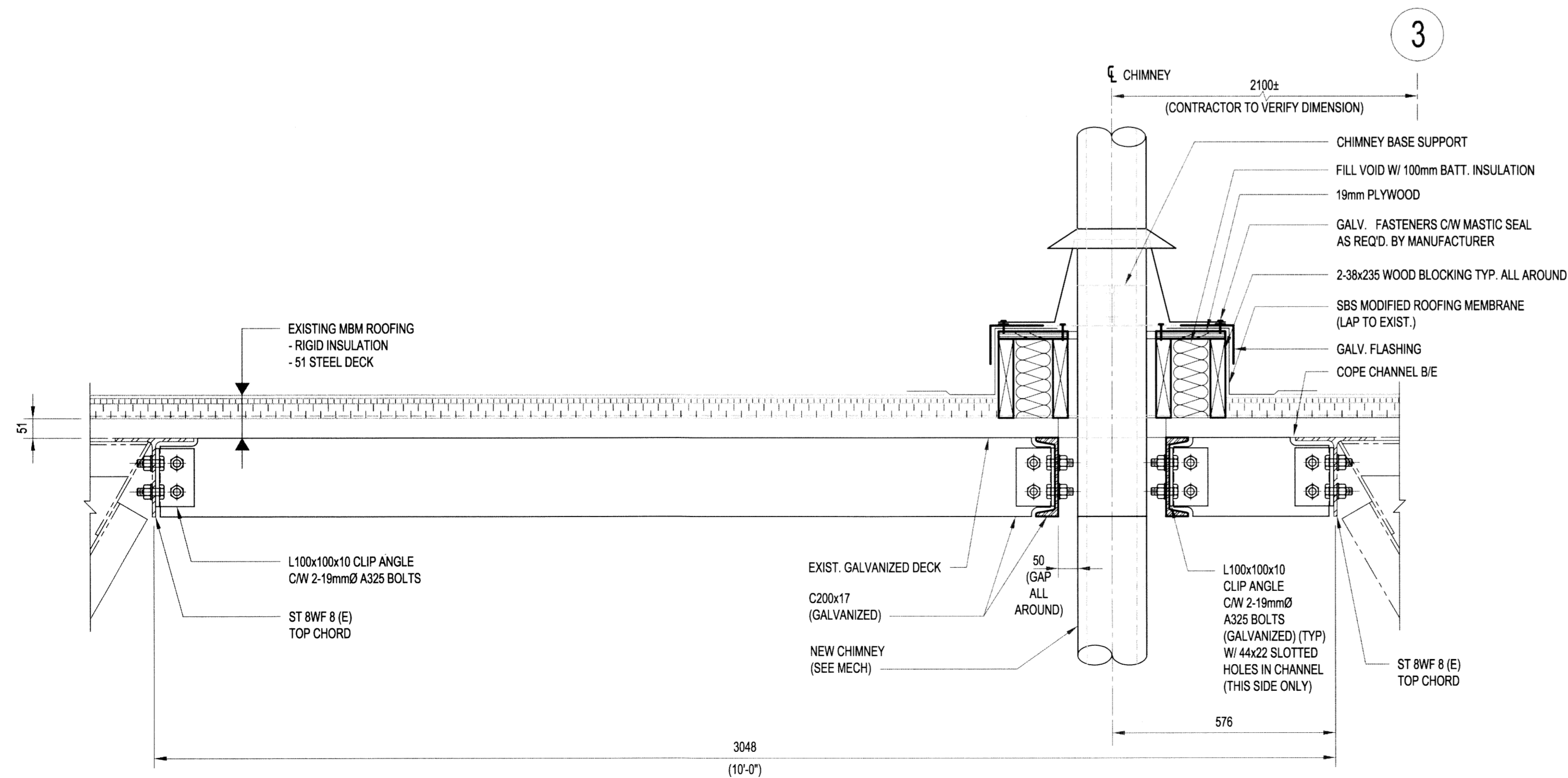


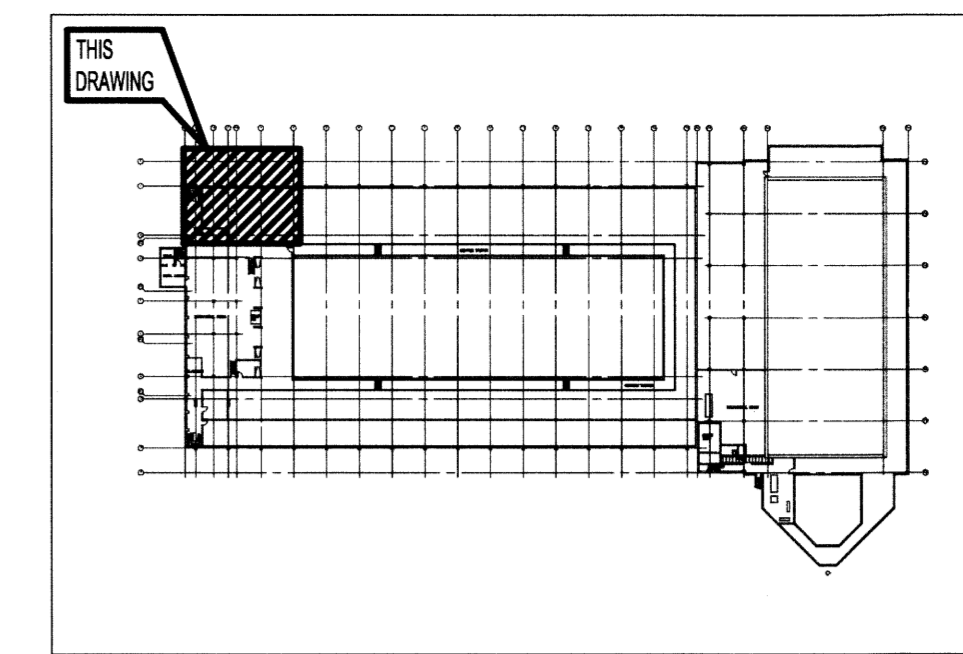
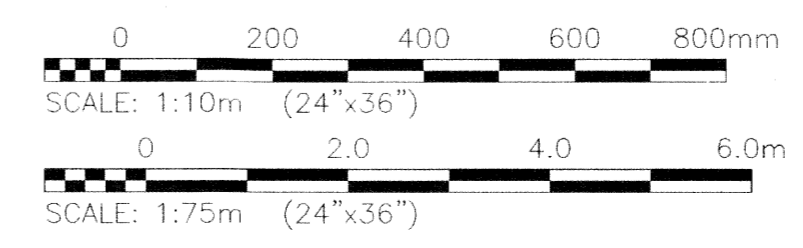
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 DATE: 2016.04.14
 PROJECT No: 16-0107-008
 SHEET TITLE: BOILER ROOM PLAN - DEMOLITION
 ADDRESS: 25 POSEIDON BAY



PARTIAL ROOF PLAN
 SCALE 1:75



SECTION A-A
 SCALE 1:10



KEY PLAN
 SCALE: N.T.S.

NOTES:

THESE DRAWINGS SHALL NOT BE SCALED.

THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.

THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.

ALL OPENINGS THROUGH THE FIRE SEPARATIONS AS A RESULT OF THE WORK OF THIS CONTRACT ARE TO BE FIRE STOPPED AND SEALED WITH U.L.C. APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE AND SMOKE-TIGHT BARRIER. EXISTING OPENINGS THROUGH FIRE SEPARATIONS THAT ARE NOT CURRENTLY FIRE STOPPED TO BE DEALT WITH UNDER SEPARATE CONTRACT.

ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.

WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.

WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

STRUCTURAL AND MISCELLANEOUS STEEL:

- STRUCTURAL AND MISCELLANEOUS STEEL FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH CANCSA S16 (LATEST).
- STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF CANCSA G40 20/G40.21 (LATEST).
 ROLLED W-SHAPES CSA G40.21 350W
 ROLLED SHAPES & PLATES CSA G40.21 300W
 BOLTS, NUTS, & WASHERS ASTM A325-14
 WELDING ELECTRODES CSA W48-14
- WELDING SHALL BE IN ACCORDANCE WITH CSA W59 (LATEST), BY WELDERS CERTIFIED AND QUALIFIED IN ACCORDANCE WITH CSA W47.1 (LATEST), ALL WELDS TO BE 8mm UNLESS NOTED OTHERWISE.
- FIELD CONNECTIONS SHALL BE BOLTED 19mm DIAMETER A325 BEARING TYPE UNLESS NOTED OTHERWISE. BOLTS SHALL BE TIGHTENED IN ACCORDANCE WITH CSA S16 (LATEST).
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE FINISHED AS INDICATED BELOW, UNLESS OTHERWISE NOTED, OR APPROVED EQUAL IN ACCORDANCE WITH B7:
 GALVANIZED STEEL
 - SURFACE PREP. TO SP8 (PICKLING)
 - HOT DIPPED GALVANIZED TO ASTM A123-13
- FIELD TOUCH-UP WITH [ZINC-RICH COATING, GALVANIZING SOLDER] TO MATCH GALVANIZED STEEL, ACCEPTABLE PRODUCT: [ZINGA, GAL-VIZ] OR APPROVED EQUAL IN ACCORDANCE WITH B7.
- FIELD TOUCH-UP PAINT TO CONNECTIONS, WELDS, BURNED OR DAMAGED SURFACES, AND UNFINISHED SURFACES AT COMPLETION OF ERECTION AND SHALL MATCH THICKNESS AS SPECIFIED.
- PAINTED SURFACES OF EXISTING STEEL SHALL BE GROUND SMOOTH TO BARE METAL PRIOR TO FIELD WELDING.

No.	REVISION/DESCRIPTION	BY	DATE
0	ISSUED FOR TENDER	JM	16.05.20

SEAL

DRAWN: FBV
 CHECKED: [Signature]
 DESIGNED: [Signature]
 APPROVED: [Signature]
 DATE: 2016.04.28
 USER APPROVAL

THE CITY OF WINNIPEG
 PLANNING, PROPERTY AND
 DEVELOPMENT DEPARTMENT
 MUNICIPAL ACCOMMODATIONS DIVISION
 3-65 GARRY STREET, R3C 4K4

PROJECT
**PAN AM POOL
 REPLACEMENT OF BOILERS**

25 POSEIDON BAY
 SHEET TITLE

**STRUCTURAL
 ROOF PART PLAN
 PLAN & SECTION**

SCALE	PROJECT No:	SHEET No:
AS SHOWN	16-0107-008	P1_S02

