

## WALL TYPES:

### INTERIOR WALL TYPES:

IW1	3 5/8" STEEL STUD PARTITION • 5/8" GYPSUM BOARD • 3 5/8" STEEL STUDS @ MAX 16" O.C. • 5/8" GYPSUM BOARD
IW1b	3 5/8" STEEL STUD PARTITION - INSULATED STUD CAVITY • 5/8" GYPSUM BOARD • 3 5/8" STEEL STUDS @ MAX 16" O.C. (FILL STUD CAVITY WITH ACOUSTIC BATT INSULATION) • 5/8" GYPSUM BOARD
IW1c	3 5/8" STEEL STUD PARTITION - GWB 1 SIDE - FURRING WALLS AND BULKHEADS • 5/8" GYPSUM BOARD • 3 5/8" STEEL STUDS @ MAX 16" O.C.
IW2	1/4" WALNUT VENEER PLWD OVER EXISTING ASSEMBLY • 1/4" WALNUT VENEER PLWD; EDGE BANDING TO ALL EXPOSED EDGES, FINISHED TO MATCH FACE • EXISTING WALL ASSEMBLY  PLYWOOD PANELING NOTES: • PLYWOOD TO BE SECURED USING ADHESIVE OR CONCEALED FASTENERS OR A COMBINATION OF BOTH METHODS • PLYWOOD PANELING ATTACHMENT METHOD TO BE APPROVED BY CONTRACT ADMINISTRATOR • NAILS AT SOLID WOOD TRIMS TO BE COUNTER-SUNK AND CONCEALED USING COLOR-MATCHED WOOD FILLER
GL1	EXTERIOR AUTOMATIC ENTRANCE SYSTEM • EXTERIOR AUTOMATIC ENTRANCE SYSTEM AS SPECIFIED
GL2	INTERIOR GLAZED PARTITION • STRUCTURAL ALL GLASS PARTITION SYSTEM AS SPECIFIED

## WALL TYPE GENERAL NOTES:

### GYPSUM BOARD SHEATHING, UNLESS OTHERWISE NOTED:

- ALL GYPSUM BOARD IN WASHROOMS AND JANITORS ROOMS IS 5/8" THICK, MOISTURE RESISTANT 'GREEN BOARD' TYPE
- ALL GYPSUM BOARD IN OFFICES AND PUBLIC AREAS THAT IS NOT COVERED BY ADDITIONAL CLADDING IS 5/8" THICK ABUSE RESISTANT
- ALL AREAS OF EXISTING WALLS AFFECTED BY NEW WORK TO BE PATCHED, REPAIRED, MADE GOOD, AND PREPARED TO RECEIVE NEW PAINT FINISH
- WHERE NEW WALLS EXTEND, ABUT TO, OR ARE INFILLING EXISTING WALLS THE NEW WALL THICKNESS SHALL MATCH THE EXISTING ADJACENT ASSEMBLY; PROVIDE ADDITIONAL STEEL STUD FURRING OR WOOD BLOCKING TO SUIT
- ALL W/C PARTITIONS TO BE HAVE ACOUSTIC MINERAL FIBRE BATT INSULATION IN STUD CAVITY
- ALL EXTERIOR FURRING WALLS TO HAVE MINERAL FIBRE BATT INSULATION IN STUD CAVITY
- WHERE EXISTING VAPOUR BARRIER MEMBRANE IS AFFECTED PROVIDE POLYETHYLENE SHEET VAPOUR BARRIER AS REQUIRED C/W SELF ADHERED AIR/VAPOUR BARRIER MEMBRANE TRANSITIONS

## BUILDING CODE SUMMARY:

**Note:** The proposed renovations of the St. Vital Library do not change the building use or increase the number of occupants or building area. The renovation is largely in the scope of maintenance and repair. The primary area of nonconformance with the current (2012) Manitoba Building Code is that the *maximum floor area of the building* is permitted to be 400 m<sup>2</sup>, while the existing condition is 627m<sup>2</sup>. We interpret this condition to be 'grandfathered'; existing, non-conforming'.

**Assessed Land: 0.36 Acres**

**Registered in the name of the City of Winnipeg under part of Certificate of Title No. 1802675.  
SP Lot 1, Plan 21864 WLTO in RL 114 to 117 Parish of St. Boniface.  
Encumbrances registered against the Title are 3560177 and 3560178.**

### ZONING REVIEW

- Zoning classification:** R1-M;
- Parking (Category 9 - Galleries/Libraries/Bus Depots):**
  - Required: 15 stalls + 1 accessible stall
  - Existing: 33 stalls + 1 accessible stall
  - Provided: 28 stalls + 2 accessible stalls

### CODE REVIEW

- 1 MBC 3.1 – GENERAL:**
  - Major occupancy classification [3.1.2]:** Group A Division 2 – Existing Library Facility
  - Proposed building area:** 6,750 sf /627 m<sup>2</sup> (existing)
  - Proposed building height:** 1 storey + mezzanine + basement
  - Facing number of streets [3.2.2.10 and 3.2.5.5]:** 1 (Access route located off Fermor)
  - Building is sprinklered:** No
  - High Building:** No
  - Design occupant loads [3.1.17.1]:** Maximum Occupant Load = Existing (145 people)
- Basement:**
  - Exhibition room: 35 people
  - Tutorial room: 5 people
- Main floor:** 65 people, including staff and visitors
- Mezzanine:** 40 people, including staff and visitors
- \*Note: the existing north (non-accessible) mezzanine has been removed.*

### 2 MBC 3.2 – BUILDING FIRE SAFETY

- Construction articles [3.2.2.20 to 3.2.2.83]:**
  - Not Sprinklered: 3.2.2.28 Group A Division 2 – one storey
    - Construction is required to be of combustible or non-combustible construction (The existing condition includes a concrete floor between the basement and the ground floor and the mezzanine), and:
      - Does not require sprinklers
      - An area of 400m<sup>2</sup> if facing one street (*The existing building faces one street and a lane and has an area of 627m<sup>2</sup> – As this is an existing condition, it is considered to be "grandfathered"*)
      - Mezzanines shall have, if of combustible construction, a fire-resistance rating of not less than 1 hour. (The existing construction is non combustible)
      - Roof assembly does not require a fire-resistance rating.
      - Load bearing walls, columns and arches may be combustible or non combustible

- Fire walls [3.1.10.2(2)]:** 2 hour fire-resistance rating wall required between existing buildings and new construction

- Mezzanines [3.2.1.1.4a]:** yes

- Commercial Kitchen [A-9.10.1.4.1]:** No

- Limiting Distance and Area of Unprotected Openings [3.2.3.1 – Table 3.2.3.1.D]:**
  - Limiting distance is not a factor regarding the extent of unprotected openings to the east, west, north and south sides (building envelope and openings are to remain as per existing).

- Single Egress Maximum allowable suite size is 150 m<sup>2</sup> [Table 3.3.1.5.A.]**

- Lobby/WC Area Exits [3.4.2.1]:**

- Required: 2
- Provided: 4

- Distance Between Lobby/WC Area Exits [3.4.2.3]**

- Required: ½ max diagonal dimension of floor area = 57 m x 0.5 = 28.5 m
- Provided: 23.5 m

- Maximum travel distance is 45m [3.4.2.5(1)c]**

- Required: ½ max diagonal dimension of floor area = 57 m x 0.5 = 28.5 m
- Provided: 23.5 m

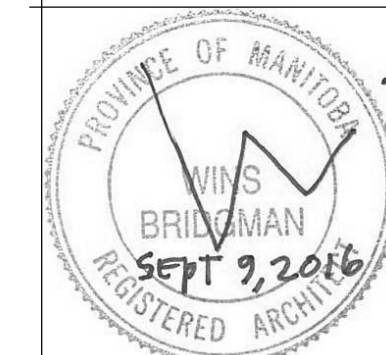
### 3 MBC 3.7 – WASHROOM FIXTURES [see 3.7.2.2.(7)]:

- Required: 150 persons = at least 2 "male" and 3 "females" on two floors = 5 unisex washrooms + 2 unisex UTR.
- Existing: 150 persons: 3 unisex washrooms and 1 accessible washroom
- Provided: All washrooms are non-gender specific; 2 existing toilet rooms, 2 Universal Toilet Rooms (1 on the ground floor and 1 on the basement level), 1 new toilet room and 2 accessible toilet rooms.

## SYMBOL LEGEND

	SECTION DETAILS & BUILDING SECTION TAG
	CALLOUT TAG
	ELEVATION TAG
	GLAZING ELEVATION TAG
	3D AXO VIEW DIRECTION TAG
	LEVEL TAG
	SPOT ELEVATION
	WALL TAG
	FLOOR TAG
	ROOF TAG
	DOOR TAG
	KEYNOTE TAG
	GRID LINE
	ROOM TAG
	INDICATES GLAZING
	BREAK LINE
	ACTUATOR
	CENTRE LINE
	DRAWING TITLE
	NORTH ARROW

1 View Name  
View Scale



Project:  
St. Vital Library

6 Fermor Ave. Winnipeg, MB  
Project Number: 1605  
Bid Opportunity Number: 788-2016

Drawing Title:  
ASSEMBLIES AND GENERAL NOTES

#	Issue/Revision	Date
1	ISSUED FOR CONSTRUCTION	SEPT 9, 2016

Sheet No: G001

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