

DEMOLITION PLAN
SCALE: 1/8"=1'-0"

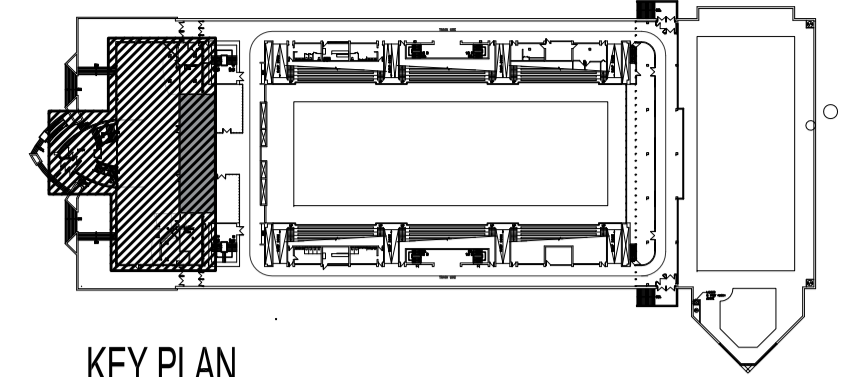
DEMOLITION NOTES

1. REMOVE EXISTING RUBBER BASE. PATCH AND REPAIR DRYWALL WALL AS REQUIRED.
2. REMOVE EXISTING DRYWALL WALLS.
3. REMOVE EXISTING WINDOW BLINDS AND HOUSING.
4. REMOVE EXISTING DOORS. RE USE DOUBLE DOORS IN NEW LAYOUT.
5. REMOVE EXISTING DUCTWORK AS INDICATED. REFER TO MECHANICAL DEMOLITION DRAWINGS.
6. REMOVE EXISTING LIGHTING. REFER TO ELECTRICAL DEMOLITION DRAWINGS.
7. PROCESSING ROOM AREA WALLS AND FLOORING TO BE DEMOLISHED LAST IN ORDER TO SECURE ARTIFACTS. ROOM TO REMAIN INTACT DURING CONSTRUCTION. REFER TO PHASING PLAN AND COORDINATE WITH CONTRACT ADMINISTRATOR.
8. RETAIN PART OF EXISTING WALL AS INDICATED TO ACCOMMODATE EXISTING ELECTRICAL PANEL. SITE CONFIRM DIMENSION REQUIRED. EXISTING WALL HEIGHT TO REMAIN. WALL DOES NOT PRESENTLY GO TO U/S OF STRUCTURE. CONTRACTOR TO ANCHOR/ SUPPORT AS NECESSARY TO NEW CEILING HEIGHT.
9. EXISTING METAL FLASHING/TRIM BENEATH EXISTING ORIGINAL INTERIOR POOL WINDOWS TO BE REMOVED IF POSSIBLE. SITE INVESTIGATION REQUIRED ON PORTION OF FLASHING PRIOR TO REMOVAL TO SHOW WHAT IS BEHIND TRIM.

DEMOLITION DRAWING LEGEND

- EXISTING DOORS
- EXISTING DOORS TO BE REMOVED
- EXISTING WALLS TO BE REMOVED
- AREA NOT IN CONTRACT

NOTES:



KEY PLAN
SCALE: N.T.S

THESE DRAWINGS SHALL NOT BE SCALED. CONSULT WITH CONTRACT ADMINISTRATOR ON ANY CONCERNS.

SUBMISSION OF SITE MARK-UPS, AS-BUILTS, OPERATING & MAINTENANCE MANUALS AND OTHER SUPPORTING DOCUMENTS TO CONTRACT ADMINISTRATOR ARE MANDATORY AT THE COMPLETION OF THIS PROJECT.

THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.

THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCTS, PIPES & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.

ALL OPENINGS THROUGH FIRE ASSEMBLIES INCLUDING FLOORS AND CEILINGS ARE TO BE FIRE STOPPED AND SEALED WITH U/LC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.

ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS, APPLICABLE CODES AND AUTHORITY HAVING JURISDICTION.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING PART OF THE RENOVATION WORK.

WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.

WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

ALL NEW LIGHTING FIXTURES & NEW RECEPTACLES TO BE CONNECTED TO APPROPRIATE PANELS.

THERMOSTATS, FIRE ALARM PULL STATIONS & OCCUPANCY LIGHT SWITCHES SHALL BE MOUNTED 4" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.

ALL ABANDONED ELECTRICAL FIXTURES, COMPONENTS, RECEPTACLE & DATA WIRING SHALL BE REMOVED BACK TO SOURCE & TERMINATED AS PER APPLICABLE CODES. IF APPLICABLE, THIS INCLUDES WIRING CONTAINED IN HEADER DUCTS IN-FLOOR.

REFER TO CITY OF WINNIPEG MATERIALS MANAGEMENT GENERAL TERMS & CONDITIONS FOR PROJECT: [HTTP://WINNIPEG.CA/MATMG/GEN_COND.STM](http://WINNIPEG.CA/MATMG/GEN_COND.STM)

No.	REVISION/DESCRIPTION	BY	DATE
1	ISSUED FOR CLIENT SIGN OFF		NOV.18/16

DRAWN	CHECKED	DESIGNED	APPROVED
K/JN	K/JN	K/JN	
DATE	2016.11.30	USER	APPROVAL

Winnipeg THE CITY OF WINNIPEG
PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT
MUNICIPAL ACCOMMODATIONS DIVISION
3-65 GARRY STREET, R3C 4K4

PROJECT
AQUATIC HALL OF FAME MUSEUM
ROYAL GALLERY SPACE RESTORATION

25 POSEIDON BAY
SHEET TITLE

DEMOLITION PLAN

SCALE	PROJECT No:	SHEET No:
AS SHOWN	2014-148	A1.1