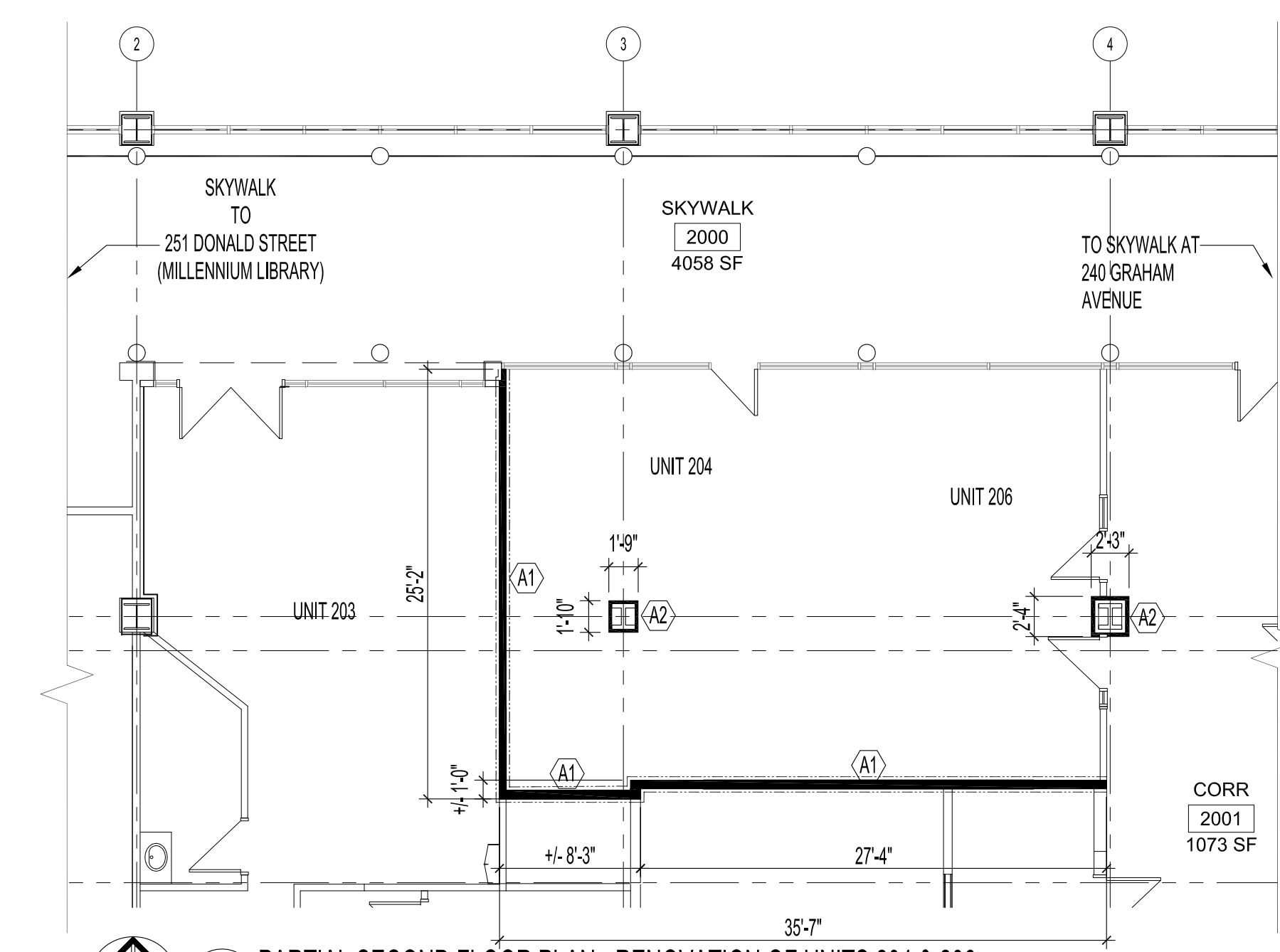


1 PARTIAL SECOND FLOOR PLAN - DEMOLITION OF UNITS 204 & 206  
SCALE: 1/8"=1'-0"



2 PARTIAL SECOND FLOOR PLAN - RENOVATION OF UNITS 204 & 206  
SCALE: 1/8"=1'-0"

**WALL TYPES**

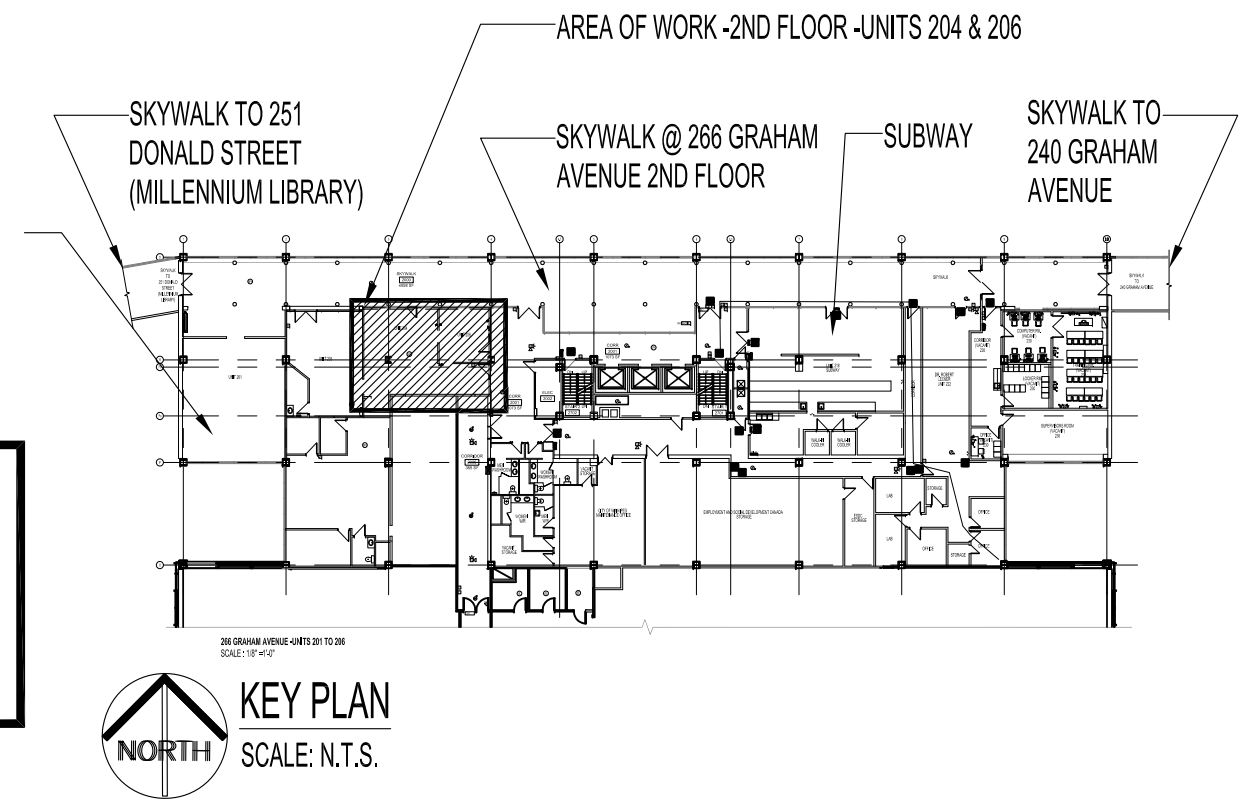
**TYPE (A1) NEW 1 HR. FIRE RATED WALL CONSTRUCTION**  
 1 LAYER OF 5/8 TYPE 'X' GYPSUM BD. B/S FOR A 1 HR. FIRE RATING  
 NEW 3 5/8" STEEL STUDS @ 16" O.C. OR 2" x 3" STEEL STUDS AS REQUIRED.  
 SOUND ATTENUATION BATT WHERE REQUIRED.  
 PARTITIONS TO RUN TO U/S OF STRUCTURAL CEILING  
 FIRESTOP PERIMETER OF ALL WALLS @ FLOOR, CEILING, CORNERS & ALL PENETRATIONS.

**TYPE (A2) NEW WALL CONSTRUCTION**  
 1/2" GYPSUM BD. ALL SIDES OF EXISTING 2 COLUMNS.  
 NEW STEEL FRAMING CHANNELS ATTACHED TO COLUMN.  
 FIRE RATED SPRAY FOAM - SEE FIRE PROOFING DRAWING.

**LEGEND**

- WALLS TO BE DEMOLISHED
- EXISTING DOORS (FRAMES & SIDE LIGHTS)

- DEMOLITION NOTES:**
- DEMOLISH & REMOVE REMAINING 4" THICK CONCRETE BLOCK AROUND EXISTING COLUMN. PREPARE COLUMN TO ACCEPT NEW FIRE RATED SPRAY FOAM & NEW FRAMING. SEE RENOVATION PLAN.
  - DEMOLISH & REMOVE EXISTING GYPSUM BOARD WALL IN FRONT OF GLAZING UNIT. GLAZING UNIT TO REMAIN.
  - DEMOLISH & REMOVE EXISTING INTERIOR GYPSUM BOARD WALL PARTITIONS.
  - REMOVE ANY REMAINING FLOORING DOWN TO CONCRETE. AREA IS APPROX. REMOVE ANY REMAINING FLOORING OR PATCHES OF FLOORING IN UNITS 204 & 206.
  - EXISTING WALL IS A COMBINATION OF DEMOLISHED WALLS & EXISTING WALLS. SOME AREAS ARE CONSTRUCTED OF GYP. BD. & STEEL STUDS & SOME ARE CONSTRUCTED OF 4" CONCRETE BLOCK W/ GYP. BD FINISH. REMOVE AS REQUIRED EXISTING GYP. BD. & FRAMING. PREPARING SURFACE TO ACCEPT NEW FIRE RATED GYP. BD. & INSTALL STEEL STUDS WHERE REQUIRED. SEE RENOVATION PLAN.



**NOTES:**

THESE DRAWINGS SHALL NOT BE SCALED.

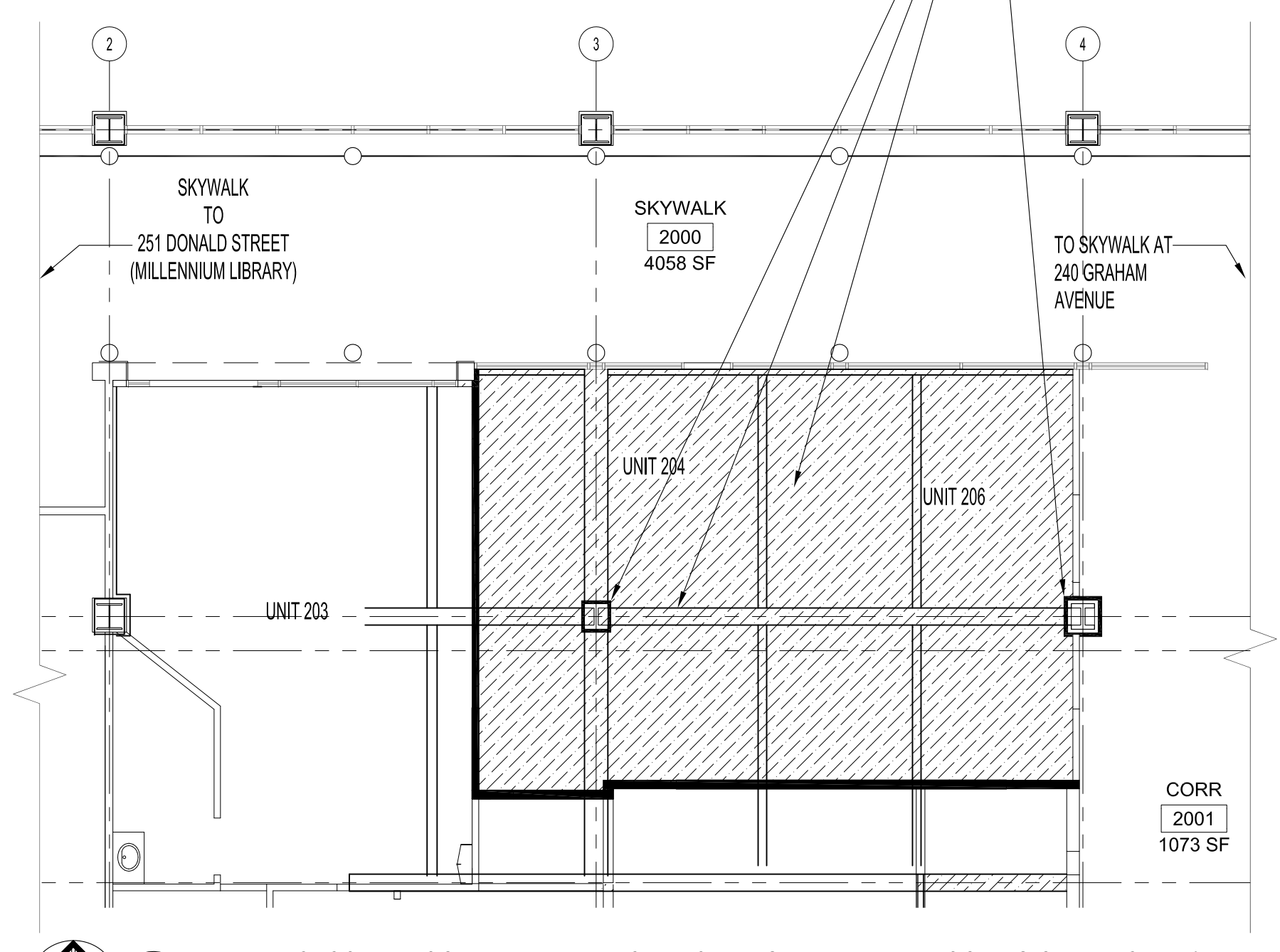
THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.

THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.

ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH U.L.C. APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.

ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.



3 PARTIAL SECOND FLOOR PLAN - REFLECTED CEILING PLAN - FIRE PROOFING OF UNITS 204 & 206  
SCALE: 1/8"=1'-0"

SUPPLY & INSTALL A 1" TO 2" LAYER OF FIRE RATED SPRAY FOAM FOR A 2 HR. FIRE RATED ASSEMBLY TO THE U/S OF STEEL DECKING, STRUCTURAL BEAMS, & (2) COLUMNS. SOME BEAMS HAVE SOME CONCRETE & FIRE RATING THAT IS EXISTING. ENSURE ALL AREAS ARE COVERED FOR THE 2 HR RATING. FIRE STOP ALL PENETRATIONS EDGES, CORNERS & MISC. OPENINGS.

No.	REVISION/DESCRIPTION	BY	DATE
0	ISSUED FOR CONSTRUCTION	MMK	FEB 17 2017



DRAWN	CHECKED	DESIGNED	APPROVED
MMK			
DATE: 2016.02.08	USER APPROVAL		

THE CITY OF WINNIPEG  
 PLANNING, PROPERTY AND  
 DEVELOPMENT DEPARTMENT  
 MUNICIPAL ACCOMMODATIONS DIVISION  
 3-65 GARRY STREET, R3C 4K4

PROJECT  
 FORMER POST OFFICE TOWER  
 BUILDING CODE UPGRADES

266 GRAHAM AVENUE  
 SHEET TITLE  
 PARTIAL SECOND FLOOR PLAN  
 UNITS 204 & 206 - DEMOLITION, RENOVATION  
 & FIRE CODE UPGRADES

SCALE	PROJECT No:	SHEET No:
AS SHOWN	2014-146-02	A1.1