

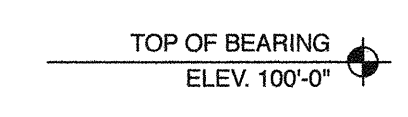
ABBREVIATIONS :

CL	CENTER LINE
PL	PLATE
AND	AND
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
AT	AT
ARCH.	ARCHITECTURAL
AT.	ACOUSTIC TILE
AVB	AIR / VAPOUR BARRIER
BLDG.	BUILDING
BLKG.	BLOCKING
BRG.	BEARING
B.S.	BOTH SIDES
B. TO B.	BACK TO BACK
C.B.	CATCH BASIN
C.G.	CORNER GUARD
C.J.	CONTROL JOINT
CLG.	CEILING
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
C/W	COMPLETE WITH
Ø	DIAMETER OR ROUND
DIM.	DIMENSION
DN.	DOWN
DRWG.	DRAWING
DTL.	DETAIL
EL.	ELEVATION
E.W.	EACH WAY
EA.	EACH
ELEC.	ELECTRICAL
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.J.	FLOOR EXPANSION JOINT
FIN.	FINISHED
F.D.	FLOOR DRAIN
FD.	FUNNEL DRAIN
F.F.	FINISHED FACE
FLEX.	FLEXIBLE
FO.	FACE OF
F.R.R.	FIRE RESISTANCE RATING
GA.	GAUGE
G.W.B.	GYPSUM WALLBOARD
G.C.	GENERAL CONTRACTOR
GL.	GLASS
H.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
H.S.D.G.	HERMETICALLY SEALED DOUBLE GLAZING
HSS	HOLLOW STEEL SECTION
H.S.T.G.	HERMETICALLY SEALED TRIPLE GLAZING
HT.	HEIGHT
H.V.A.C.	HEATING VENTILATING, AIR CONDITIONING
I.D.	INSIDE DIAMETER
I.F.	INSIDE FACE
INSUL.	INSULATION
INT.	INTERIOR
L.	LENGTH
m	METRE
mm	MILLIMETRE
M.B.	MOISTURE BARRIER
MATT.	MATERIAL
MAX.	MAXIMUM
MDF.	MEDIUM DENSITY FIBREBOARD
MECH.	MECHANICAL
MET.	METAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
NOM.	NOMINAL
#	NUMBER OR POUND
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTRE
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
O.H.	OVERHEAD
OPP.	OPPOSITE
P.LAM.	PLASTIC LAMINATE
PLBG.	PLUMBING
PREFIN.	PREFINISH
PT.	PRESSURE TREATED
PTD.	PAINTED
P.L.	PROPERTY LINE
R. RAD.	RADIUS
R.D.	ROOF DRAIN
REINF.	REINFORCED
REQD.	REQUIRED
REV.	REVISION, REVISED
R.O.	ROUGH OPENING
SIM.	SIMILAR
S.P.C.D.	SPECIFIED
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
TEMP.	TEMPERED
T.G.	TEMPERED GLASS
T.O.	TOP OF
TYP.	TYPICAL
UN	UNLESS OTHERWISE NOTED
US	UNDER SIDE
VERT.	VERTICAL
W.	WIDE OR WIDTH
W/	WITH
WD.	WOOD

SYMBOL LEGEND :

WALL TYPES	1
WINDOW TYPES	B
NEW DOOR & DOOR NUMBERS	D203
KEY NOTES	1
ROOF TYPE	1
FLOOR TYPE	2
SECTION NUMBERS	4
SHEET NO. ON WHICH SECTION IS DRAWN	A2/A3
SHEET NO. WHERE SECTION IS TAKEN FROM	A2/A3
SECTION NUMBERS	4
SHEET NO. ON WHICH SECTION IS DRAWN	A2/A3
SHEET NO. WHERE SECTION IS TAKEN FROM	A2/A3
SECTION NUMBERS	4
SHEET NO. ON WHICH SECTION IS DRAWN	A5/A9
SHEET NO. WHERE SECTION IS IDENTIFIED IN PLAN	A5/A9

FLOOR CONSTRUCTION ELEVATIONS



BUILDING CODE REVIEW SUMMARY

Item	Manitoba Building Code	2011 MBC Reference
Project Description	✓ New — Addition — Renovation — Change of Use — Alteration	Part 9 9.10.1.2.
1.1 Fire Protection, Occupant Safety and Accessibility		
MBC Section 3.1 General		
a Major Occupancy Classification	Group D	9.10.2.
b Other Intended Occupancy Group(s)	N/A	9.10.2.
c Building Area (m2)	Existing 88 New 88 Total	Division A, 1.4.1.2
d Height of Building	4.255 m	
Number of Storeys	1 Above Grade N/A Below Grade	
Number of Streets	1	
e Sprinkler System Proposed	entire building not required	
Standpipe Required	yes ✓ No	
f Firewalls Utilized	Yes ✓ No	Hrs Rating
g High Building	Yes ✓ No	
h Alternate Solutions	Yes ✓ No	
i Occupant Load Based On	m2/person ✓ Design of Building 1st Floor Occupancy 18 Occupant Load	9.9.1.3.
MBC Section 3.2 Building Fire Safety		
3.2.2 Building Size and Construction Relative to Occupancy		
a Building Classification	Group D, Business and Personal Service	9.10.2.1.
b Permitted Construction	Combustible Non-combustible ✓ Both	
Actual Construction	Combustible Non-combustible ✓ Both	
c Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floor above basement N/A Hrs Floor N/A Hrs Roof N/A Hrs Mezzanine N/A Hrs FRR of Supporting Members Floor N/A Hrs Roof N/A Hrs Mezzanine N/A Hrs	Listed Design No. or Description Listed Design No. or Description
d Fire Blocks	N/A Attic N/A Crawspace	
3.2.3 Spatial Separation		
Spatial Construction of Exterior Wall:		
a Wall	Area of EBF (m2) North West 38.75 North East 31.65 South East 38.75 South West 21.41	L.D. (m) 8 L/H or H/L Permitted Max % of Openings 100 Proposed % of Openings 100 FRR (Hours) 0 Combustible Construction ✓ Combustible Construction Non-Comb Cladding ✓ Non-Comb Construction Non-Comb Cladding ✓
3.2.8 Mezzanines and Opening through Floor Assemblies		
a Open Mezzanine (40%)	Yes ✓ No	
Enclosed Mezzanine (10%)	Yes ✓ No	
Interconnected Floor Space	Yes ✓ No	
MBC Section 3.3 Safety Within Floor Areas		
a Suite Separations	Occupancy Business Services N/A	hrs 0.75
h Janitor Room	Yes ✓ No	
m Storage of Dangerous Goods	Yes ✓ No	
n Flammable and Combustible Liquids	Yes ✓ No	
o Other Hazardous Processes	Yes ✓ No	
p Additional Occupancy Requirements	Yes ✓ No	
MBC Section 3.4 Exits		
a Minimum two exits	1 Required 2 Provided	
b Mezzanine exits/egress stairs	N/A	
c Distance Between Exits (min.)	N/A m > 1/2 Diagonal 7.8 m actual	
d Travel Distance	max 30 m 19.5 m actual	
e Exit Separation	N/A hr	
f Exit Lobby	N/A	
g Exit Capacity - Stair	N/A mm width mm / person	
h Number of persons / exit stair	1095 mm width 6.1 mm / person	
i Exit Capacity - Door	174	
j Number of persons / exit door	Yes ✓ No	
k Horizontal Exit	Yes ✓ No	
l Exits Scheme Provided (optional)	Yes ✓ No	
m Additional Information		

PROJECT DATA

Address	4345 WAVERLEY STREET
Legal	DESC OT80/65-NO ROLL NO: 292400.000
Zoning	AR - AGRICULTURAL RESTRICTED
Setbacks	Required Actual Front 38.1 m 198+ m Rear 7.62 m 150+ m Side (Int) 7.62 m 150+ m
Minimum Site Area	8,094 m sq. 840,000 m sq.
Maximum Building Height	1 Storey
Building Areas Proposed	88 m² building
Parking	Existing parking to remain.
PROPOSAL SUMMARY	CONSTRUCT A NEW PUBLIC WASHROOM TO REPLACE THE EXISTING OBSOLETE ONE IN THE PREVIOUSLY ESTABLISHED LA BARRIERE PARK.

MBC Section	Item	Yes	No	Reference
3.7	Residential Occupancy - 1 washroom/suite	18	9	3.7.2.0
	Occupant load/sex	1/2=	1/sex	
	Female	1 Required	1 Provided	
	Male	1 Required	1 Provided	
	Water Closet	1 Required	1 Provided	
	Lavatory	1 Required	1 Provided	
MBC Section 3.8 Barrier Free Design				
3.8.3	Entrances			
	- power door operator	✓	N/A	3.8.3.3(5)
	- clear width	✓	N/A	3.8.3.3(1)
	- vestibule clearances	✓	N/A	3.8.3.3(11)
	Barrier Free Path of Travel			
	- clearances	✓	N/A	3.8.1.3.
	- flooring warning surfaces	✓	N/A	3.8.1.3.
	Washrooms			
	- universal toilet room	✓	N/A	3.8.2.3., 3.8.3.12.
	- power operator	✓	N/A	3.8.3.3(5)
	- water closet clearances	✓	N/A	3.8.3.8
	- door requirements	✓	N/A	3.8.3.3
	- grab bars	✓	N/A	3.8.3.6., 3.8.3.12.
	- coat hook	✓	N/A	3.8.3.8., 3.8.3.12.
	- signage	✓	N/A	3.8.3.1.
- urinals, grab bars	✓	N/A	3.8.3.10.	
- lavatories, clearances	✓	N/A	3.8.3.11.	
- soap dispenser	✓	N/A	3.8.3.11.	
- towel dispenser	✓	N/A	3.8.3.11.	
- mirror	✓	N/A	3.8.3.11.	
Shower				
- clearance, accessibility	✓	N/A	3.8.3.13.	
- hinged seat	✓	N/A	3.8.3.13.	
- grab bars	✓	N/A	3.8.3.13.	
- shelf	✓	N/A	3.8.3.13.	
Ramps and Stairs				
- clearances	✓	N/A	3.8.3.4., 3.4.	
- guards	✓	N/A	3.8.3.4., 3.4.	
- handrails	✓	N/A	3.8.3.4., 3.4.	
- detectable surfaces	✓	N/A	3.8.3.4., 3.4.	
Assisted Listening Devices	✓	N/A	3.8.3.7.	
Counters	✓	N/A	3.8.3.14., 3.8.1.5.	
Building Code Electrical Safety Systems				
a	Fire Alarm & Detection System Required	✓	No	
b	Emergency Lighting Required	✓	No	
c	Exit Signage Required	✓	No	
Fire Paramedic Service - Provisions for Fire Fighting				
a	Access for fire fighting provided to basement, above grade storeys and roof	✓	No	N/A
b	Access route for firefighters, including turnaround	✓	No	
c	Location of Fire Hydrants Shown	✓	No	
d	Standpipe System Required	✓	No	
e	Sprinkler System Connections Indicated	✓	No	
f	Standpipe System Connections Indicated	✓	No	
g	Other Conditions	✓	No	
Additional Items				
	Fire extinguishers shown	✓	No	
	AED device shown	✓	No	
	Equivalents Proposed	✓	No	
	MECB Compliance	✓	N/A	
Notes:				

WALL TYPE GENERAL NOTES :

- ALL RATED WALLS & SOUND WALLS TO EXTEND TO U/S OF ROOF ASSEMBLY STRUCTURES AND ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION UNLESS OTHERWISE NOTED.
- ALL EXPOSED CONCRETE BLOCK, GYPSUM WALLBOARD, WOOD AND MISCELLANEOUS METAL IN OCCUPIED AREAS TO BE PAINTED UNLESS SPECIFIED OTHERWISE.
- SEE STRUCTURAL SCHEDULES FOR ALL REQUIRED LINTELS AND SUPPORTS.
- FURR OUT WALLS AS REQUIRED FOR RECESSED OR SEMI-RECESSED ELECTRICAL PANELS, FIRE EXTINGUISHERS, FORCE FLOW UNITS, ETC. TO FINISH CEILING. COORDINATE LOCATIONS AND DEPTHS WITH MECHANICAL/ELECTRICAL DRAWINGS AND OTHER TRADES. CARRY RATING BEHIND UNIT WHEN PENETRATING RATED WALL ASSEMBLIES.
- GENERAL CONTRACTOR TO CO-ORDINATE AND PROVIDE ALL SOLID BLOCKING WITHIN THE WALL AND CEILING AREAS TO SUPPORT SURFACE MOUNTED FIXTURES AND FITTINGS INCLUDING, BUT NOT LIMITED TO APPLIANCES, HANDRAILS, AND SIGNS, IN CONTRACT AS WELL AS FOR N.I.C. ITEMS IN COORDINATION WITH THE CITY.

GENERAL NOTES :

- THE FOLLOWING NOTES ARE APPLICABLE TO ALL DRAWINGS AND WORK WITHIN THE SCOPE OF THE PROJECT.
- THESE DRAWINGS SHALL NOT BE SCALED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE MANITOBA BUILDING CODE, INCLUDING ALL AMENDMENTS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO INVESTIGATE LOCAL CONDITIONS AND ARRANGE WITH CITY TO EXAMINE SITE AND RELATED WORK.
- CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL SATISFY THEMSELVES THAT ALL DIMENSIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT PRIOR TO COMMENCING WORK.
- COMPENSATION WILL NOT BE MADE BECAUSE OF FAILURE TO MAKE PROPER SITE INVESTIGATIONS & REPORTING ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO BID CLOSING OR TO UNDERSTAND FULL NATURE OF WORK.
- DIMENSIONS ARE TO GRID LINES, FACE OF STUD, EXISTING CONCRETE OR CONCRETE BLOCK UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL OPENINGS THROUGH FLOOR, WALLS AND ROOF.
- ALL PLYWOOD OR WOOD BLOCKING USED BELOW OR WITHIN 150 mm OF GRADE TO BE PRESSURE TREATED.
- CONTRACTOR TO REMOVE ALL DEMOLITION ITEMS FROM SITE UNLESS OTHERWISE INSTRUCTED BY CITY, OR INDICATED ON DRAWINGS.
- CONTRACTOR TO REPLACE ANY ITEMS TEMPORARILY MOVED IN THE COURSE OF CONSTRUCTION WORK.
- CONTRACTOR TO REPAIR ANY ITEMS DAMAGED DURING THE COURSE OF CONSTRUCTION WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONSULTANT. NO REPRODUCTIONS MAY BE MADE WITHOUT THE CONSENT OF THE CONSULTANT AND ALL REPRODUCTIONS MUST BEAR THE NAME OF THE CONSULTANT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS NOTED ON THE DRAWINGS WITH THE CONDITIONS ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY ERRORS OR OMISSIONS TO THE ENGINEER FOR ADJUSTMENTS. THIS DRAWING SHALL NOT BE SCALED.

LIST OF DRAWINGS

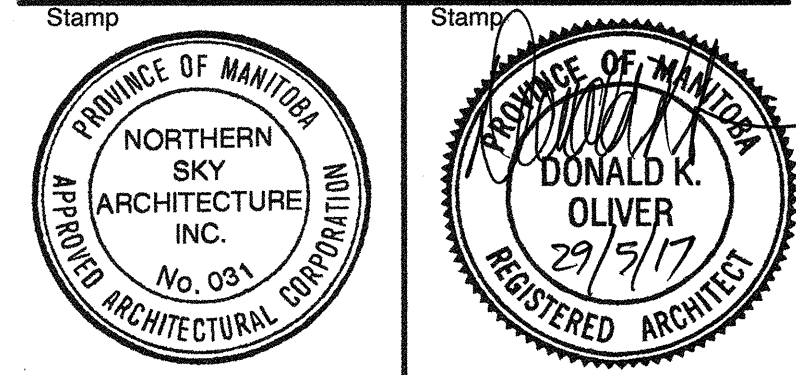
- A0.1 BUILDING CODE REVIEW, LIST OF DRAWINGS
- A1.1 KEY PLAN, SITE PLAN
- A2.1 FLOOR PLANS
- A3.1 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS, SCHEDULES
- A4.2 WALL SECTIONS
- A4.3 WALL SECTIONS
- A5.1 REFLECTED CEILING PLAN
- S1.1 NOTES
- S2.1 FOUNDATION/MAIN FLOOR PLAN
- S2.2 ROOF FRAMING PLAN
- S3.1 TYPICAL SECTIONS AND DETAILS
- S4.1 FULL HEIGHT SECTIONS
- S4.2 FULL HEIGHT SECTIONS
- M1.0 MECHANICAL - MAIN FLOOR PLAN - PLUMBING
- M2.0 MECHANICAL - MAIN FLOOR PLAN - HVAC
- M3.0 MECHANICAL - SPECIFICATION
- M3.1 MECHANICAL - SPECIFICATION
- M3.2 MECHANICAL - SPECIFICATION
- E1.0 ELECTRICAL - LAYOUT
- E2.0 ELECTRICAL - SITE PLAN & SCHEDULES



Revisions	
May 30, 2017	Issued for Construction
Date	Revision

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Project

La Barriere Park Washroom Replacement
LaBarriere Park, Manitoba

drawing title	BUILDING CODE REVIEW, LIST OF DRAWINGS		
scale	as noted	designed by	kbb
date	May, 2017	drawn by	kdw
project no.	337-2017	reviewed by	dko
reference no.	16.235	sheet	A0.1 REV.