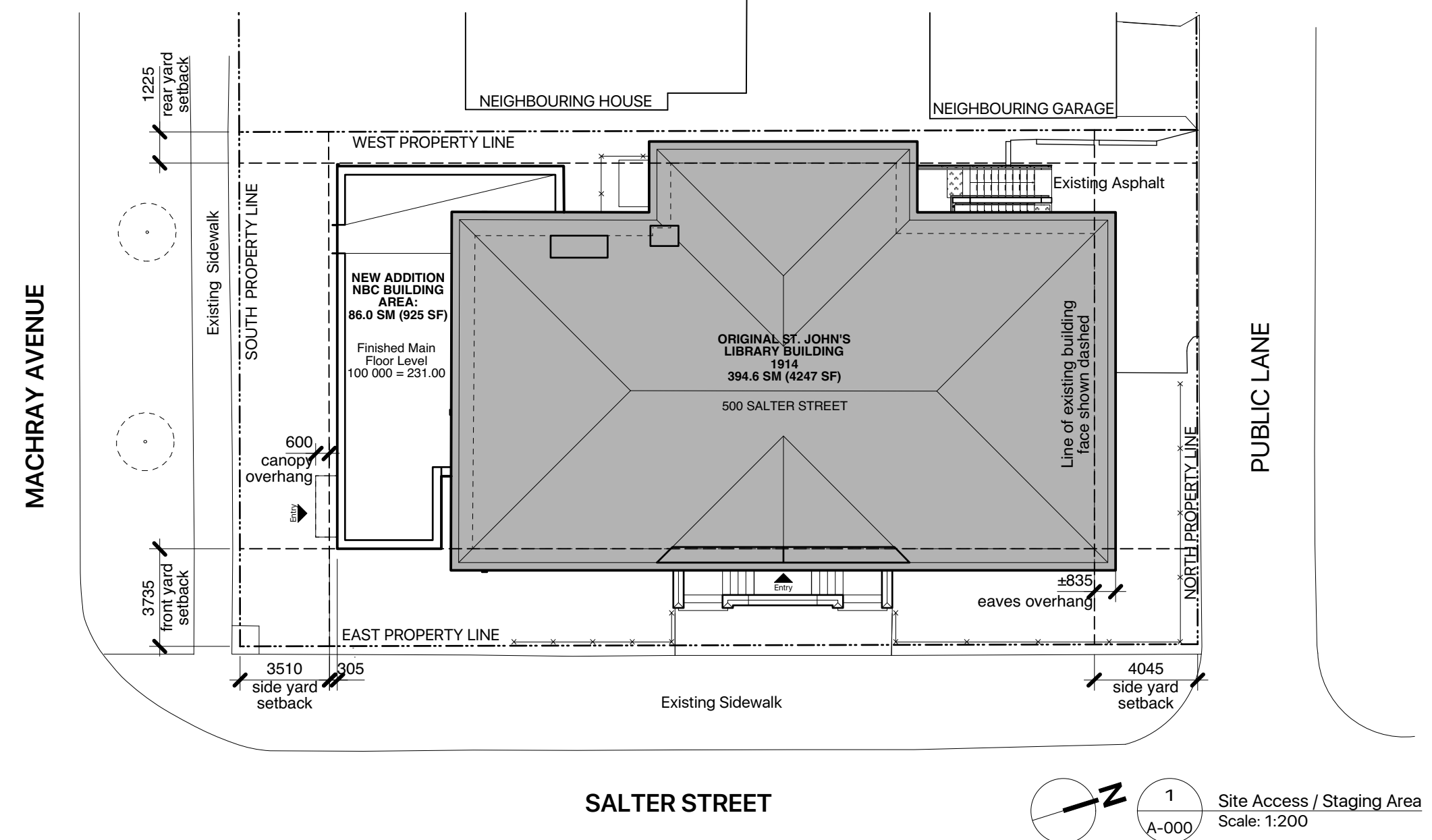


# ST. JOHN'S LIBRARY

## ADDITION & RENOVATION

500 SALTER AVENUE, WINNIPEG, MANITOBA



### Building and Site Design Summary

**Legal Description**  
Lots two hundred and fifty eight and two hundred and fifty nine plan no. 197 WLTO in river lots 43 and 44 parish of St. John.

Lot Dimensions: 37.54m x 20.17m  
Lot Area: 756 sq. m.

**Setbacks**  
Variance no. 17-114037/C  
North (side yard): 4045mm  
East (front yard): 3735mm  
South (side yard): 3510mm  
West (rear yard): 1225mm

No. of Parking Spaces: 1  
No. of Bicycle Spaces: 2

### Manitoba Building Code Design Summary

This project is governed by the Manitoba Building Code 2010 (MBC) - Division B, Part 3.

**Section 3.1 General**  
Major occupancy classification: Group A Division 2  
Building area, Existing: 326.0 sq. m  
Building area, New: 85.9 sq. m  
Building area, TOTAL: 411.9 sq. m  
Building height: 1-storey building with basement. Refer to sheet A-400 for heights.  
Facing number of streets: No  
Firewalls: No  
Fire alarm system: Yes, refer to Electrical.

Design occupant load: Building will have a posted occupancy of 100 people based on washroom fixtures provided.

**Section 3.2 Building Fire Safety**  
Construction article: 3.2.2.25 Group A, Division 2 One storey  
Construction: Non-combustible/Combustible  
FRR for horizontal assemblies: Only required as fire separations.  
FRR for supporting members: N/A

**Spatial separation:** North Wall:  
Limiting distance: N/A  
Exposing building face: N/A  
Unprotected openings: N/A  
FRR: Combustible or Noncombustible  
Cladding: Combustible or Noncombustible  
South Wall:  
Limiting distance: 14.28 m  
Exposing building face: 88.1 sq. m  
Unprotected openings: 100% allowed, 86.3% actual  
FRR: Combustible or Noncombustible  
Cladding: Combustible or Noncombustible  
East Wall:  
Limiting distance: 13.85 m  
Exposing building face: 32.9 sq. m  
Unprotected openings: 100% allowed, 72.0% actual  
FRR: Combustible or Noncombustible  
Cladding: Combustible or Noncombustible  
West Wall:  
Limiting distance: 1.285 m  
Exposing building face: 53.0 sq. m  
Unprotected openings: 7% allowed, 0% actual  
FRR: Noncombustible  
Cladding: Noncombustible

### Section 3.4 Exits

Main Floor: Number of exits: 2 required, 2 provided  
Distance between exits: 15.35m minimum (> or = half of diagonal of 30.7m)  
Max. travel distance to exit: 39.0m actual  
Exit capacity: 30m allowed, 23.0 m actual  
6.1mm/person required  
29mm/person provided

### Section 3.7 Health Requirements

Using a reduced occupant load of 100 persons.

Required:  
(100-10)/2 = 45 persons of each sex = 1 male, 2 female required total  
\*UTR allows occupant load to be reduced by 10.

Provided:  
Existing building, basement level = 1 universal toilet room, 1 unisex WC  
New addition, main level = 1 universal toilet room  
TOTAL = 3 fixtures total

### Section 3.8 Barrier Free

Barrier-free access provided to all floor areas: Yes, via platform lift.  
Power door operators required/provided on barrier-free door at entrance: Yes  
Barrier-free washrooms provided on all floor areas: Yes

### ABBREVIATIONS:

ACT	Acoustic ceiling tile	MIR	Mirror
AFC	At finished ceiling	MTL	Metal
AFF	At finished floor	MTL DK	Exposed metal deck
AH	Access hatch	N.F.	Not in contract
AP	Access panel	N.I.C.	Not in contract
AR	Abuse resistant	O/C	On centre
AWP	Acoustic wall panel	O/F	Outside face
BB	Base board	O/H	Overhead
BBH	Base board heater	O/O	Outside to outside
BF	Barrier free	O/A	Open to above
B/O	Bottom of	OTB	Open to below
BR	Back rest	OWS/J	Open web steel joist
CA	Contract administrator	P/A	Public address
CB	Cove base	PL	Plastic laminate
CIP	Cast in place	PNT	Paint
CJ	Control joint	PRTN	Partition
CLG	Ceiling	PT	Pressure treated
CLM	Clay masonry	PTL	Push to lock button
CMU	Concrete masonry unit	PW	Plywood
COL	Column	RAF	Resilient athletic flooring
CONC	Concrete	RB	Rubber base
CPT	Carpet	RBSF	Rubber sports floor
CT	Ceramic tile	RD	Roof Drain
CW	Curtain Wall	RFG	Refrigerator
CW	Complete with	RH	Robe hook
DF	Drinking fountain	R/O	Rough Opening
DO	Door operator	RSB	Recessed switch box
DN	Down	RSF	Resilient sheet flooring
ECP	Elevator call panel	RTU	Roof top unit
EHD	Electric hand dryer	RV	Relief vent
ES	Each side	SB	Switch box
EP	Electrical panel	SCR	Screen
EPO	Epoxy paint	SD	Scrap dispenser
FAP	Fire Annunciator Panel	SF	Stairfront
FE	Fire Extinguisher	SG	Steel sign
FD	Floor drain	SH	Shelf
FF	Force flow heater	SIM	Similar
FG	Floor grille	SP	Splash pad
FH	Floor Hatch	ST	Stainless steel
FM	Floor mat	STN	Stain
FR	Frosted finish	STM	Stone masonry
FRP	Fibre reinforced panel	STN	Station
GB	Grab bar	TB	Tack board
GR	Floor grate	TG	Tempered glass
GS	Gym storage rack	T/O	Top of
GSU	Gym storage unit	TPD	Toilet paper dispenser
GWB	Gypsum wall board	TPTN	Toilet Partition
HP	Hose bib	TYP	Typical
HM	Hollow metal	U/S	Underside
HDM	Hydro meter	VCT	Vinyl Composite Tile
HP	Hydro pole	VOS	Verify on site
HSS	Hollow steel section	VWF	Vinyl window film
IF	Inside face	WC	Washroom
IL	Inside to inside	WD	Wood
JS	Janitor Shelf	WG	Wall grille
LF	Light Fixture	WI GL	Wired glass
LP	Locker	WP	Water proof
LR	Locker	WR	Waste receptacle
MG	Mechanical grille	WW	Window Wall
		X	Existing

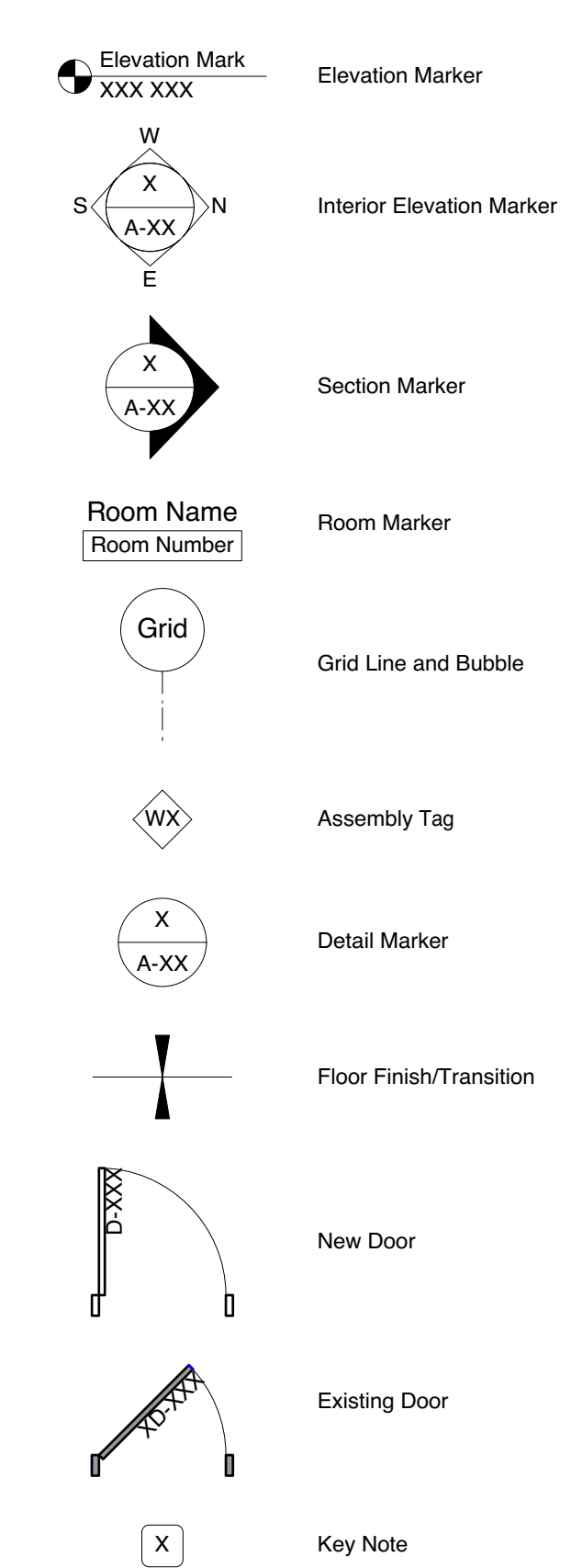
### GENERAL NOTES

- All dimensions are to grid lines and/or face of finished assembly unless noted otherwise.
- The General Contractor shall verify the location of all site services with their respective utility companies prior to commencement of work; coordinate with Mechanical & Electrical consultants for service tie-ins.
- Clean up all construction debris from the site and repair any damage to the site resulting from construction upon completion of the work.
- Patch and make good all surfaces affected by demolition and/or damaged over the course of construction.

### Drawing List

ARCHITECTURAL & LANDSCAPE	
A-000	TITLE SHEET
A-002	ROOM FINISH SCHEDULE AND ASSEMBLIES
A-003	DOOR SCHEDULE, GLAZING ELEVATIONS & ROOF PLAN
A-101	DEMOLITION PLANS
A-102	DEMOLITION ELEVATIONS
L-100	MATERIALS AND PLANTING PLAN DETAILS
L-101	GRADING AND LAYOUT PLAN DETAILS
L-102	DETAILS AND SECTIONS
A-200	MAIN FLOOR PLAN
A-201	BASEMENT FLOOR PLAN
A-203	RCP MAIN LEVEL
A-204	RCP BASEMENT LEVEL
A-300	BUILDING SECTIONS
A-301	BUILDING SECTIONS
A-400	EXTERIOR ELEVATIONS
A-500	WALL SECTIONS AND DETAILS
A-501	DETAILS
A-600	DETAILS
A-601	DETAILS
A-700	INTERIOR ELEVATIONS
A-701	INTERIOR ELEVATIONS
<b>STRUCTURAL</b>	
S-0	GENERAL NOTES & SCHEDULES
S-1	FOUNDATION & BASEMENT FRAMING PLAN
S-2	MAIN FLOOR PLAN, VESTIBULE PLAN & SECTIONS
S-3	ROOF FRAMING PLAN & SECTIONS
S-4	VESTIBULE PLAN & SECTION & STAIR SECTIONS
S-5	SECTIONS & DETAILS
S-6	SECTIONS & DETAILS
S-7	CROSS BRACING ELEVATIONS
<b>MECHANICAL</b>	
M0.0	DRAWING LIST AND LEGEND
M1.1	PLUMBING DEMOLITION LAYOUT
M2.1	HVAC DEMOLITION LAYOUT
M2.2	HVAC DEMOLITION LAYOUT
M3.1	PLUMBING RENOVATION LAYOUT
M3.2	PLUMBING RENOVATION LAYOUT
M4.1	HVAC RENOVATION LAYOUT
M4.2	HVAC RENOVATION LAYOUT
M5.1	MECHANICAL DETAILS & SCHEMATICS
ME1.1	MECHANICAL SPECIFICATIONS, SCHEDULES & CHARTS
<b>ELECTRICAL</b>	
E1.1	SYMBOL LEGEND
E1.1	SITE PLAN - ELECTRICAL LAYOUT
ED2.0	BASEMENT LEVEL - DEMOLITION ELECTRICAL
ED2.1	MAIN LEVEL - DEMOLITION ELECTRICAL
EL2.0	BASEMENT LEVEL - LIGHTING RENOVATION
EL2.1	MAIN LEVEL - LIGHTING RENOVATION
EP2.0	BASEMENT LEVEL - POWER & SYSTEMS RENOVATION
EP2.1	MAIN LEVEL - POWER & SYSTEMS RENOVATION
E5.0	PANELBOARD SCHEDULES

### Symbol Legend



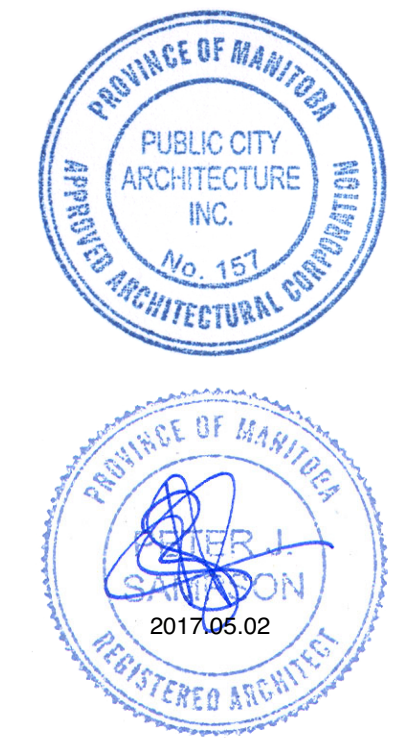
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(204) 452 0041

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(204) 779 7900

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This drawing must not be scaled. The contractor shall verify all dimensions and other data on site prior to commencement of work. Discrepancies, errors, and omissions are to be reported to Public City Architecture Inc. prior to proceeding with the Work.

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Project  
**St. John's Library Renovation**

Drawing  
**Title Sheet**

Drawn By  
TH  
Scale  
As Noted  
Reviewed By  
PS  
Drawing No.  
**A-000**

Date  
2016.07.18  
Project No.  
1503b