

GENERAL SPECIFICATION NOTES:

- 01 00 00 GENERAL REQUIREMENTS
1. CONSTRUCT WORK TO ACCOMMODATE CONTINUED USE OF THE PREMISES DURING CONSTRUCTION.
2. SCHEDULE WORK TO MINIMIZE THE DURATION OF TIME THE AREA OF WORK IS NOT AVAILABLE FOR ONGOING OPERATIONS.
3. COORDINATE PROGRESS SCHEDULE WITH CITY OF WINNIPEG DURING CONSTRUCTION.
4. RESTRICT USE OF SITE TO AREA AFFECTED BY RENOVATION. KEEP JOBISTE CLEAN & REMOVE DEBRIS ON DAILY BASIS.
5. PROTECT EXISTING FINISHES AND EQUIPMENT FROM DAMAGE DURING CONSTRUCTION.
6. AT COMPLETION OF CONSTRUCTION, CONDITION OF EXISTING WORK TO BE EQUAL OR BETTER THAN THAT WHICH EXISTED BEFORE NEW WORK STARTED.
7. SHOP DRAWING SUBMITTALS REQUIRED:
 - ALL MECHANICAL AND ELECTRICAL EQUIPMENT (REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS).
8. ALTERNATE PRODUCTS WILL NOT BE PERMITTED UNLESS APPROVED BY THE CONTRACT ADMINISTRATOR DURING BID CALL. REQUESTS FOR ALTERNATES WILL BE ACCEPTED IN WRITING UP TO FIVE (5) WORKING DAYS PRIOR TO BID CLOSE. REQUESTS MUST BE ACCOMPANIED WITH FULL PRODUCT DESCRIPTION, PERFORMANCE DATA AND MANUFACTURER'S LITERATURE.
9. CLOSE-OUT SUBMITTALS REQUIRED: MANUFACTURER'S LITERATURE FOR ALL PRODUCTS, FINISHES AND/OR EQUIPMENT REQUIRED FOR THIS PROJECT, INCLUDING OPERATING AND MAINTENANCE INFORMATION AS WELL AS PRODUCT WARRANTY. ALL INFORMATION TO BE SUBMITTED DIGITALLY (ONE CDD/DVD, PDF FORMAT) AND A SINGLE HARD COPY IN A "D" RING BINDER WITH SPINE AND FACE POCKETS. COVER AND SPINE TO IDENTIFY PROJECT AND SUBJECT MATTER. ARRANGE CONTENT BY SECTION NUMBERS AND SEQUENCE OF TABLE OF CONTENTS.
10. AS-BUILT DRAWINGS: AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR IS TO SUBMIT ONE (1) PAPER COPY (610mm x 915mm) AND ONE (1) ELECTRONIC COPY (CDD/DVD, PDF FORMAT) OF "RED-LINED" DRAWINGS AS MAINTAINED AT THE SITE DURING CONSTRUCTION.
11. MECHANICAL AND ELECTRICAL VERIFICATION REPORTS TO BE SUBMITTED UPON COMPLETION OF WORK (REFER TO MECHANICAL AND ELECTRICAL DRAWINGS).
12. WARRANTY FOR ALL WORK RELATED TO THIS PROJECT TO BE MINIMUM ONE (1) YEAR.
13. CONTRACTOR TO NOTIFY CONTRACT ADMINISTRATOR IMMEDIATELY UPON DISCOVERY OF ANY UNKNOWN HAZARDOUS MATERIAL DISCOVERED ON SITE. NO WORK TO BE CONDUCTED IN AREA OF HAZARDOUS MATERIAL UNTIL WRITTEN INSTRUCTION AND APPROVAL HAS BEEN RECEIVED FROM THE CONTRACT ADMINISTRATOR. REFER TO ABATEMENT PROCEDURES SPECIFIED IN REPORT PREPARED BY AMEC.
14. CONTRACT ADMINISTRATOR AND CITY STAFF TO HAVE UNRESTRICTED ACCESS TO THE WORK. ENSURE ADEQUATE INSURANCE IS PROVIDED BY CONTRACTOR TO TO ACCOMMODATE.
15. UTILITIES AND SERVICES, INCLUDING WATER SUPPLY, HEATING AND VENTILATION, AND POWER AND LIGHTING WILL BE AVAILABLE ON SITE WITHOUT CHARGE. ANY MODIFICATION TO SUCH SERVICES AS REQUIRED BY THIS PROJECT TO BE COORDINATED WITH THE OWNER.
16. CONTRACTOR WILL BE PERMITTED TO USE EXISTING WASHROOM FACILITIES ON SITE. FACILITIES ARE TO BE PROTECTED FROM DAMAGE AND TO BE KEPT CLEAN AND AT ALL TIMES.
17. CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING TEMPORARY FIRE PROTECTION EQUIPMENT DURING PERFORMANCE OF WORK REQUIRED BY GOVERNING CODES, REGULATIONS AND BYLAWS.
18. CONSTRUCTION OFFICE AND TOOLS AND EQUIPMENT STORAGE ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR. LOCATION OF, AND SERVICES FOR, ANY SUCH TEMPORARY FACILITIES ARE TO BE COORDINATED WITH THE CITY.
19. DELIVER, STORE AND HANDLE ALL MATERIALS AND PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. STORE OFF GROUND, INDOORS IN A DRY WELL VENTILATED AREA. PROTECT FROM NICKS, SCRATCHES OR BLEMISHES AND REPLACE DEFECTIVE OR DAMAGED MATERIALS WITH NEW.
20. MAINTAIN WORK IN TIDY CONDITION, FREE FROM ACCUMULATION OF WASTE PRODUCTS AND DEBRIS.
21. CLEAN INTERIOR AREAS PRIOR TO START OF FINISHING WORK AND MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING OPERATIONS.
22. PROVIDE ADEQUATE VENTILATION CONDITIONS DURING USE OF VOLATILE OR NOXIOUS SUBSTANCES. USE OF BUILDING VENTILATION SYSTEMS IS NOT PERMITTED FOR THIS PURPOSE.
23. CONTRACTOR TO ARRANGE FINAL REVIEW WITH THE CONTRACT ADMINISTRATOR ONCE THE FOLLOWING CHECKLIST HAS BEEN COMPLETED:
 - WORK HAS BEEN COMPLETED AND INSPECTED BY THE CONTRACTOR FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.
 - DEFECTS AND DEFICIENCIES HAVE BEEN CORRECTED AND COMPLETED.
 - EQUIPMENT AND SYSTEMS HAVE BEEN TESTED, ADJUSTED, BALANCED AND ARE FULLY OPERATIONAL.
 - CERTIFICATES REQUIRED BY THE AUTHORITY(IES) HAVING JURISDICTION HAVE BEEN SUBMITTED.
 - OPERATION OF SYSTEMS HAVE BEEN DEMONSTRATED TO THE CITY'S PERSONNEL.
 - WASTE PRODUCTS AND DEBRIS HAVE BEEN REMOVED. ALL AREAS AFFECTED BY THE WORK HAVE BEEN CLEANED (ACCORDING TO PROPRIETARY LITERATURE FOR INDIVIDUAL PRODUCTS OR COMPONENTS) AND IS SUITABLE FOR OCCUPANCY.
24. IF DECLARED SUBSTANTIALLY COMPLETE BY THE CONTRACT ADMINISTRATOR, CONTRACTOR TO APPLY FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. LIEN AND WARRANTY PERIOD TO COMMENCE UPON DATE OF THE CITY'S ACCEPTANCE OF SUBMITTED DECLARATION OF SUBSTANTIAL PERFORMANCE.

SYMBOLS

	NORTH ARROW		EXTERIOR WALL TYPE
	BUILDING SECTION		INTERIOR WALL TYPES
	SECTION DETAIL		SEPARATION WITH F.R.R.
	WALL SECTION		FULL HEIGHT SEPARATION
	EXTERIOR ELEVATION		GLAZING TYPE
	INTERIOR ELEVATION		CEILING HEIGHT A.F.F.
	DRAWING TITLE & REFERENCE		DOOR NUMBER
	STRUCTURAL GRID		FIRE RATING
	BENCHMARK ELEVATION		ROOM NAME & NUMBER
	LOCATION		KEY NOTE
	ELEVATION POINTS IN PLAN		REVISION NUMBER

ABBREVIATIONS

AFL	ABOVE FLOOR	G.L	GRID LINE	PNL	PANEL
ALUM	ALUMINUM	GWB	GYPSUM WALL BOARD	PREFIN	PREFINISHED
ANOD	ANODIZED	H.W	HAZARDOUS WASTE	PS	PRESSED STEEL
BLDG	BUILDING	H	HIGH	PTD, PT	PAINTED, PAINT
BM	BEAM	H.D	HEAVY DUTY	R/CONC	REINFORCED CONCRETE
BOT, BTM	BOTTOM	HT	HEIGHT	R.D.	ROOF DRAIN
B.S	BOTH SIDES	H.M	HOLLOW METAL	REINF	REINFORCED
BTWN	BETWEEN	HOR, HORIZ	HORIZONTAL	RM	ROOM
C.I.P	CAST IN PLACE	HR	HOUR	R.O.	ROUGH OPENING
CL	CENTER LINE	H.SS	HOLLOW STEEL SECTION	SHWR	SHOWER
C.P	CENTER POINT	HYDR	HYDRAULIC	SIM	SIMILAR
C.L.F	CHAIN LINK FENCE	I.D	INSIDE DIAMETER	SLP	SLOPE
COL	COLUMN	I.F	INSIDE FACE	SPEC'D	SPECIFIED
CW	COMPLETE WITH	INT	INTERIOR	S.S	STAINLESS STEEL
CONC	CONCRETE	INSUL	INSULATION	ST, STL	STEEL
C.B	CONCRETE BLOCK	LW	LIGHT WEIGHT	STO, STOR	STORAGE
CJ	CONTROL JOINT	L	LONG	STRUC	STRUCTURAL
D	DEEP	LOC	LOCATION	SURF MTD	SURFACE MOUNTED
DTL	DETAIL	MAS	MASONRY	SUSP	SUSPENDED
DN	DOWN	MAX	MAXIMUM	TH	THICK / THICKNESS
DWG, DRWG	DRAWING	MECH	MECHANICAL	T.O.	TOP OF
EA	EACH	MIN	MINIMUM	T.O.C.	TOP OF CONCRETE
ELEV	ELEVATION	MISC	MISCELLANEOUS	TYP	TYPICAL
ELEC	ELECTRICAL	M.O.	MASONRY OPENING	UF	UNDER FLOOR
EPOX	EPOXY	MR	MIRROR	UG	UNDER GROUND
EQ	EQUAL	MTL	METAL	US	UNDER SIDE
EQUIP	EQUIPMENT	N.I.C	NOT IN CONTRACT	V.B	VAPOUR BARRIER
EXP	EXPOSED	O.C	ON CENTER	VEH	VEHICLE
EXT	EXTERIOR	O.D	OUTSIDE DIAMETER	VERT	VERTICAL
FD	FLOOR DRAIN	O/F	OUTSIDE FACE	VEST	VESTIBULE
F.H.C	FIRE HOSE CABINET	O.H	OVERHEAD	W	WIDE
FIN	FINISH	OPNG	OPENING	W/	WITH
FLR, FL	FLOOR	O.W.S.J	OPEN WEB STEEL JOIST	W/MEM	WATERPROOFED MEMBRANE
GA	GAUGE	PL	PLATE	W.T.	WEAVING TILE
GALV	GALVANIZED	P.LAM	PLASTIC LAMINATE		
GLUM	GALVALUME	PLYW	PLYWOOD		
G.C	GENERAL CONTRACTOR				

GENERAL DRAWING NOTES

- THE DRAWINGS SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.
- THE CONTRACTOR SHALL SATISFY HIMSELF THAT ALL DIMENSIONS, ELEVATIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - FACE OF MASONRY WALLS
 - EXTERIOR FACE OF ALL INTERIOR WALLS
- PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER.
- VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
- ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED.
- NO REPRODUCTION OF THE DRAWINGS MAY BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER AND ALL REPRODUCTION MUST BEAR THE NAME OF THE ARCHITECT.
- PAINT ALL NEW EXPOSED CEILINGS, WALLS, CONCRETE BLOCK & METAL LINTELS COLOUR TO MATCH EXISTING.
- PAINT ALL NEW EXPOSED DUCTWORK COLOUR TO MATCH EXISTING.
- GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEERS OF ANY MECHANICAL AND ELECTRICAL APPARATUS APPEARANCE WHICH MAY VARY FROM THAT INDICATED IN THE CONTRACT DOCUMENTS.
- ALL OPENINGS THROUGH FIRE RATED ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION AND PROVIDE A SMOKE FREE BARRIER.
- CONTRACTOR RESPONSIBLE FOR PROVIDING ALL REQUIRED HOARDING AND DUST PROTECTION AT ALL TIMES DURING THE DURATION OF PROJECT.
- CONTRACTOR RESPONSIBLE FOR PROVIDING SOLID WOOD BLOCKING WHERE ALL WALL MOUNTED ITEMS OCCUR (INCLUDING ITEMS MARKED N.I.C.).
- CONTRACTOR RESPONSIBLE FOR ALL PERMITS AND PERMIT APPLICATIONS.

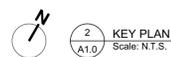
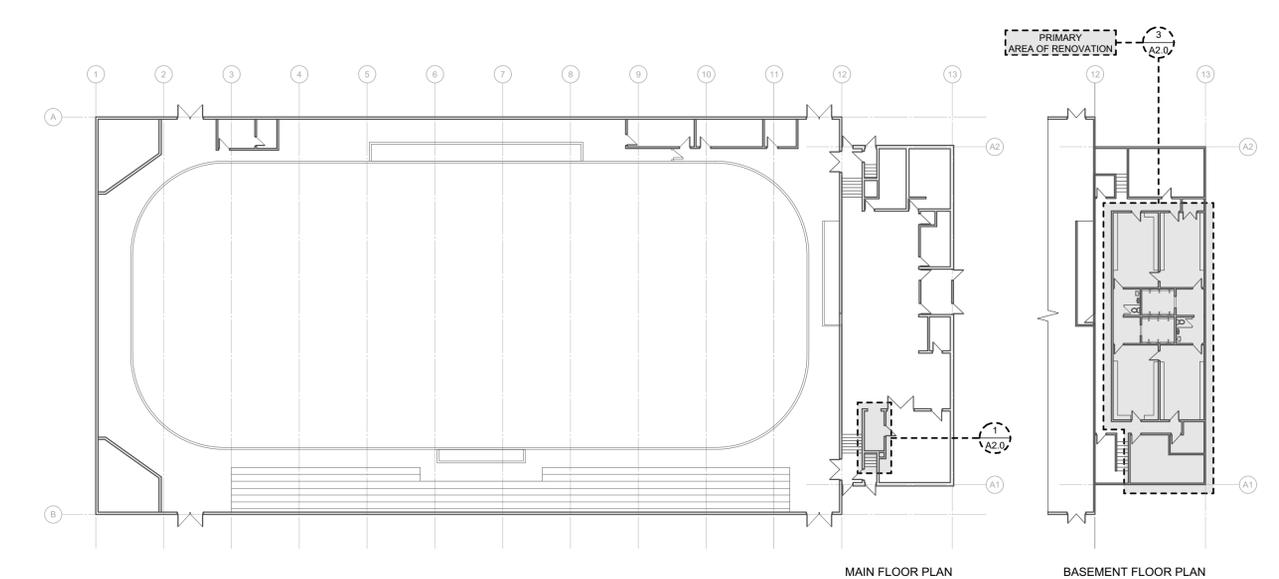
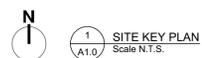
DRAWING LIST

ARCHITECTURAL	A1.0	TITLE SHEET/KEY PLAN	MECHANICAL	M1.0	HVAC DEMO. & RENO.
	A2.0	R.C.P. DEMO. & RENO.	ELECTRICAL	E1.0	ELEC. DEMO. & RENO.
STRUCTURAL	S1.0				

ST. VITAL ARENA

CHANGE ROOM UPGRADES

580 ST. ANNE'S ROAD, WINNIPEG, MB
ISSUED FOR CONSTRUCTION - JULY 17, 2017



CONSULTANT TEAM

ARCHITECT:	1x1 ARCHITECTURE INC 120 FORT STREET, SUITE 103 WINNIPEG, MANITOBA, R3C 1C7 TEL: (204) 318-2010	MECHANICAL ENGINEER:	NOVA 3 ENGINEERING LTD. 201-120 FORT STREET WINNIPEG, MANITOBA, R3C 1C7 TEL: (204) 943-6142 FAX: (204) 942-1276
STRUCTURAL ENGINEER:	LAVERGNE DRAWARD & ASSOCIATES 200 - 193 DUMOULIN STREET WINNIPEG, MANITOBA, R2H 0E4 TEL: (204) 947-2222 FAX: (204) 947-2522	ELECTRICAL ENGINEER:	NOVA 3 ENGINEERING LTD. 201-120 FORT STREET WINNIPEG, MANITOBA, R3C 1C7 TEL: (204) 943-6142 FAX: (204) 942-1276

4	YY.MM.DD	-	
3	YY.MM.DD	-	
2	YY.MM.DD	-	
1	YY.MM.DD	-	
0	17.07.17	ISSUED FOR CONSTRUCTION	
No.	DATE	REVISION / ISSUANCE	



Architect



Engineer

Project

ST. VITAL ARENA
CHANGE ROOM UPGRADES
580 ST. ANNE'S ROAD, WINNIPEG, MB

Sheet Title

TITLE SHEET / KEY PLAN
& ABBREVIATIONS

Project No.

1723

Date

JULY 17, 2017

A1.0