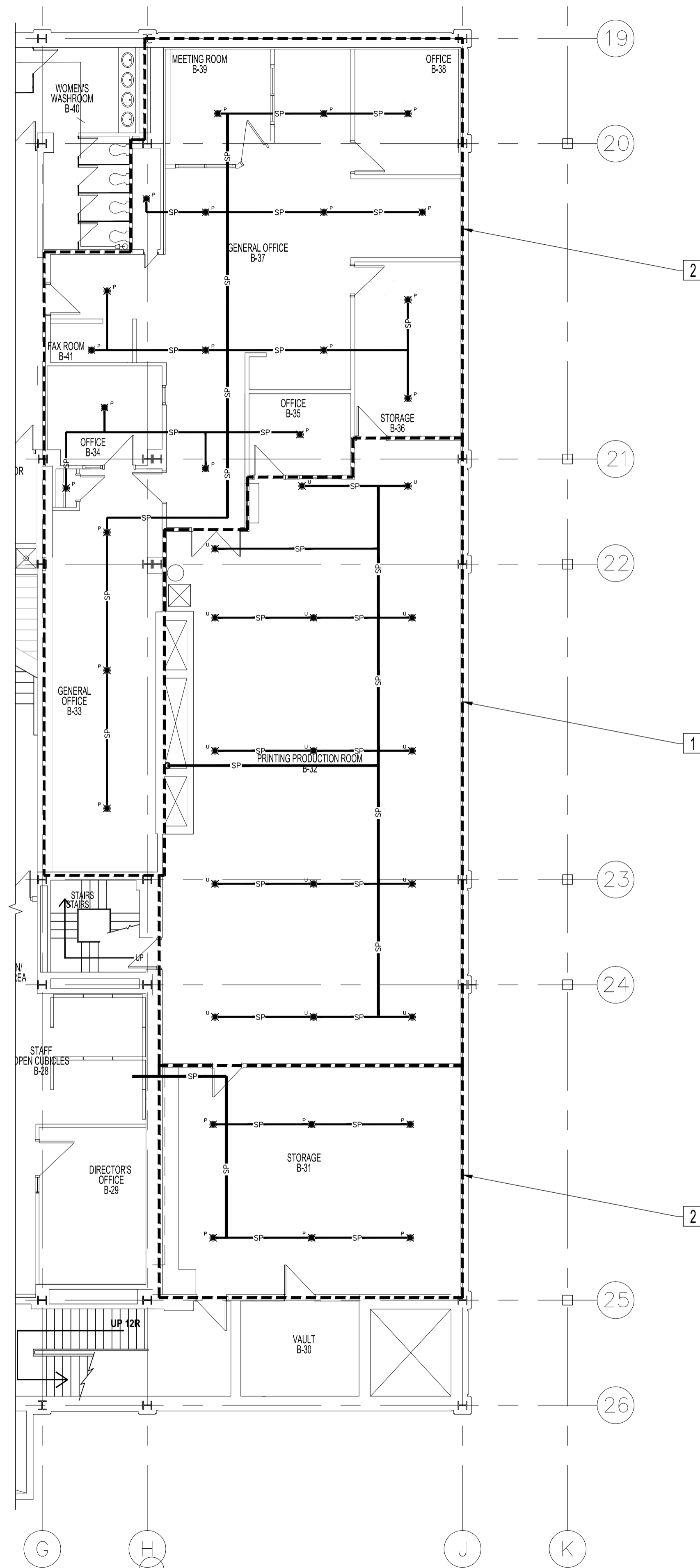


FILE NAME: 2017098M20.dwg M2 DATE: 2018.2.22 SHEET TITLE: PARTIAL BASEMENT FLOOR PLAN - PROPOSED SPRINKLER RENOVATION PROJECT No: 2017-098 ADDRESS: 510 MAIN STREET, COUNCIL BUILDING

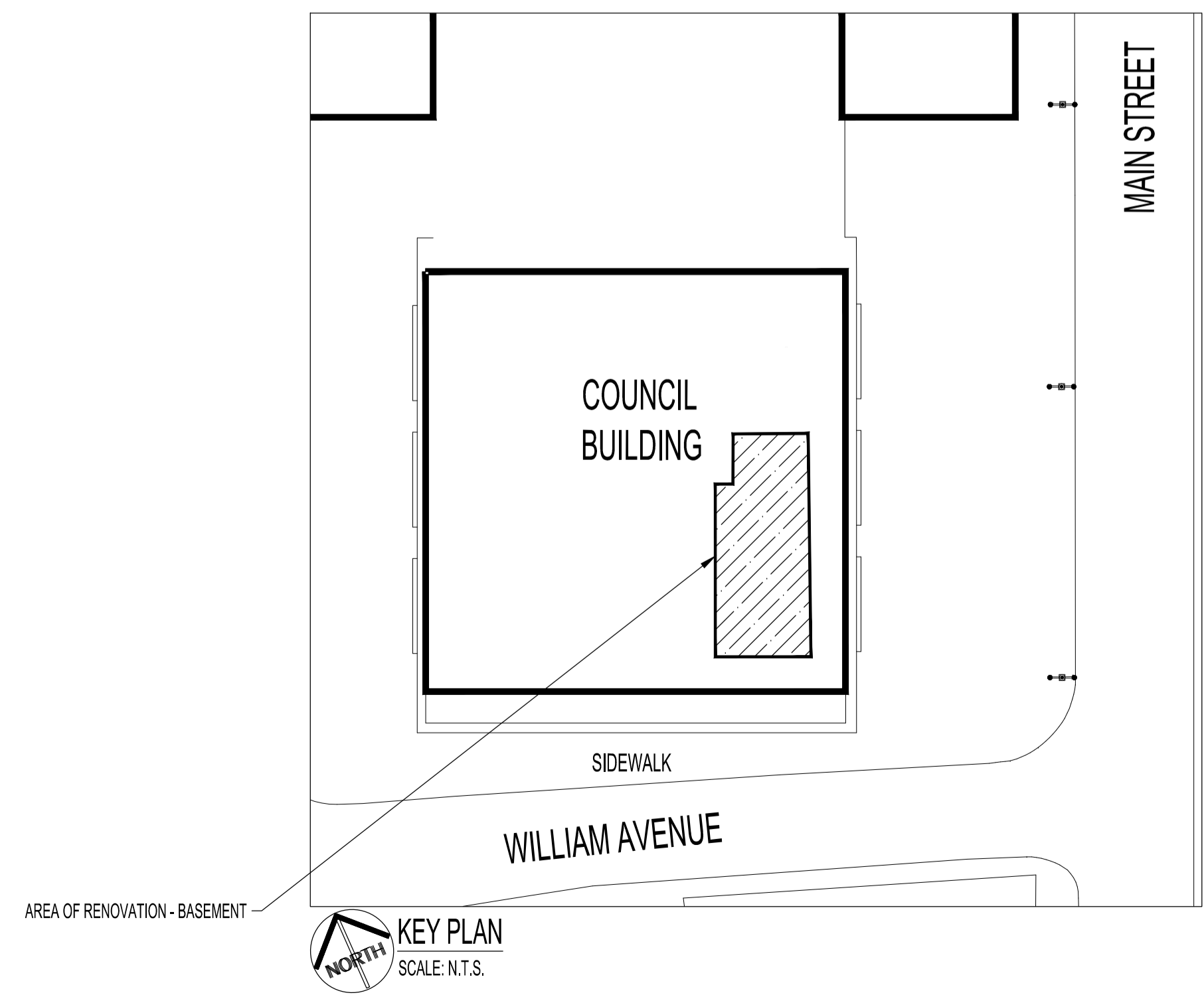


**BASEMENT FIRE PROTECTION PLAN NOTES:**

- 1 PRINTING PRODUCTION ROOM PRELIMINARY SPRINKLER LAYOUT. DESIGN AS PER NFPA 13 - DOUBLE INTERLOCK PREACTION SYSTEM. CONNECT TO EXISTING VALVE HEADER IN SUB-BASEMENT. ALLOW UPRIGHT SPRINKLERS IN THIS AREA
- 2 WET PIPE SPRINKLER SYSTEM PRELIMINARY LAYOUT. DESIGN AS PER NFPA 13. CONNECT TO EXISTING VALVE HEADER IN SUB-BASEMENT. ALLOW SEMI-RECESSED PENDENT SPRINKLERS IN THIS AREA

**NOTES:**  
 THESE DRAWINGS SHALL NOT BE SCALED.  
 THIS DRAWING IS DIAGRAMMATIC ONLY. CONTRACTOR TO COORDINATE EXACT LOCATIONS OF AND ROUTING ON SITE WITH ALL NEW AND EXISTING SYSTEM.  
 THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.  
 THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.  
 ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH ULC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.  
 ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.  
 THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING RISERS, SWING JOINTS AND DEEP CUP ESCUTCHEONS AS REQUIRED.  
 COMPLETE ALL WORK IN CONFORMANCE WITH THE REQUIREMENTS OF NFPA 13-2013 "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS".  
 SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR HYDRAULIC CALCULATION, PIPING LAYOUT AND SIZING ACCORDING TO THE CONTRACT DOCUMENTS. SUBMIT DESIGN TO THE CONTRACT ADMINISTRATOR FOR REVIEW AND COORDINATION. ANY MODIFICATION TO THE LAYOUT OF THE SPRINKLER MAINS MUST BE APPROVED BY THE CONTRACT ADMINISTRATOR.  
 GRADE ALL SPRINKLER PIPING TO ALLOW COMPLETE SYSTEM DRAINAGE.  
 COORDINATE THE LOCATIONS OF THE SPRINKLER HEADS WITH DIFFUSER, LIGHTS AND CEILING TRACKS. REFER TO REFLECTED CEILING PLAN. COORDINATE WITH ELECTRICAL, MECHANICAL, ARCHITECTURAL TRADES, AND CITY'S REPRESENTATIVE.  
 THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING THAT IS REQUIRED TO RUN THE SPRINKLER PIPING.  
 THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR FIRE STOPPING ALL SPRINKLER PIPE PENETRATIONS THROUGH FIRE SEPARATIONS.  
 ALL AREA TO BE DESIGNED AS LIGHT HAZARD EXCEPT NOTED AS PER NFPA13 AS.2.  
 MECHANICAL ROOM, ELECTRICAL ROOM, AND STORAGE ROOM TO BE DESIGNED AS ORDINARY HAZARD GROUP 1.  
 SPRINKLER IN MECHANICAL ROOM, ELEVATOR SHAFT SHALL BE INSTALLED WITH GUARDS.  
 ASBESTOS IS KNOWN TO BE PRESENT IN SOME WALLS AND VINYL TILE FLOOR BENEATH CARPET. ABATEMENT TO PRECEDE START OF DEMOLITION. ASBESTOS MAY BE PRESENT IN OTHER AREAS. IF ASBESTOS OR ANY HAZARDOUS MATERIAL IS FOUND, STOP WORK IMMEDIATELY AND CONTACT CITY OF WINNIPEG, CENTRAL CONTROL, PH: 204-986-2351.

PARTIAL BASEMENT FLOOR PLAN - HVAC DEMOLITION  
 SCALE: 1/8" = 1'-0"



No.	REVISION/DESCRIPTION	BY	DATE
0	PRELIMINARY DRAWING ISSUED	JAW	FEB 22 2018

DRAWN	CHECKED	DESIGNED	APPROVED
JAW	XYW	XYW	XYW
DATE	DATE	DATE	DATE
2018.2.22			

SEAL

THE CITY OF WINNIPEG  
 PLANNING, PROPERTY AND  
 DEVELOPMENT DEPARTMENT  
 MUNICIPAL ACCOMMODATIONS DIVISION  
 3-65 GARRY STREET, R3C 4K4

PROJECT  
 510 MAIN COUNCIL BUILDING  
 PRINT SHOP CEILING ASBESTOS  
 REMEDIATION  
 510 MAIN STREET

SHEET TITLE  
 PARTIAL BASEMENT FLOOR PLAN  
 PROPOSED SPRINKLER RENOVATION

SCALE	PROJECT No:	SHEET No:
AS SHOWN	2017-098	M2