

TERMINATE SUB-DRAIN WITH POP UP DRAINAGE EMITTER (NDS OR EQUIVALENT)

APPROXIMATE LIMITS OF REGRADING

RE-GRADE AT 10:1 TO NEW ASPHALT SURFACE AND PLACE TOPSOIL AND SOD

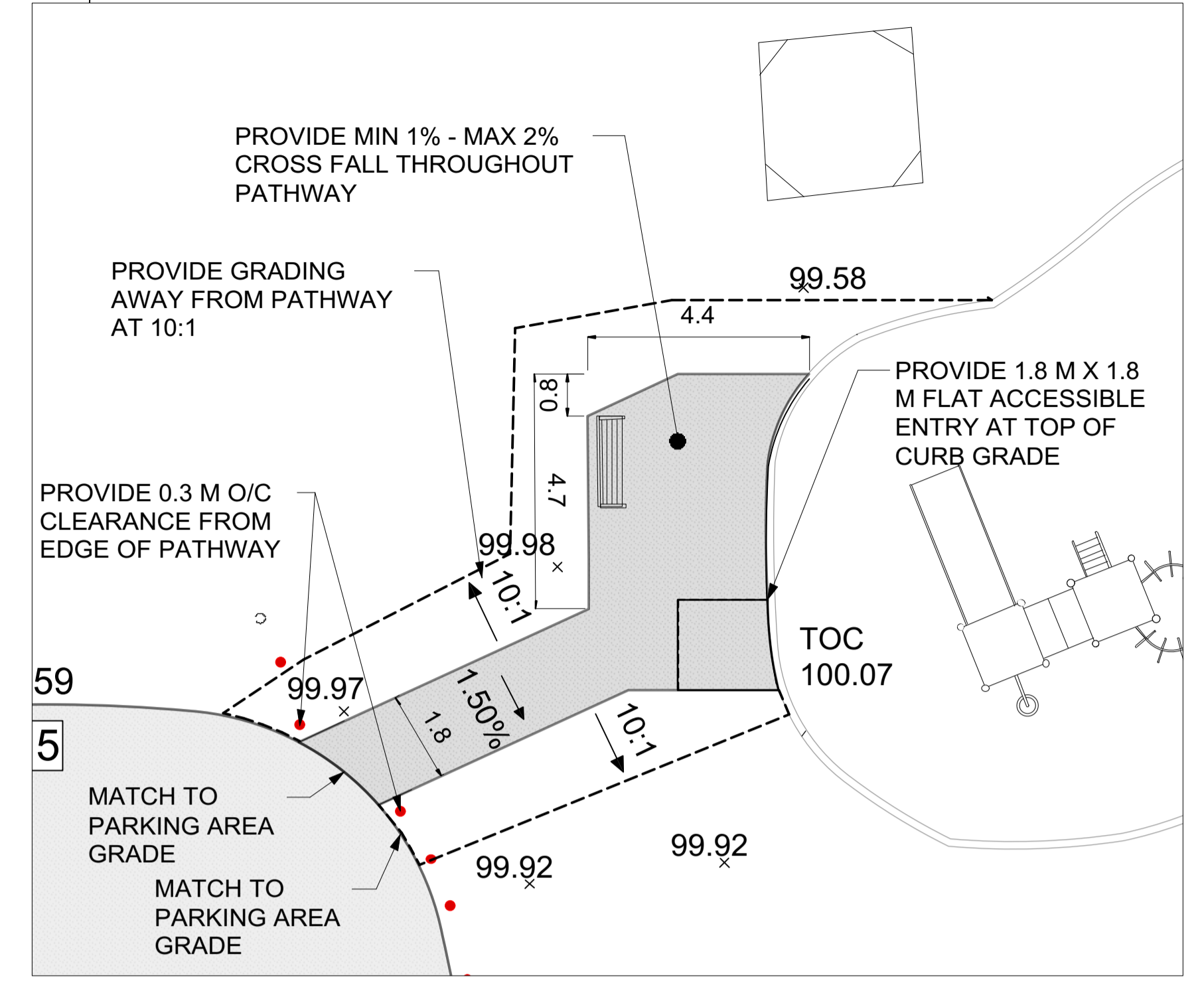
INSTALL NEW 3.05 M FENCE 50 MM WIDE TENNIS & PICKLE BALL LINES (TYP.)

INSTALL NEW TENNIS POSTS C/W C.I.P. CONCRETE PILE  
INSTALL NEW BACKLESS TACHE BENCH'S @ 2M OFFSET FROM CENTER

INSTALL NEW ASPHALT SURFACE C/W PLEXI PAVE (SEE DETAIL 1)

PROVIDE POSITIVE DRAINAGE ON EXTERIOR OF TENNIS COURT TOWARDS SUB-DRAIN

INCREASE SUB-DRAIN GRADE TO -0.8%



**GRANULAR PATHWAY DETAIL**

SCALE 1:100

- INSTALL NEW 1.22 M FENCE ALONG TOP OF BANK AS PER CONTRACT ADMINISTRATORS DIRECTION (APPROX. 95 M)
- INSTALL NEW WOOD FIBRE SAFETY SURFACING (BY OTHERS)
- INSTALL NEW 100 MM SUB-DRAIN AT -0.5% GRADE (INV ELEV AT 0 M = 99.67)

**NOTES:**

1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, PAY ALL NECESSARY FEES AND GIVE ALL NECESSARY NOTICES.
2. REMOVE SURROUNDING FENCE AND POSTS AROUND RECONSTRUCTION. INSTALL NEW FENCE AND POSTS SURROUNDING RECONSTRUCTION.
3. CONTRACTOR SHALL TAKE PRECAUTIONARY STEPS TO PROTECT EXISTING TREES WITHIN THE LIMITS OF ACTIVITIES AS OUTLINED IN THE SPECIFICATIONS
4. CONTRACTOR TO CONFIRM THE LOCATION OF ALL UTILITIES/SERVICES IN THE FIELD PRIOR TO CONSTRUCTION
5. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION LAYOUT THROUGHOUT THE PROJECT.
6. THE CONTRACTOR SHALL MAINTAIN ONE SET OF PLANS ON SITE IN WHICH THE CONTRACTOR SHALL CLEARLY NOTE ALL AS-BUILT INFORMATION AS THE PROJECT PROGRESSES
7. PLEXIPAVE SURFACING AND COLOR LINE PAINTING SHALL BE APPLIED IN ADHERENCE TO MANUFACTURERS DIRECTIONS AND SPECIFICATIONS.
8. RESTORATION OF THE SITE TO EQUAL OR BETTER CONDITION TO BE COMPLETED IMMEDIATELY FOLLOWING CONSTRUCTION ACTIVITIES AT CONTRACTORS EXPENSE.
9. INSTALL TEMPORARY FENCING AROUND CONSTRUCTION AREA
10. MAINTAIN DIMENSIONS AND LOCATIONS OF EXISTING GATES UPON INSTALLATION OF NEW FENCE

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION. LOCATION OF UNDERGROUND STRUCTURES AS SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL SERVICES MUST BE OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.

**WELLINGTON CRESCENT**

**PROPOSED SITE PLAN**

SCALE 1:200



THE CITY OF WINNIPEG  
Planning, Property and Development Department  
Planning and Land Use Division  
Unit 15 - 30 Fort Street, Winnipeg, MB, (R3C 4X5)

DESIGNED BY	SR	CHECKED BY	
DRAWN BY	SR	APPROVED BY	
HORIZ. SCALE	SEE DWG		
VERT. SCALE	SEE DWG		
DATE	July 2018		

MANAGER,  
PARK AND OPEN SPACES

DATE

MANAGER,  
PLANNING AND LAND USE DIVISION

DATE

DRAWING TITLE	DRAWING NO.
<b>Sir John Franklin Park</b>	
<b>Tennis Court Rehabilitation &amp; Associated Works</b>	<b>S.38-B</b>
<b>Proposed Site Plan</b>	
SITE ADDRESS 1405 Wellington Crescent	BID OPPORTUNITY NO. <b>665-2018</b>