

**BUILDING CODE REVIEW SUMMARY**

THE EXISTING BUILDING IS A 1 STOREY WASHROOM BUILDING, CONSTRUCTED WITH COMBUSTIBLE CONSTRUCTION. THE ORIGINAL BUILDING WAS CONSTRUCTED IN APPROXIMATELY 1967.

THE TYPICAL EXTERIOR CONSTRUCTION HAS WOOD FRAMED WALLS WITH A LOG WOOD VENEER CLADDING. INTERIOR WALLS ARE WOOD FRAMED WITH LOG WOOD VENEER CLADDING IN THE MAIN ROOM. THE WASHROOMS ARE WOOD FRAMED WITH PLYWOOD VENEER CLADDING. THE ROOF ASSEMBLY HAS WOOD ROOF TRUSSES WITH THE UNDERSIDE CLAD WITH PLYWOOD AND 1X6 CEDAR PLANKS.

THE PROPOSED SCOPE OF WORK IS TO RENOVATE THE EXISTING WASHROOMS TO INCLUDE BARRIER FREE UNIVERSAL TOILET ROOMS. THE MAIN MULTI-PURPOSE ROOM WILL REMAIN AS IS.

MBC 2011 AND THE CITY OF WINNIPEG 2015 ACCESSIBILITY STANDARDS HAVE BEEN UTILIZED FOR THE CURRENT CODE REVIEW.

**SECTION 3.1 GENERAL**  
**3.1.17.1 OCCUPANT LOAD DETERMINATION**  
 THE OCCUPANT LOAD OF THE BUILDING, BASED ON THE PROPOSED DESIGN OF THE BUILDING IS AS FOLLOWS:

MULTI-PURPOSE ROOM  
 41 PEOPLE

**SECTION 3.2 BUILDING FIRE SAFETY**  
 BUILDING HEIGHT - 1 STOREY

**GROSS BUILDING AREA - 92.9 M<sup>2</sup>**

**3.2.2.28 GROUP A, DIVISION 2, 1 STOREY**  
 AS PER 3.2.2.28, THE BUILDING WOULD BE REQUIRED TO MEET THE FOLLOWING CRITERIA:  
 1 STOREY FACING 1 STREET - MAXIMUM AREA 400 M<sup>2</sup>

**SECTION 3.4 EXITS**  
**3.4.2. NUMBER AND LOCATION OF EXITS FROM FLOOR AREAS**  
 BASED ON THE SIZE OF THE BUILDING AND TRAVEL DISTANCES, 1 EXIT IS REQUIRED AND PROVIDED. THE EXIT APPEARS TO MEET ALL CURRENT BUILDING CODE REQUIREMENTS, INCLUDING TRAVEL DISTANCE.

**3.8 BARRIER FREE DESIGN**  
**3.8.1. APPLICATION**  
 BARRIER FREE DESIGN GUIDELINES APPLY TO THIS BUILDING.

**3.8.1.2. ENTRANCES**  
 THE EXISTING ENTRANCE DO NOT APPEAR TO MEET THE CURRENT BUILDING CODE REQUIREMENTS FOR BARRIER FREE ACCESS. THE ENTRANCE DOES NOT HAVE POWER OPERATORS.

**THE ENTRANCE TO THE BUILDING HAS BEEN ADJUSTED TO MEET CURRENT MBC AND CITY OF WINNIPEG REQUIREMENTS.**

**3.8.1.3. BARRIER FREE PATH OF TRAVEL**  
 THE EXISTING BARRIER FREE PATHS OF TRAVEL DO NOT MEET THE CURRENT BUILDING CODE REQUIREMENTS FOR BARRIER FREE ACCESS. THE PROPOSED LAYOUT CONFORMS TO ALL BARRIER FREE REQUIREMENTS.

**ABBREVIATIONS :**

CL	CENTER LINE	FDN.	FOUNDATION	NOM.	NOMINAL
EL	PLATE	F.E.	FIRE EXTINGUISHER	#	NUMBER OR POUND
&	AND	F.E.J.	FLOOR EXPANSION JOINT	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISHED FLOOR	FIN.	FINISHED	NO.	NUMBER
ALUM.	ALUMINUM	F.D.	FLOOR DRAIN	N.T.S.	NOT TO SCALE
ANOD.	ANODIZED	FFD.	FUNNEL DRAIN	O.C.	ON CENTRE
@	AT	F.F.	FINISHED FACE	O.D.	OUTSIDE DIAMETER
ARCH.	ARCHITECTURAL	F.FLEX.	FLEXIBLE	OPNG.	OPENING
AT.	ACOUSTIC TILE	F.O.	FACE OF	O.H.	OVERHEAD
AVB	AIR / VAPOUR BARRIER	F.R.R.	FIRE RESISTANCE RATING	OPP.	OPPOSITE
BLDG.	BUILDING	GA.	GUAGE	P.LAM.	PLASTIC LAMINATE
BLKG.	BLOCKING	G.W.B.	GYPNUM WALLBOARD	PLBG.	PLUMBING
BRG.	BEARING	G.C.	GENERAL CONTRACTOR	PREFIN.	PREFINISH
B.S.	BOTH SIDES	GL.	GLASS	PRES.	PRESSURE TREATED
B. TO B.	BACK TO BACK	H.	HEIGHT	PTD.	PAINTED
C.B.	CATCH BASIN	H.M.	HOLLOW METAL	PL.	PROPERTY LINE
C.G.	CORNER GUARD	HORIZ.	HORIZONTAL	R., RAD.	RADIUS
C.J.	CONTROL JOINT	HR.	HOUR	R.D.	ROOF DRAIN
CLG.	CEILING	H.S.D.G.	HERMETICALLY SEALED DOUBLE GLAZING	REINF.	REINFORCED
COL.	COLUMN	HSS.	HOLLOW STEEL SECTION	REQD.	REQUIRED
CONC.	CONCRETE	H.S.T.G.	HERMETICALLY SEALED TRIPLE GLAZING	REV.	REVISION, REVISED
CONN.	CONNECTION	HT.	HEATING VENTILATING, AIR CONDITIONING	R.O.	ROUGH OPENING
CONT.	CONTINUOUS	H.V.A.C.		SIM.	SIMILAR
CORR.	CORRIDOR	I.D.	INSIDE DIAMETER	SPCD.	SPECIFIED
CW	COMPLETE WITH	I.F.	INSIDE FACE	SQ.	SQUARE
Ø	DIAMETER OR ROUND	INSUL.	INSULATION	STD.	STANDARD
DIM.	DIMENSION	INT.	INTERIOR	STL.	STEEL
DN.	DOWN	L.	LENGTH	STRUCT.	STRUCTURAL
DRWG.	DRAWING	m	METRE	SUSP.	SUSPENDED
DTL.	DETAIL	mm	MILLIMETRE	TEMP.	TEMPERED
EL.	ELEVATION	M.B.	MOISTURE BARRIER	T.G.	TEMPERED GLASS
E.W.	EACH WAY	MATL.	MATERIAL	T.O.	TOP OF
EA.	EACH	MAX.	MAXIMUM	TYP.	TYPICAL
ELEC.	ELECTRICAL	MDF.	MEDIUM DENSITY FIBREBOARD	U/N	UNLESS OTHERWISE NOTED
EQ.	EQUAL	MECH.	MECHANICAL	U/S	UNDER SIDE
EQUIP.	EQUIPMENT	MET.	METAL	VERT.	VERTICAL
EQUIP.	EQUIPMENT	MIN.	MINIMUM	W.	WIDE OR WIDTH
E.J.	EXPANSION JOINT	MISC.	MISCELLANEOUS	W/	WITH
EXT.	EXTERIOR	M.O.	MASONRY OPENING	WD.	WOOD

**SYMBOL LEGEND:**

WALL TYPES	
WINDOW TYPES	
KEY NOTES	
NEW DOOR & DOOR NUMBERS	
EXISTING DOOR TO REMAIN	
EXISTING DOOR TO BE REMOVED	
EXISTING WALL TO BE REMOVED	
EXISTING WALL TO REMAIN	
NEW WALL	

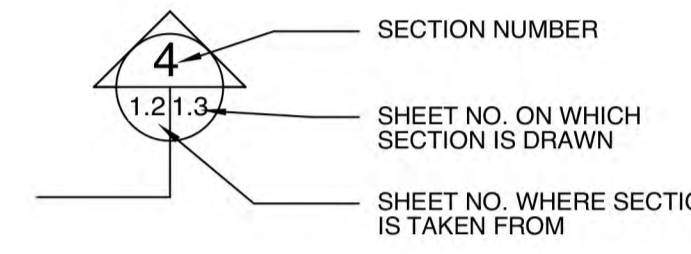
**GENERAL NOTES:**

- THESE DRAWINGS SHALL NOT BE SCALED.
- CONTRACTOR SHALL SATISFY THEMSELVES THAT ALL DIMENSIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT PRIOR TO COMMENCING WORK.
- DIMENSIONS ARE TO GRID LINES, FACE OF FINISH, EXISTING CONCRETE OR CONCRETE BLOCK UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE APPROXIMATE, BASED ON RECORD DRAWINGS AND SITE MEASUREMENTS.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
- ALL PLYWOOD OR WOOD BLOCKING USED BELOW OR AT GRADE TO BE PRESSURE TREATED.
- COMPENSATION WILL NOT BE MADE BECAUSE OF FAILURE TO MAKE PROPER SITE INVESTIGATIONS & REPORTING ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO TENDER CLOSING OR TO UNDERSTAND FULL NATURE OF WORK.
- GENERAL CONTRACTOR TO CO-ORDINATE AND PROVIDE ALL SOLID BLOCKING TO SUPPORT SURFACE MOUNTED FIXTURES AND FITTINGS, IN CONTRACT AS WELL AS FOR N.I.C. ITEMS IN COORDINATION WITH THE OWNER.
- CONTRACTOR TO REMOVE ALL DEMOLITION ITEMS FROM SITE UNLESS OTHERWISE INSTRUCTED BY THE CITY OF WINNIPEG, OR INDICATED ON DRAWINGS.
- CONTRACTOR TO REPLACE ANY ITEMS TEMPORARILY MOVED IN THE COURSE OF CONSTRUCTION WORK.
- CONTRACTOR TO REPAIR ANY ITEMS DAMAGED DURING THE COURSE OF CONSTRUCTION WORK.
- CONTRACTOR TO PATCH, FILL, PAINT AND MAKE GOOD ALL AREAS WHERE NEW WORK HAS OCCURRED IN EXISTING BUILDINGS.
- PATCH AND MAKE GOOD ALL WALL FINISHES AFFECTED BY DEMOLITION, INCLUDING REMOVAL OF MECHANICAL OR ELECTRICAL EQUIPMENT OR GRILLES.
- ANY SIDEWALKS, EXTERIOR OR FINISH WORK DAMAGED DURING RENOVATION ARE TO BE REPAIRED AND/OR REPLACED.
- THE GYPSUM JOINT COMPOUND CONTAINS ASBESTOS AND WILL HAVE TO BE REMOVED BY A CERTIFIED HAZARDOUS WASTE COMPANY FOR ALL AREAS OF DEMOLITION.

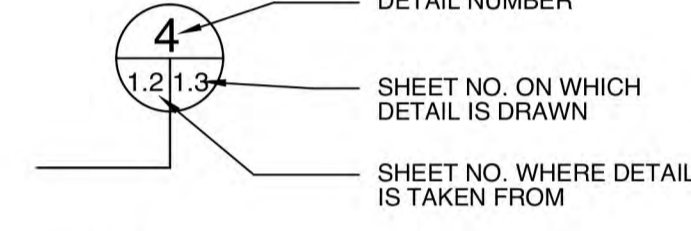
**LIST OF DRAWINGS**

- A1.1 BUILDING CODE REVIEW, SITE PLAN, KEY PLAN, LIST OF DRAWINGS AND NOTES
- A2.1 DEMOLITION - FLOOR PLAN
- A2.2 RENOVATION - FLOOR PLAN / REFLECTED CEILING PLAN
- A3.1 SECTIONS AND PLAN DETAILS
- A4.1 INTERIOR ELEVATIONS
- A5.1 SCHEDULES
- M1.0 MECHANICAL MAIN FLOOR PLAN - DEMO
- M2.0 MECHANICAL MAIN FLOOR PLAN - PLUMBING
- M3.0 MECHANICAL MAIN FLOOR PLAN - HVAC
- M4.0 MECHANICAL SPECIFICATION
- M4.1 MECHANICAL SPECIFICATION
- E1.0 ELECTRICAL - KEY PLAN AND DEMOLITION LAYOUT
- E2.0 ELECTRICAL - RENOVATION LAYOUT AND SCHEDULES

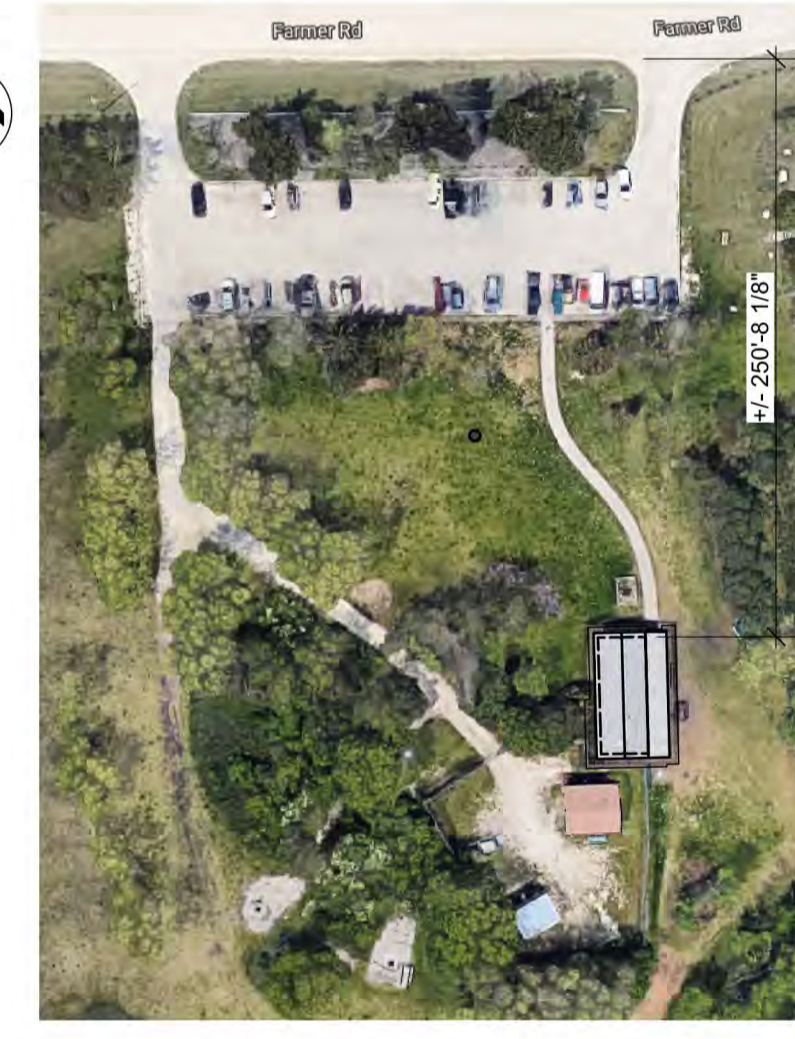
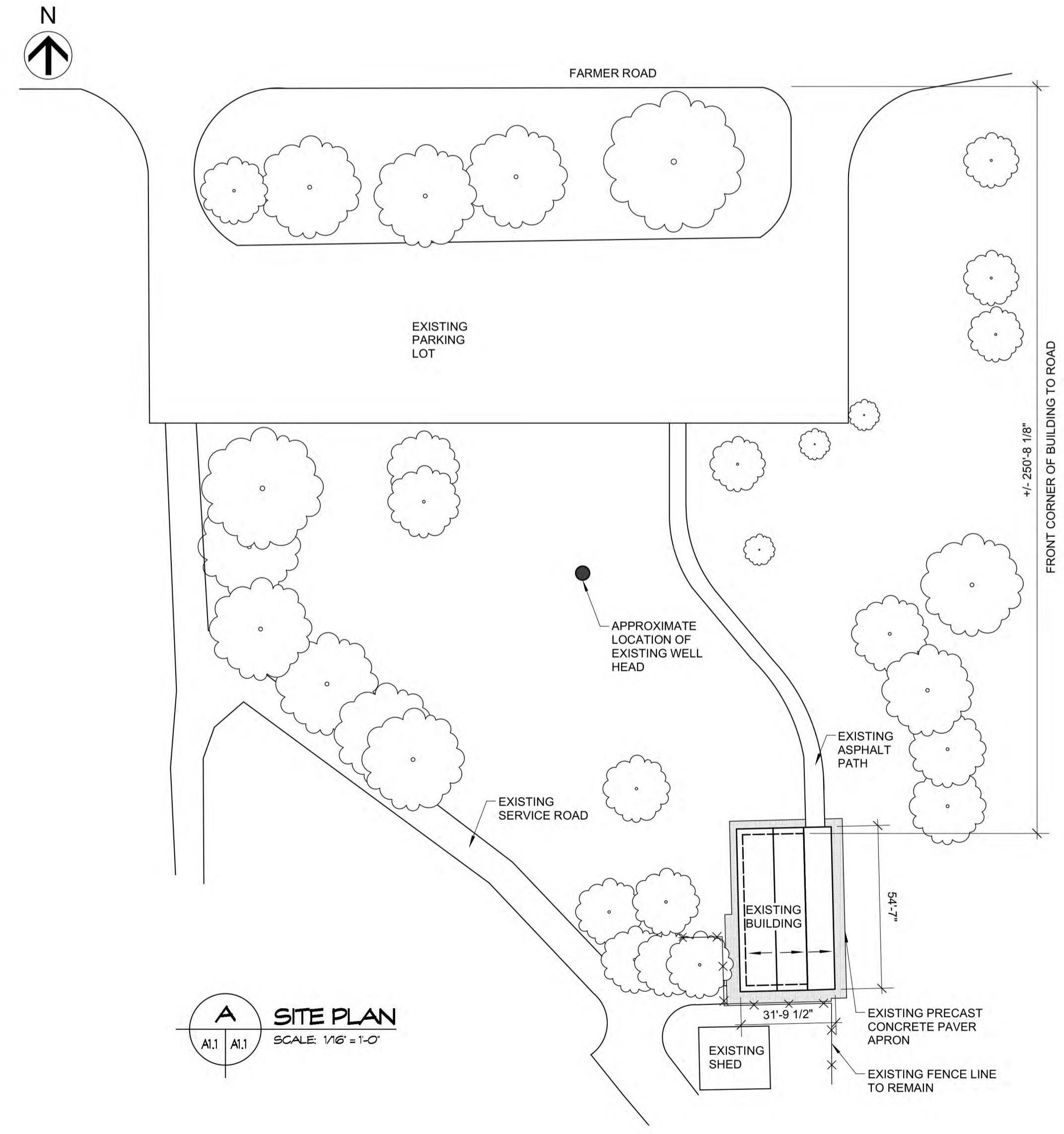
**WALL SECTION**



**DETAILS**



**TITLES**



**B KEY PLAN**  
 SCALE: 1/500

**LEGAL DESCRIPTION:**  
 CERTIFICATE OF TITLE NO A 75873, DATED NOVEMBER 1, 1966  
 N.W. 1/4 SEC. 27-TWP. 11-RGE 2 E.P.M.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONSULTANT. NO REPRODUCTIONS MAY BE MADE WITHOUT THE CONSENT OF THE CONTRACT ADMINISTRATOR AND ALL REPRODUCTIONS MUST BEAR THE NAME OF THE CONTRACT ADMINISTRATOR. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS NOTED ON THE DRAWINGS WITH THE CONDITIONS ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY ERRORS OR OMISSIONS TO THE ENGINEER FOR ADJUSTMENTS. THIS DRAWING SHALL NOT BE SCALED.

Revisions

July 24, 2019	Issued for Construction
Date	Revision

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 NORTHERN SKY ARCHITECTURE INC.  
 No. 031  
 APPLIED ARCHITECTURAL CORPORATION

Stamp

PROVINCE OF MANITOBA  
 DONALD K. OLIVER  
 24/7/19  
 REGISTERED ARCHITECT

Project City of Winnipeg  
**Washroom/Change Building Renovations**  
 64093 Klmpke Road  
 R.M. Rosser, Manitoba

drawing title: **BUILDING CODE REVIEW, SITE PLAN, KEY PLAN, LIST OF DRAWINGS AND NOTES**

scale	as noted	designed by	kdw
date	July, 2019	drawn by	jls
project no.	19.166	reviewed by	dko
reference no.		sheet	A1.1 REV.