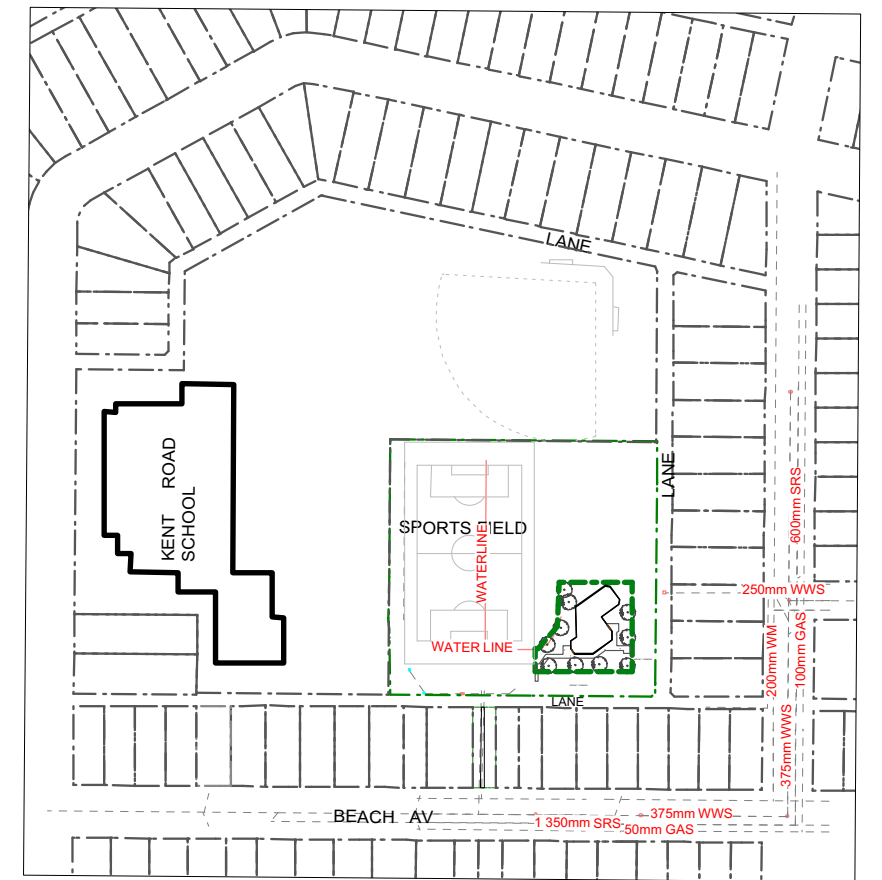


- Excavate and Legally Dispose of Existing Peastone Safety Surface Outside of Proposed Play Area (71 CM)
- Excavate and Legally Dispose of Existing Peastone, Earth and Sand Within Proposed Play Area. (22 CM)
- Salvage and Stockpile Portion of Existing Peastone for Use as Additional Drainage Material (47 CM)
- Existing Chain Link Fence to Remain
- Remove Two (2) Line Posts and Fabric to Allow for Construction of New Baffle Gate as per SCD-633
- ASPHALT PARKING
- Existing Chain Link Fence to Remain

PROPERTY LINE



KEY PLAN - NTS



CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION. LOCATION OF UNDERGROUND STRUCTURES AS SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL SERVICES MUST BE OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.

THE CITY OF WINNIPEG  
 Planning, Property and Development Department  
 Planning and Land Use Division  
 Unit 15 - 30 Fort Street, Winnipeg, MB, (R3C 4X5)

DESIGNED BY	IM	CHECKED BY	
DRAWN BY	IM	APPROVED BY	
HORIZ. SCALE			
VERT. SCALE	1:200		
DATE	July 2019		

MANAGER, PARK AND OPEN SPACES	DATE
MANAGER, PLANNING AND LAND USE DIVISION	DATE

DRAWING TITLE  
**Former East Elmwood CC  
 Playground Redvelopment  
 Existing Conditions and Removals**

SITE ADDRESS 927 Beach Avenue

DRAWING NO.  
**E16-F2**

BID OPPORTUNITY NO.  
**739-2019**