

QCA BUILDING ENVELOPE LIMITED  
P.O. BOX 23119 RPO  
MCGILLVARY BLVD, WINNIPEG, MB

CITY OF WINNIPEG  
WINNIPEG, MANITOBA

**GENERAL NOTES:**

- CONTRACTOR TO VISIT SITE DURING TENDER & VERIFY ALL EXISTING SERVICES ON-SITE PRIOR TO SUBMITTING TENDER. REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR DURING TENDER PERIOD.
- CONTRACTOR SHALL ENSURE COORDINATION BETWEEN ALL TRADES & CONSULTANT, ON AND OFF-SITE, AS REQUIRED FOR INSTALLATION OF MECHANICAL SYSTEMS. WHERE REROUTING OF PIPING AND OR ELECTRICAL OR ADDITIONAL WORK REASONABLY INCIDENTAL TO ORIGINAL DESIGN INTENT IS REQUIRED, IT SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE CITY OF WINNIPEG.
- THE CONTRACTOR SHALL INCLUDE THE FURNISHING OF ALL LABOUR, NEW MATERIALS, EQUIPMENT AND INSTALLATION OF EQUIPMENT AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE COMPLETE INSTALLATION OF THE WORK SHOWN AND DESCRIBED ON THIS AND OTHER DRAWINGS AND TO THE SATISFACTION OF THE CITY OF WINNIPEG.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR REQUIRED WORK AND PAY ALL FEES.
- WORKS SHALL BE PERFORMED IN ACCORDANCE TO ALL APPLICABLE LOCAL CODES, STANDARDS AND REGULATIONS.
- RESPONSIBILITY TO DETERMINE WHICH DIVISION OR SECTION PROVIDES VARIOUS PRODUCTS AND WORK, REST WITH THE CONTRACTOR. ADDITIONAL COMPENSATION WILL NOT BE CONSIDERED BECAUSE OF DIFFERENCES IN INTERPRETATION OF TECHNICAL PROVISIONS.
- CONTRACTOR SHALL KEEP AN ONGOING SET OF AS-BUILT ON SITE FOR REVIEW BY THE CITY OF WINNIPEG OR CONSULTANT AT ANY TIME.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGING NEW AND EXISTING EQUIPMENT.
- REVIEW EQUIPMENT LOCATIONS WITH CONSULTANT PRIOR TO INSTALLATION.
- WORKMANSHIP SHALL BE A BEST QUALITY, EXECUTED BY WORKERS EXPERIENCE AND SKILL IN THEIR RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED.
- CONTRACTOR SHALL PROVIDE MEANS OF PROPER REMOVAL AND DISPOSAL OF ALL WASTE MATERIALS.
- CONTRACTOR SHALL NOTIFY CONSULTANT OF ALL CONDITIONS UNCOVERED DURING DEMOLITION WHICH MAY ADVERSELY AFFECT THE INSTALLATION OR PERFORMANCE OF NEW CONSTRUCTION OR FINISHES.
- CONTRACTOR IS RESPONSIBLE TO STORE ANY MECHANICAL UNITS CRANED OFF ROOF, OR ROOFING MATERIAL IN A SAFE LOCATION PROTECTED FROM DAMAGE, VANDALISM, THE WEATHER (IF REQUIRED.), OR THEFT BY MEANS OF FENCING, PROTECTIVE COVERS, ETC. CONFIRM STORAGE WITH CONSULTANT.
- VERIFY ALL DIMENSIONS ON-SITE PRIOR TO ORDERING MATERIAL(S), FABRICATION & COMMENCING CONSTRUCTION.
- ON-SITE CONDITIONS MAY VARY FROM THAT SHOWN. CONTRACTOR TO VERIFY ALL CONDITIONS & REPORT ANY DISCREPANCIES TO CONSULTANT.
- COORDINATE ALL WORK WITH SITE PERSONNEL.
- ASSEMBLIES & MATERIALS MUST BE PROTECTED FROM MOISTURE AT ALL TIMES.
- CONTRACTOR(S) TO FOLLOW THE CITY OF WINNIPEG'S SITE SECURITY & HEALTH REQUIREMENTS AT ALL TIMES.
- INTERRUPTIONS MUST BE COORDINATED WITH THE OWNER & MAY REQUIRE SCHEDULING OUTSIDE OF REGULAR WORKING HOURS.

**DEMOLITION NOTES:**

- STRIP & REMOVE ROOFING ASSEMBLY TO EXPOSE DECKING.
- REMOVE, STORE & PROTECT EXISTING FLASHINGS, VENTS COORDINATE WORK WITH MECHANICAL & ELECTRICAL.
- ROOF DRAINS TO BE MODIFIED WITH NEW INSERTS COORDINATE WITH MECHANICAL. CHECK DRAIN PIPE FOR OBSTRUCTIONS & CLEAR. PROTECT FROM DEBRIS DURING DEMO & RENOVATION.
- PLUMBING VENT STACKS TO BE HARD PLUMBED & EXTENDED AS REQUIRED TO FACILITATE NEW SPUN-ALUM. FLASHINGS.
- REMOVE EXISTING METAL COUNTER-FLASHING & MEMBRANE(S) TO EXPOSE EXISTING CURBS AT MECHANICAL UNITS, DUCTS & CURBING.
- REMOVE & STORE FOR RE-USE EXISTING METAL PARAPET SIDING, DRIP, & COPING. PREPARE SUBSTRATES FOR NEW MEMBRANE.
- ROOF LEVEL PENETRATIONS & COMPONENTS AS SHOWN ARE DIAGRAMMATIC. EXACT QUANTITIES & LOCATIONS MUST BE SITE CONFIRMED.
- ALL DAMAGE(S) AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO CONTRACT.
- DISCONNECT & REMOVE EXISTING GOOSENECKS, VENTS & DUCTS AS REQUIRED TO ACCOMMODATE NEW ROOFING MODIFICATIONS. PROTECT DURING CONSTRUCTION.

**KEYNOTE LEGEND:**

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|------------------------|------------------------|
| 1. CORE SAMPLE         | 19. FLAG POLE          |
| 2. CHIMNEY             | 20. ELEC. MAST         |
| 3. A/C UNIT            | 21. COOLING TOWER      |
| 4. SIGN SUPPORT        | 22. SPLASH PAN         |
| 5. VENTILATOR          | 23. SPLASH PAN         |
| 6. VENT PIPE           | 24. DOWN SPOUT         |
| 7. EXISTING ROOF DRAIN | 25. BACK SLOPE         |
| 8. SKYLIGHT            | 26. CANT               |
| 9. EAVESTROUGH         | 27. SLOPE TO DRAIN     |
| 10. PLUMBING STACK     | 28. CRICKET            |
| 11. ANTENNA            | 29. WIDE FLASHING      |
| 12. LADDER             | 30. SAFETY ANCHOR      |
| 13. ATTIC VENT         | 31. LIGHT POLE         |
| 14. ROOF HATCH         | 32. GARAGE EXHAUST FAN |
| 15. SCUPPER            | 33. EXHAUST FAN        |
| 16. PITCH BOX          | 34. GOOSE NECK         |
| 17. HVAC UNIT          | 35. EXHAUST VENT       |
| 18. CAPPED CURB        | 36. OVERFLOW SCUPPER   |

**NOTES:**

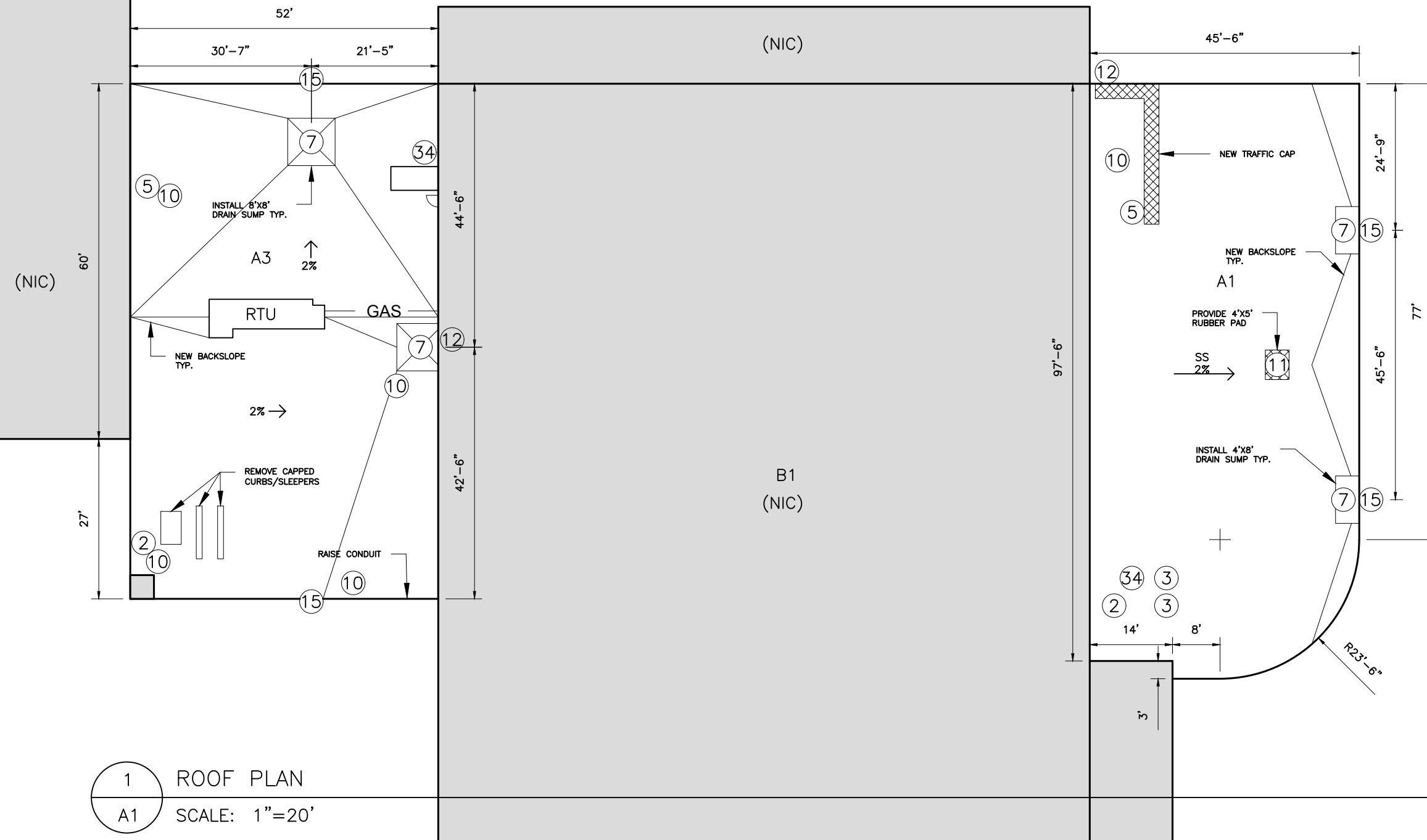
- ALL ROOF CURBS TO BE MINIMUM 8" ABOVE FINISHED ROOF SURFACE
- DRAINS LOCATED BETWEEN 2' TO 3' OF PARAPET
- A3 SLOPE IS UNKNOWN (APPRX. 1%)

**EXISTING ASSEMBLY:**

- A1: (CONVENTIONAL BUR)  
 - STEEL DECK  
 - FELT VAPOUR BARRIER  
 - 8" EPS INSULATION  
 - 1 LAYER 1/2" FIBREBOARD  
 - 4-PLY + GRAVEL
- A2: (CONVENTIONAL BUR)  
 - WOOD DECK  
 - FELT VAPOUR BARRIER  
 - 3" FIBREBOARD  
 - 4-PLY + GRAVEL

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OTHER SITE CONDITIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DISCREPANCIES, ERRORS, OR OMISSIONS ARE TO BE REPORTED TO QCA BUILDING ENVELOPE LIMITED PRIOR TO PROCEEDING WITH WORK.

PROJECT NAME: PARTIAL ROOF REPLACEMENT AT FORT ROUGE LEISURE CENTRE	
ADDRESS: 625 OSBORNE STREET, WINNIPEG, MB	
DRAWING: 305-2021_DRAWING_ROOFPLAN-A1-RO	
DATE: 2021 03 12	DRAWN BY: BH
PROJECT NUMBER: 305-2021	REVISION: RO
SCALE: AS NOTED	SHEET NO: A1



1 ROOF PLAN  
A1 SCALE: 1"=20'