

PRIME CONSULTANT:



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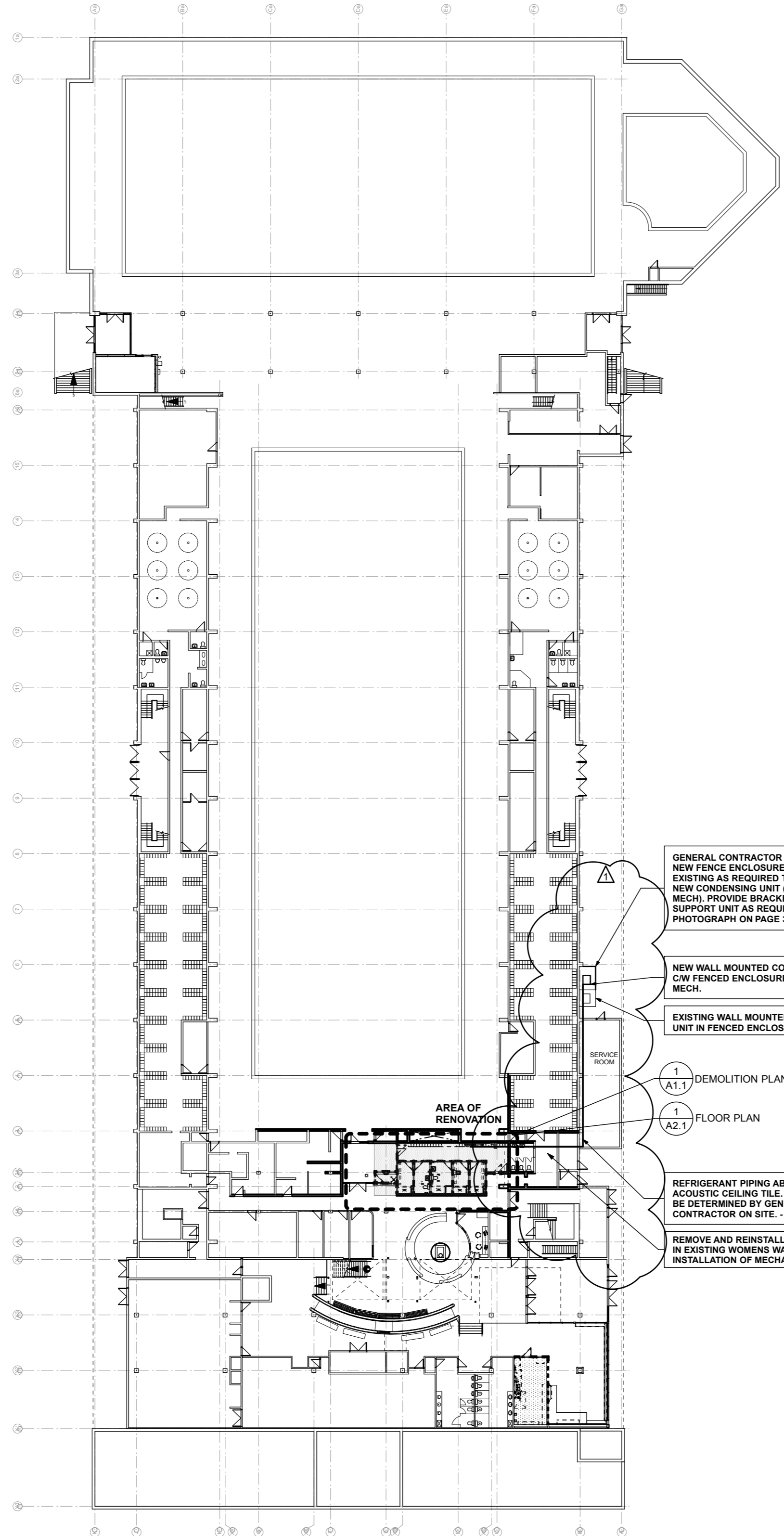
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ABBREVIATIONS

A/FL	ABOVE FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
BLDG	BUILDING
BM	BEAM
BOT. BTM	BOTTOM
B.S	BOTH SIDES
BTWN	BETWEEN
C.I.P	CAST IN PLACE
CL	CENTER LINE
C.P	CENTER POINT
C.L.F	CHAIN LINK FENCE
COL	COLUMN
C/W	COMPLETE WITH
CONC	CONCRETE
C.B	CONCRETE BLOCK
CJ	CONTROL JOINT
D	DEEP
DTL	DETAIL
DN	DOWN
DWG, DRWG	DRAWING
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRICAL
EPOX	EPOXY
EQ	EQUAL
EQUIP	EQUIPMENT
EXP	EXPOSED
EXT	EXTERIOR
FD	FLOOR DRAIN
F.H.C	FIRE HOSE CABINET
FIN	FINISH
FLR, FL	FLOOR
GA	GAUGE
GALV	GALVANIZED
GLUM	GALVALUME
G.C	GENERAL CONTRACTOR
GL	GRID LINE
GWB	GYPSUM WALL BOARD
H.W	HAZARDOUS WASTE
H	HIGH
H.D	HEAVY DUTY
HT	HEIGHT
H.M	HOLLOW METAL
HOR, HORIZ	HORIZONTAL
HR	HOUR
HSS	HOLLOW STEEL SECTION
HYDR	HYDRAULIC
I.D	INSIDE DIAMETER
IF	INSIDE FACE
INT	INTERIOR
INSUL	INSULATION
L.W	LIGHT WEIGHT
LOC	LOCATION
MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
MISC	MISCELLANEOUS
M.O.	MASONRY OPENING
MR	MIRROR
MTL	METAL
N.I.C	NOT IN CONTRACT
O.C	ON CENTER
O.D	OUTSIDE DIAMETER
O.F	OUTSIDE FACE
O.H	OVERHEAD
OPNG	OPENING
O.W.S.J	OPEN WEB STEEL JOIST
PL	PLATE
PLAM	PLASTIC LAMINATE
PLYW	PLYWOOD
PNL	PANEL
PREFIN	PREFINISHED
PS	PRESSED STEEL
PTD, PT	PAINTED, PAINT
R/CONC	REINFORCED CONCRETE
R.D.	ROOF DRAIN
REINF	REINFORCED
RM	ROOM
R.O.	ROUGH OPENING
SHWR	SHOWER
SIM	SIMILAR
SLP	SLOPE
SPEC'D	SPECIFIED
S.S	STAINLESS STEEL
ST, STL	STEEL
STO, STOR	STORAGE
STRUC	STRUCTURAL
STRUC SURF MTD	STRUCTURAL SURFACE MOUNTED
SUSP	SUSPENDED
TH	THICK / THICKNESS
T.O.	TOP OF
T.O.C.	TOP OF CONCRETE
TYP	TYPICAL
U/F	UNDER FLOOR
U/G	UNDER GROUND
U/S	UNDER SIDE
V.B	VAPOUR BARRIER
VEH	VEHICLE
VERT	VERTICAL
VEST	VESTIBULE
W	WIDE
W/	WITH
W.MEM	WATERPROOFED MEMBRANE
W.T.	WEAVING TILE

SYMBOLS

	NORTH ARROW
	BUILDING SECTION
	SECTION DETAIL
	WALL SECTION
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	DRAWING TITLE & REFERENCE
	STRUCTURAL GRID
	BENCHMARK ELEVATION
	EXTERIOR WALL TYPE
	INTERIOR WALL TYPES
	SEPARATION WITH F.R.R.
	GLAZING TYPE
	CEILING HEIGHT A.F.F.
	DOOR NUMBER
	ROOM NAME & NUMBER
	KEY NOTE
	REVISION NUMBER
	ELEVATION POINTS IN PLAN
	REFERENCE PHOTO



MAIN FLOOR REFERENCE PLAN
SCALE: NTS
NOTE: DEMOLITION PLAN ONLY.
THE SCOPE OF THE WORK ON THE MAIN FLOOR IS LIMITED TO THE AREA OF RENOVATION INDICATED ON THE REFERENCE PLAN. MECHANICAL AND ELECTRICAL SCOPE OF WORK REQUIRES WORK IN ADDITIONAL AREAS THAN SHOWN ABOVE. - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
REFER TO A1.2 FOR SCOPE OF WORK IN BASEMENT BOILER ROOM

GENERAL CONTRACTOR TO PROVIDE NEW FENCE ENCLOSURE TO MATCH EXISTING AS REQUIRED TO ENCLOSE NEW CONDENSING UNIT (REFER TO MECH). PROVIDE BRACKETS TO SUPPORT UNIT AS REQUIRED. REFER TO PHOTOGRAPHY ON PAGE 03A.2

NEW WALL MOUNTED CONDENSING UNIT C/W FENCED ENCLOSURE - REFER TO MECH.

EXISTING WALL MOUNTED MECHANICAL UNIT IN FENCED ENCLOSURE

1 A1.1 DEMOLITION PLAN
1 A2.1 FLOOR PLAN

REFRIGERANT PIPING ABOVE EXISTING ACOUSTIC CEILING TILE. EXACT ROUTE TO BE DETERMINED BY GENERAL CONTRACTOR ON SITE. - REFER TO MECH.

REMOVE AND REINSTALL EXISTING A.C.T. IN EXISTING WOMEN'S WASHROOM FOR INSTALLATION OF MECHANICAL PIPING

DRAWING LIST

- ARCHITECTURAL**
A0.1 TITLE SHEET, KEY PLAN
A1.1 DEMOLITION PLAN & REFLECTED CEILING PLAN
A1.2 BOILER ROOM PLAN & REFLECTED CEILING PLAN
A2.1 RENOVATION PLAN & REFLECTED CEILING PLAN
A2.2 FLOOR SLOPE PLAN & FINISHES PLAN & SCHEDULES
A3.1 INTERIOR ELEVATIONS
A3.2 DETAILS
- STRUCTURAL**
S1.1 GENERAL NOTES, PARTIAL FLOOR PLANS, AND SECTION
- MECHANICAL**
MP2.1 MAIN FLOOR - PLUMBING DEMOLITION PLAN
MP2.2 MAIN FLOOR - PLUMBING RENOVATION PLAN
MF2.1 MAIN FLOOR - FIRE PROTECTION PLAN
MY2.1 MAIN FLOOR - HYDRONIC RENOVATION PLAN
MH2.1 MAIN FLOOR - HVAC DEMOLITION PLAN
MH2.2 MAIN FLOOR - HVAC RENOVATION PLAN
- ELECTRICAL**
E0.1 ELECTRICAL SYMBOLS AND ABBREVIATIONS
E2.5 ELECTRICAL LAYOUTS - UNIVERSAL CHANGE ROOM

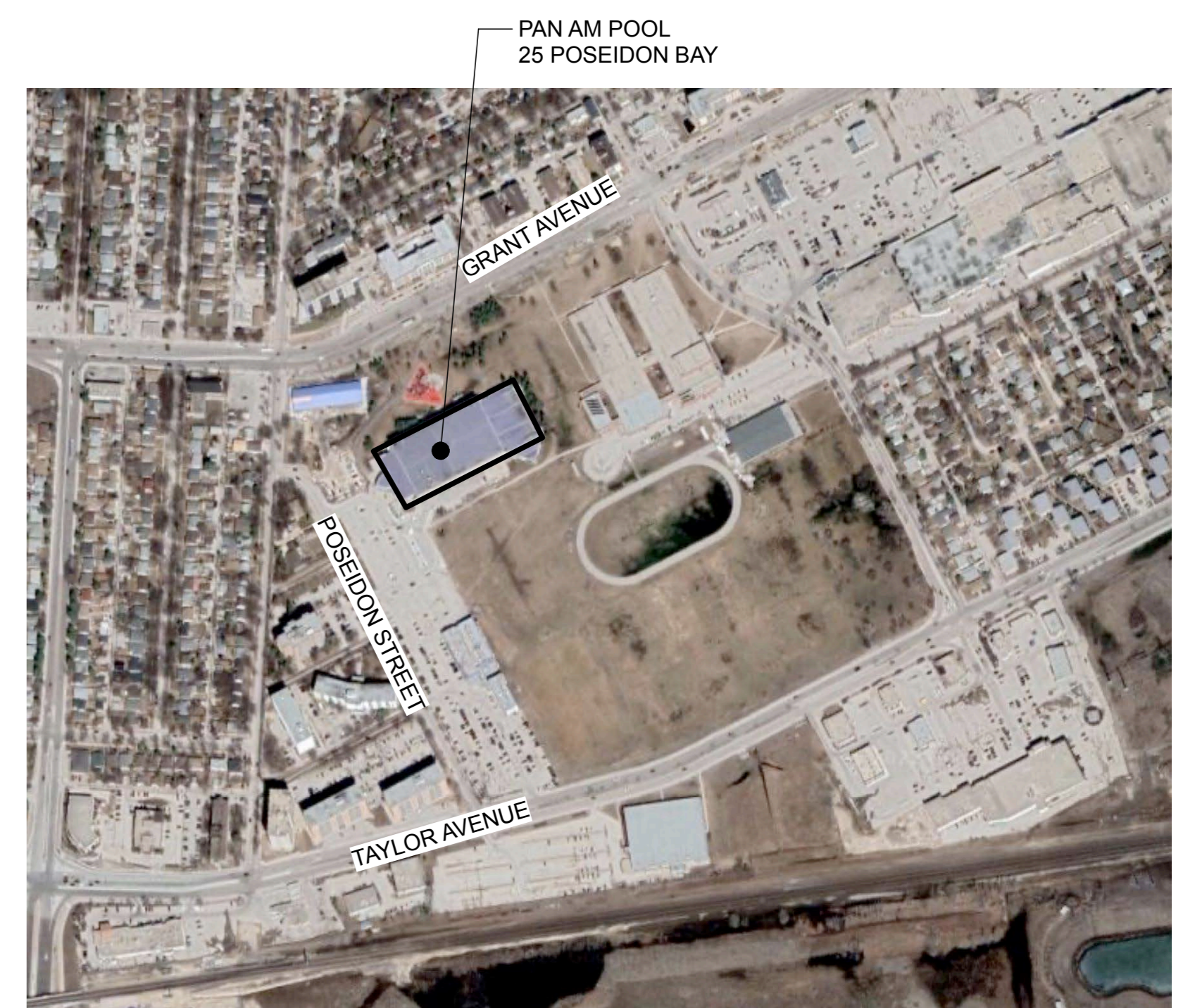
- SCOPE OF WORK**
THE SCOPE OF WORK FOR THE INTERIOR RENOVATIONS TO THE PAN AM POOL CONSISTS OF RENOVATIONS AND RE-CONFIGURATION TO THE EXISTING UNIVERSAL WASHROOMS AREA. THE RENOVATION DOES NOT REDUCE THE OVERALL WATER CLOSET OR LAVATORY COUNT.
- HAZARDOUS MATERIALS**
THIS BUILDING CONTAINS ASBESTOS CONTAINING MATERIALS.
PRIOR TO THE COMMENCEMENT OF THE GENERAL CONTRACTOR BEING ON SITE, AN ASBESTOS ABATEMENT CONTRACTOR WILL REMOVE ANY KNOWN ASBESTOS CONTAINING MATERIALS AND/OR MOLD IN THE SCOPE OF WORK AREA.
IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED DURING THE WORK OF THE CONTRACT, THE CONTRACTOR SHALL STOP ALL WORK AND NOTIFY THE CONTRACT ADMINISTRATOR IMMEDIATELY.
- CODE ANALYSIS**
THE SCOPE OF THIS RENOVATION DOES NOT CHANGE THE USE, OCCUPANT LOAD OR MAJOR OCCUPANCY CLASSIFICATION. IN OUR PROFESSIONAL OPINION, LIFE SAFETY WILL NOT BE AFFECTED BY THIS MODERNIZATION AND INTERIOR ALTERATION.
ALL PENETRATIONS IN RATED ASSEMBLIES ARE TO RECEIVE FIRE STOPPING AND/OR DAMPERS TO MAINTAIN RATINGS. REFER TO DRAWINGS AND SPECIFICATIONS.
FLOORS = 1 HR FRR
WALLS = AS NOTED ON DRAWINGS
- CODE ANALYSIS**
CONTRACT ADMINISTRATOR WILL APPLY FOR AND PAY FOR THE BUILDING PERMIT. ONCE GENERAL CONTRACTOR IS AWARDED THE PROJECT, THE PERMIT WILL BE TRANSFERRED TO THE GENERAL CONTRACTOR'S NAME.
CONTRACTOR TO APPLY FOR AND PAY FOR ALL OTHER PERMITS REQUIRED FOR THE PROJECT.

- GENERAL DRAWING NOTES**
THE DRAWINGS SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.
THE CONTRACTOR SHALL SATISFY THEMSELVES THAT ALL DIMENSIONS, ELEVATIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
- FACE OF MASONRY WALLS
- EXTERIOR FACE OF ALL INTERIOR WALLS
PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR.
VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE CONTRACT ADMINISTRATOR.
ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED.
NO REPRODUCTION OF THE DRAWINGS MAY BE MADE WITHOUT THE WRITTEN CONSENT OF THE CITY OF WINNIPEG AND ALL REPRODUCTION MUST BEAR THE NAME OF THE ARCHITECT
GENERAL CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATOR OF ANY MECHANICAL AND ELECTRICAL APPARATUS APPEARANCE WHICH MAY VARY FROM THAT INDICATED IN THE CONTRACT DOCUMENTS.

PAN AM POOL
UNIVERSAL CHANGE ROOM

BID OPPORTUNITY #878-2021
25 POSEIDON BAY, WINNIPEG, MANITOBA
ISSUED FOR CONSTRUCTION - APRIL 26, 2022

ISSUED FOR ADDENDUM NO. 1 - MAY 20, 2022



SITE PLAN
NOT TO SCALE