

APPENDIX C

LANDS, SITE(S), FACILITY(IES)

SECTION A GENERAL

A1. Definitions

A1.1 When used in the Request for Proposal:

- (a) **“Construction Lands”** means the lands in, under or on, in which the Work is to be performed, and includes the;
 - (i) Winnipeg Transit garage located at 421 Osborne Street;
 - (ii) Winnipeg Transit employee parking lot “E”, PayByPhone Location #204476;
- (b) **“Fort Rouge Garage Site”** all infrastructure located on the property located at 421 Osborne Street as depicted in SECTION E; and
- (c) **“Hydrogen Fueling Station Site”** means the area located on the Fort Rouge Garage Site depicted in SECTION F

SECTION B LANDS

B1. General

B1.1 The legal description for the Lands, including status of title, is set out in SECTION G and SECTION H.

B1.2 This Section B describes existing encumbrances on the Lands including existing utilities, rights of access and rights of use and such encumbrances shall constitute Identified Encumbrances.

B2. Utility Services and Easements

B2.1 Contractor shall take note that:

- (a) The Lands are currently zoned C3. The proposed hydrogen infrastructure is considered “Major Utility Facility” which has limited permitted zoning districts (M2 and M3) and conditional use districts (A, MMU, M1). The City’s Planning, Property and Development Department has indicated that an outdoor hydrogen fueling station is consistent with the current usage of the lands and as such a development permit indicating an accessory use classification with would be considered without needing to rezone the Lands;
- (b) there are natural gas, telephone, internet and electrical utility services at the Lands;
- (c) some of such utility services at the Lands may be underground services;

- (d) connections to the existing water main and sanitary system will be necessary and will require hand digging during installation due to the close proximity to existing services; and
- (e) The site will require grading to ensure it drains to the existing land drainage system.

B2.1 Existing site drawings are available in SECTION E.

B3. Environmental Considerations

B3.1 The property located at 421 Osborne Avenue in Winnipeg, Manitoba is listed on the Manitoba Conservation and Climate "All Sites" list. This list indicates that environmental reports are available for the site.

B4. Hydrogen Fueling Station Site

B4.1 The Hydrogen Station Site forms part of the Construction Lands and is subject to the following construction restrictions:

- (a) no temporary or permanent above-ground structures or surface modifications allowed except for landscaping activities required to provide appropriate land drainage, or to restore existing sidewalks, roadways, or any other above-ground structure to its condition at the Effective Date that may have been damaged during construction;
- (b) no storage of equipment or materials allowed; and
- (c) permanent below-ground modifications are limited to tie-ins to existing underground utilities provided that all Permits, Licenses and Approvals have been received from Governmental Authorities and all Construction Commencement Conditions have been met.

B4.2 A transit bus right-of-way to the South West Transit Corridor is located adjacent to the Hydrogen Fueling Station Site and no activity by Contractor whether for construction or pre-construction inspections, shall unnecessarily hinder, restrict or otherwise interfere with the Winnipeg Transit's access to the South West Transit Corridor.

B4.3 The City zoning requirements for this proposed site require a 25 foot setback from the front of the lot (Osborne Street) and rear (transit corridor). There is no required setback from Brandon Avenue.

B4.4 For outdoor gaseous hydrogen storage installations above 35 kg, minimum clearance distances from the equipment to a number of different exposures must be maintained as per CAN/BNQ 1784-000. The following Table 1 summarizes the applicable exposures for this application and the minimum clearance distances to be maintained:

Table 1: Applicable Exposures and Minimum Clearances

Exposure	Minimum Distance (m)
Buildings or Structures (Sprinklered)	1.5
HVAC Inlets	15.2
Wall Openings	7.6
Aboveground Flammable and Combustible Liquids (above 3,785 Litres (L))	15.2
Public Sidewalks and Parked Vehicles	4.6

B4.5 The proposed site is in accordance with the noted clearances related to the adjacent buildings and public sidewalks.

B4.6 The proposed site is within an existing parking lot. Along with the parking spaces that will be removed for the physical site, additional spaces within a set zone around the proposed storage tanks will also need to be removed to adhere to the requirements of CAN/BNQ 1784-000.

SECTION C LAND DRAINAGE SUBCATCHMENTS

C1. General

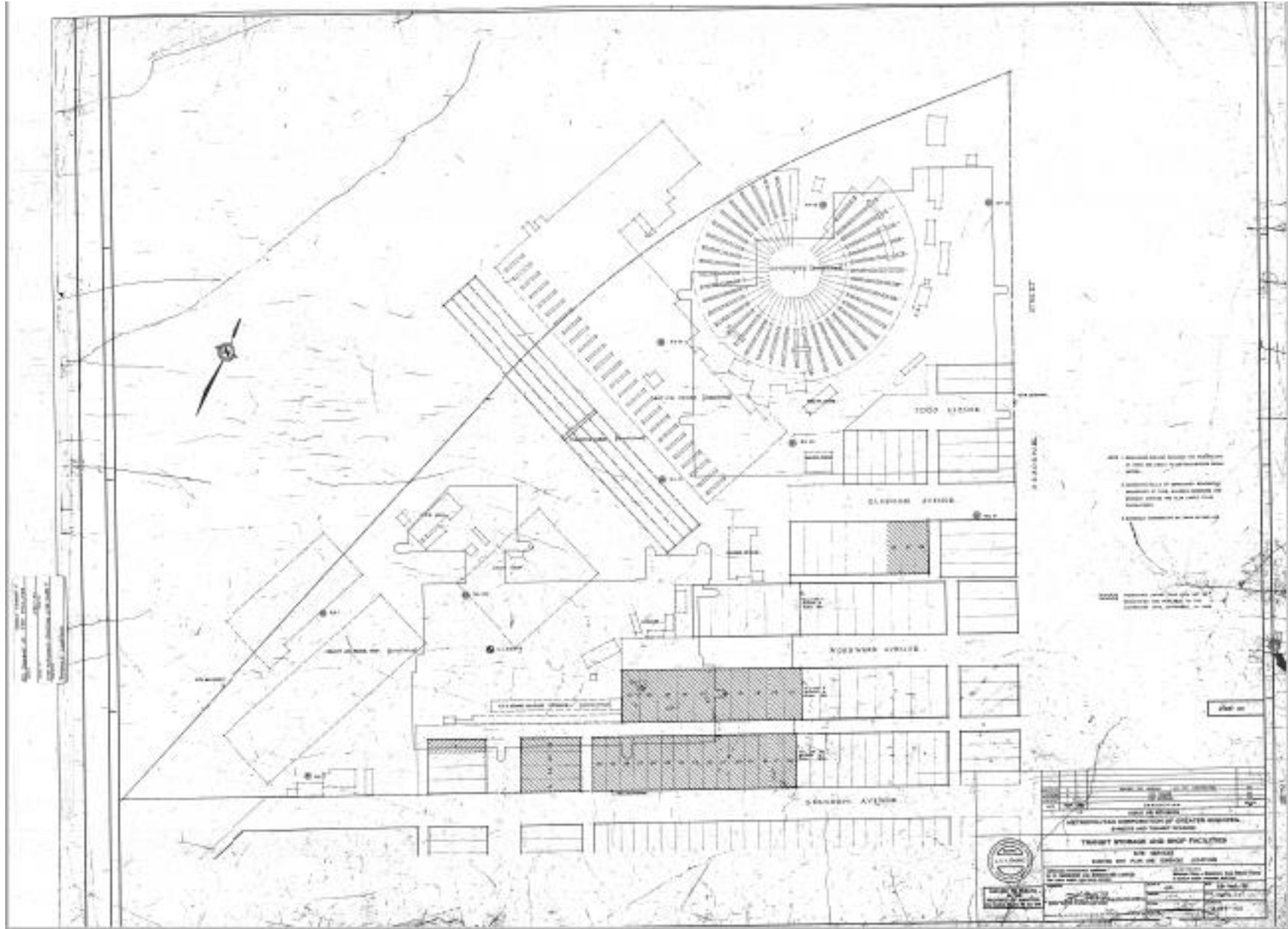
C1.1 The site will require grading to ensure it drains to the existing land drainage subcatchment.

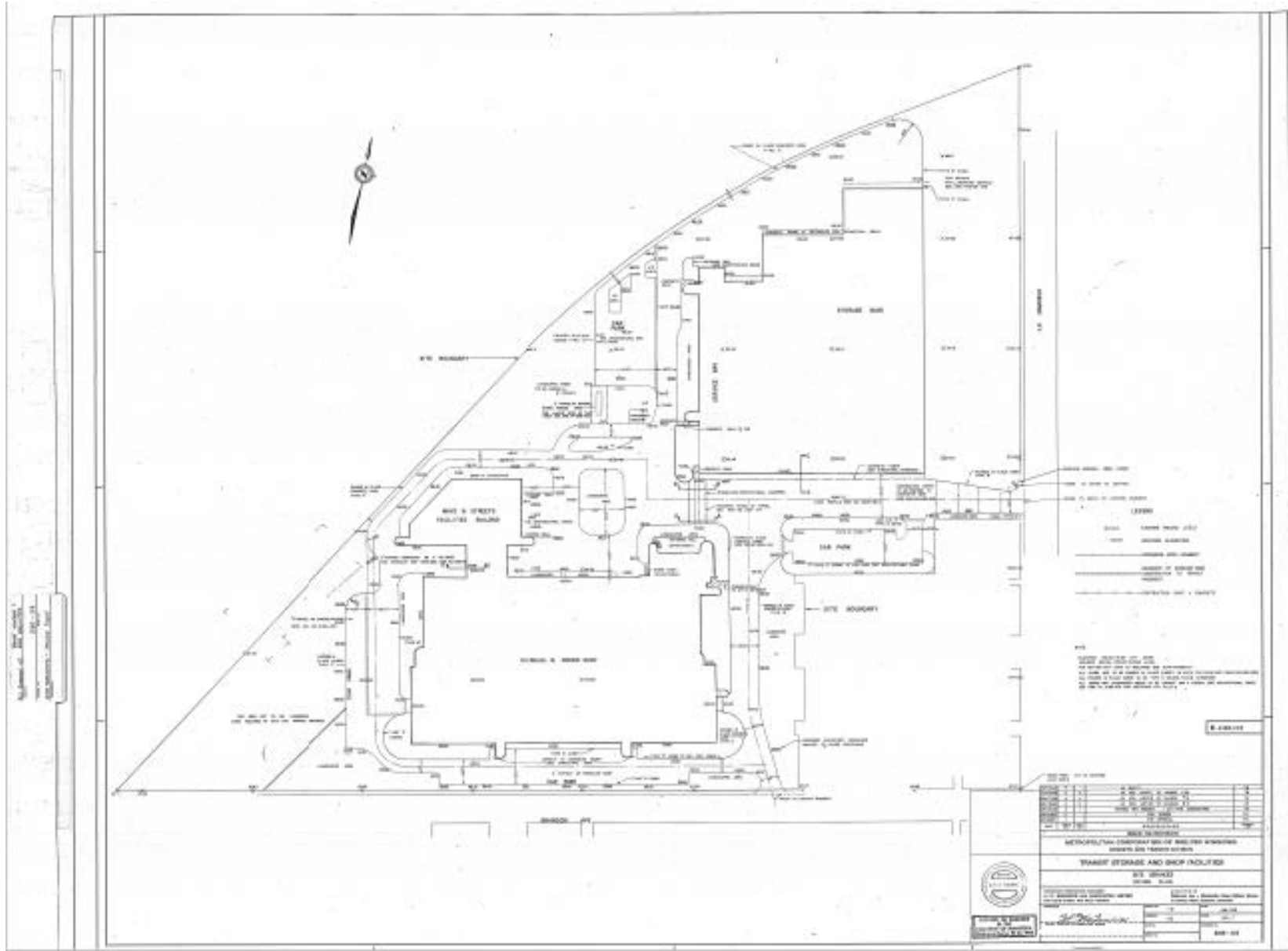
SECTION D CONSTRUCTION LANDS

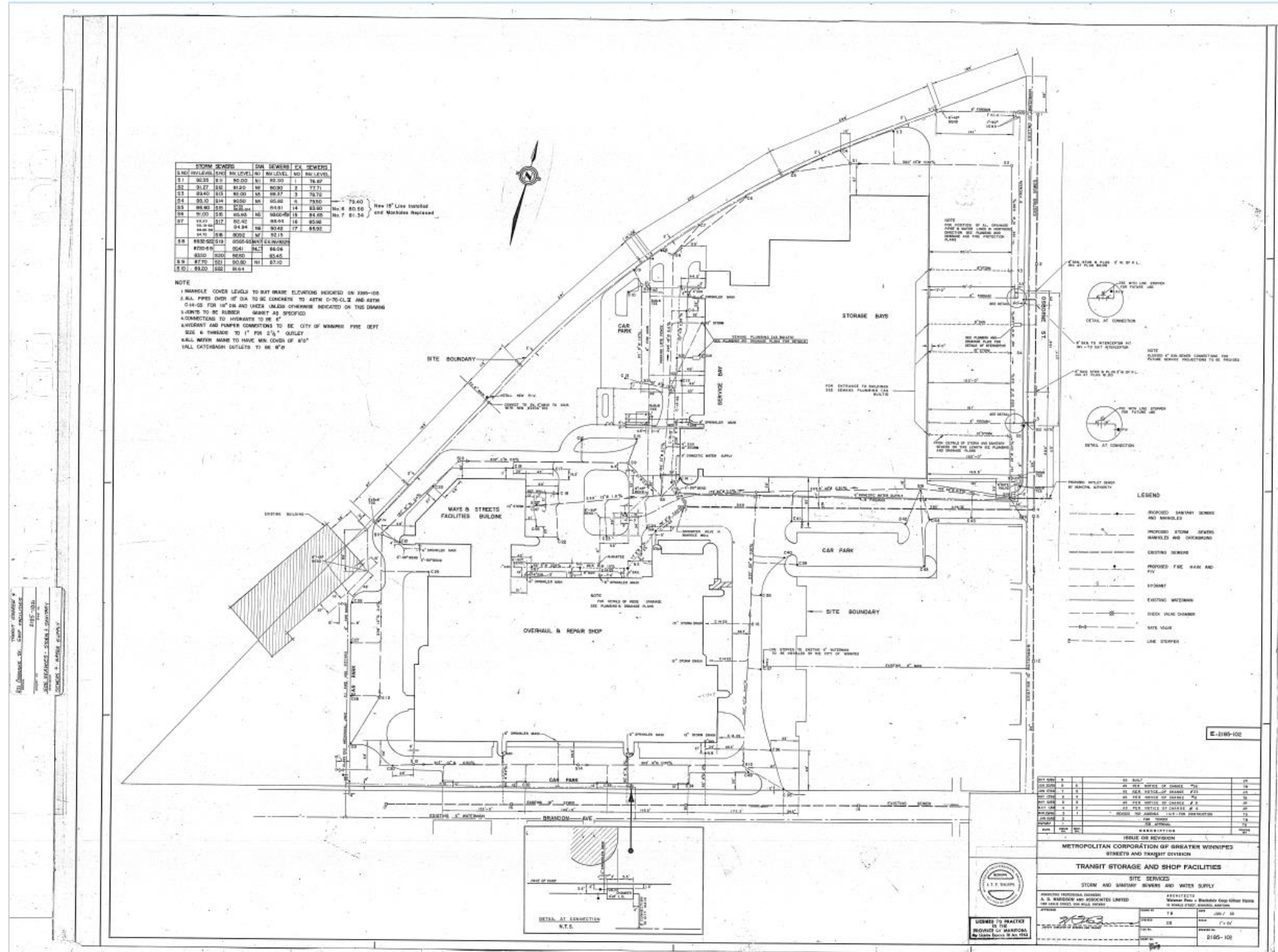
D1.1 All those portions of:

LOTS 1 TO 11, BOTH INCLUSIVE, BLOCK 9 PLAN 319 WLTO (W.DIV) IN RL 27 TO 31 PARISH OF ST BONIFACE, PARCEL 14 AND ALL THOSE PORTIONS OF PARCELS 11 AND 16 PLAN 9757 IN RL 28 TO 31 PARISH OF ST BONIFACE as shown bordered, shaded and identified as “Construction Lands” on a drawing on file in the City’s Planning, Property and Development Department as Misc. Plan No. 15918 attached hereto as SECTION G.

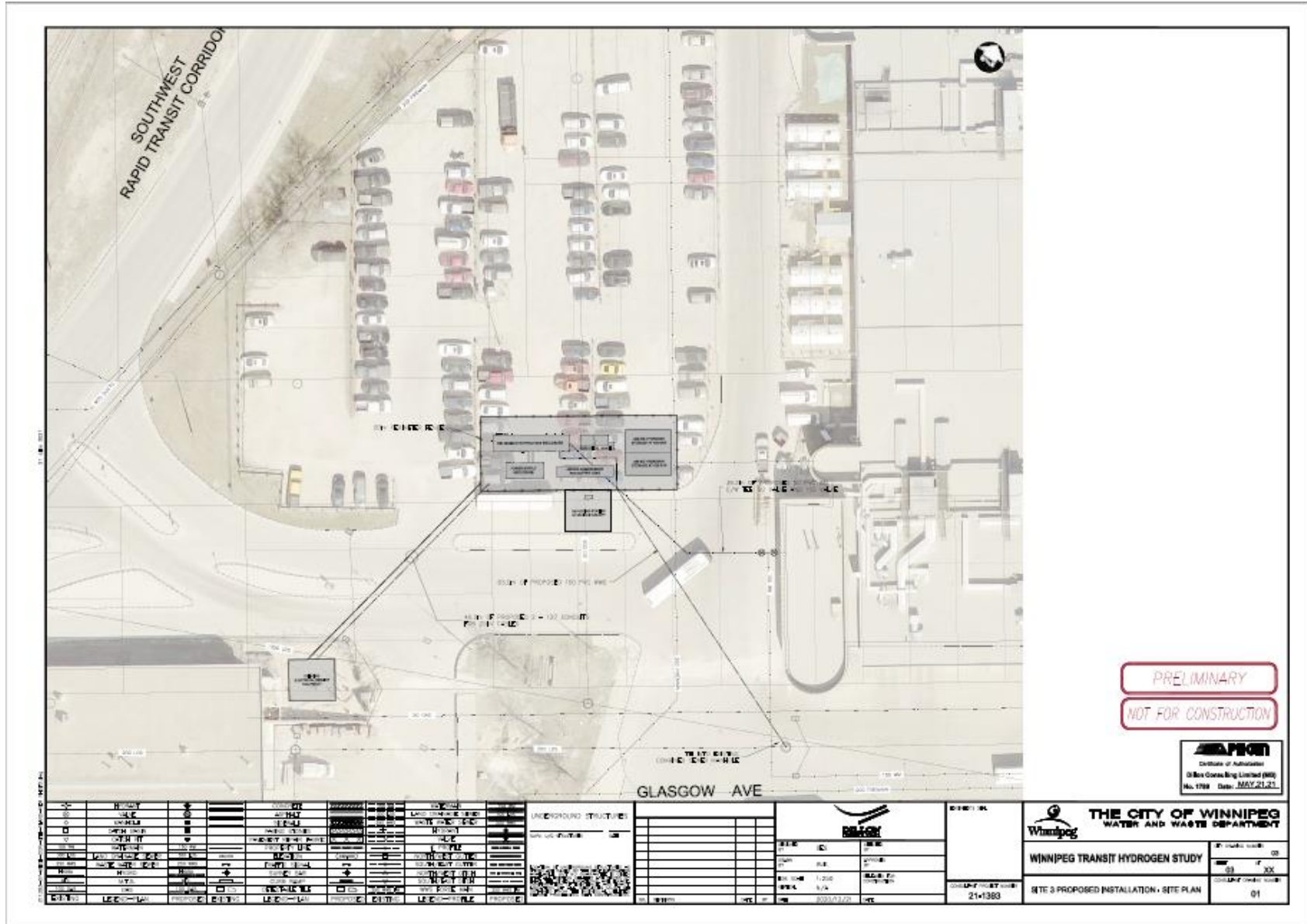
SECTION E SITE DRAWINGS



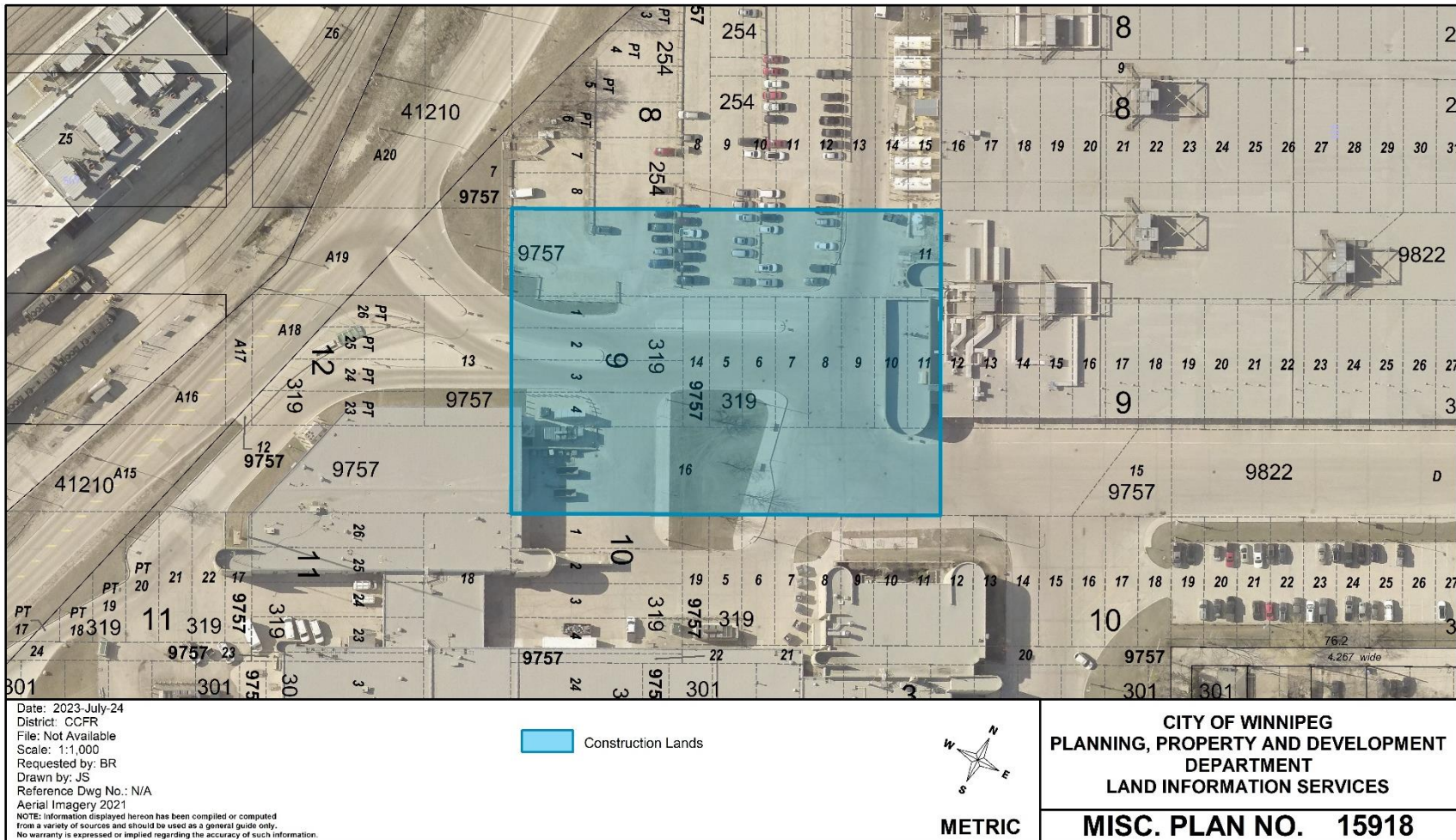




SECTION F HYDROGEN STATION SITE



SECTION G CONSTRUCTION LANDS



SECTION H STATUS OF TITLE 2164866/1

STATUS OF TITLE

Title Number 2164866/1
Title Status Accepted
Client File P9140634

The Property Registry

A Service Provider for the Province of Manitoba



1. REGISTERED OWNERS, TENANCY AND LAND DESCRIPTION

THE CITY OF WINNIPEG

IS REGISTERED OWNER SUBJECT TO SUCH ENTRIES RECORDED HEREON, IN THE FOLLOWING DESCRIBED LAND:

PARCELS TWO, THREE, SIX TO NINE BOTH INCLUSIVE, ELEVEN TO FOURTEEN BOTH INCLUSIVE, SIXTEEN TO NINETEEN BOTH INCLUSIVE AND TWENTY-ONE TO THIRTY-ONE BOTH INCLUSIVE PLAN 9757 WLTO
EXC: OUT OF SAID PARCEL TWENTY-ONE ALL THAT PORTION THEREOF WHICH LIES TO THE EAST OF THE STRAIGHT PRODUCTION NORTHERLY OF THE WESTERN LIMIT OF LOT NINETEEN BLOCK THREE PLAN 301 WLTO (W.DIV.)
IN RL 28 TO 31 PARISH OF ST.BONIFACE

The land in this title is, unless the contrary is expressly declared, deemed to be subject to the reservations and restrictions set out in section 58 of *The Real Property Act*.

2. ACTIVE INSTRUMENTS

Instrument Type: Caveat
Registration Number: 3315052/1
Instrument Status: Accepted

Registration Date: 2006-07-06
From/By: MTS ALLSTREAM INC.
To:

Amount:
Notes: AFF PCL2 WTN R/W PL 45230
Description: EASEMENT

3. ADDRESSES FOR SERVICE

CITY OF WINNIPEG LAW DEPT.
510 MAIN STREET
WINNIPEG MB
R3B 1B9

4. TITLE NOTES

No title notes

5. LAND TITLES DISTRICT Winnipeg
6. DUPLICATE TITLE INFORMATION Duplicate not produced
7. FROM TITLE NUMBERS B19855/1 All
8. REAL PROPERTY APPLICATION / CROWN GRANT NUMBERS No real property application or grant information
9. ORIGINATING INSTRUMENTS Instrument Type: Request Electronic Title Conversion Registration Number: 3315049/1 Registration Date: 2006-07-06 From/By: THE CITY OF WINNIPEG To: Amount:
10. LAND INDEX Lot 2 Plan 9757 IN RL 28 TO 31 ST.BONIFACE Lot 3 Plan 9757 IN RL 28 TO 31 ST.BONIFACE Lot 6 Plan 9757 IN RL 28 TO 31 ST.BONIFACE Lot 7 Plan 9757 IN RL 28 TO 31 ST.BONIFACE Lot 8 Plan 9757 IN RL 28 TO 31 ST.BONIFACE Lot 9 Plan 9757 IN RL 28 TO 31 ST.BONIFACE Lot 11 Plan 9757 IN RL 28 TO 31 ST.BONIFACE

Lot 12 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 13 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 14 Plan 9757
IN RL 28 TO 31 ST.BONIFAC

Lot 16 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 17 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 18 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 19 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 21 Plan 9757
IN RL 28 TO 31 ST.BONIFACE EXC: PART E OF LINE

Lot 22 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 23 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 24 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 25 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 26 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 27 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 28 Plan 9757
IN RL 28 TO 31 SST.BONIFACE

Lot 29 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 30 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

Lot 31 Plan 9757
IN RL 28 TO 31 ST.BONIFACE

CERTIFIED TRUE EXTRACT PRODUCED FROM THE LAND TITLES DATA STORAGE
SYSTEM OF TITLE NUMBER 2164866/1

SECTION I STATUS OF TITLE 2164865/1

STATUS OF TITLE

Title Number 2164865/1
Title Status Accepted
Client File P9140634

The Property Registry

A Service Provider for the Province of Manitoba



1. REGISTERED OWNERS, TENANCY AND LAND DESCRIPTION

THE CITY OF WINNIPEG

IS REGISTERED OWNER SUBJECT TO SUCH ENTRIES RECORDED HEREON, IN THE FOLLOWING DESCRIBED LAND:

ALL THOSE PORTIONS OF LOTS 29 AND 30 BLOCK 6, ALL OF LOTS 37 TO 43 BOTH INCLUSIVE AND ALL THOSE PORTIONS OF LOTS 44 TO 53 BOTH INCLUSIVE IN BLOCK 7, ALL OF LOTS 1 TO 21 BOTH INCLUSIVE IN BLOCK 9, ALL OF LOTS 1 TO 18 BOTH INCLUSIVE IN BLOCK 10, ALL OF LOTS 21 TO 26 BOTH INCLUSIVE AND ALL THOSE PORTIONS OF LOTS 17 TO 20 BOTH INCLUSIVE IN BLOCK 11, AND ALL THOSE PORTIONS OF LOTS 23 TO 26 BOTH INCLUSIVE IN BLOCK 12 PLAN 319 WLTO (W.DIV.) CONTAINED WITHIN THE LIMITS OF PLAN 9757 WLTO IN RL 29 AND 31 PARISH OF ST.BONIFACE
EXC: ALL MINES, MINERALS, MINERAL OILS, PETROLEUM, GAS, COAL, GRAVEL, AND VALUABLE STONE IN, UPON OR UNDER THE SAID LAND, AND THE RIGHT TO ENTER UPON AND REMOVE THE SAME.

The land in this title is, unless the contrary is expressly declared, deemed to be subject to the reservations and restrictions set out in section 58 of *The Real Property Act*.

2. ACTIVE INSTRUMENTS

Instrument Type: **Mechanics Lien**
Registration Number: **253582/1**
Instrument Status: **Verified**

Registration Date: **1978-07-06**
From/By: **NUMBER TEN ARCHITECTURAL GROUP**
Against: **THE CITY OF WINNIPEG**

Amount: **\$25,704.12**
Notes: **No notes**
Description: **No description**

<p>Instrument Type: Caveat Registration Number: 3315051/1 Instrument Status: Accepted</p> <p>Registration Date: 2006-07-06 From/By: MTS ALLSTREAM INC. To:</p> <p>Amount: Notes: LOTS 29&30 WTN PL 45230 Description: EASEMENT</p>
<p>3. ADDRESSES FOR SERVICE</p> <p>CITY OF WINNIPEG LAW DEPT. 510 MAIN STREET WINNIPEG MB R3B 1B9</p>
<p>4. TITLE NOTES</p> <p>No title notes</p>
<p>5. LAND TITLES DISTRICT</p> <p>Winnipeg</p>
<p>6. DUPLICATE TITLE INFORMATION</p> <p>Duplicate not produced</p>
<p>7. FROM TITLE NUMBERS</p> <p>B5806/1 All</p>
<p>8. REAL PROPERTY APPLICATION / CROWN GRANT NUMBERS</p> <p>No real property application or grant information</p>
<p>9. ORIGINATING INSTRUMENTS</p> <p>Instrument Type: Request Electronic Title Conversion Registration Number: 3315048/1</p> <p>Registration Date: 2006-07-06 From/By: THE CITY OF WINNIPEG To: Amount:</p>

10. LAND INDEX

Lot 7 Block 9 Plan 319 -
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 29 Block 6 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 30 Block 6 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 37 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 38 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 39 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 40 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 41 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 42 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 43 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 44 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 45 Block 7 Plan 319
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Lot 46 Block 7 Plan 319
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Lot 47 Block 7 Plan 319
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Lot 48 Block 7 Plan 319
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Lot 49 Block 7 Plan 319
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Lot 50 Block 7 Plan 319
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Lot 51 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 52 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 53 Block 7 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 1 Block 9 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 2 Block 9 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 3 Block 9 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 4 Block 9 Plan 319
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Lot 5 Block 9 Plan 319
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Lot 19 Block 11 Plan 319
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Lot 20 Block 11 Plan 319
W.DIV. - WITHIN LIMITS PLAN 9757 EXC. M&M

Lot 21	Block 11	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M
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Lot 24	Block 11	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M
Lot 25	Block 11	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M
Lot 26	Block 11	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M
Lot 23	Block 12	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M
Lot 24	Block 12	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M
Lot 25	Block 12	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M
Lot 26	Block 12	Plan 319	W.DIV. - WITHIN LIMITS PLAN 9757	EXC. M&M

CERTIFIED TRUE EXTRACT PRODUCED FROM THE LAND TITLES DATA STORAGE SYSTEM OF TITLE NUMBER 2164865/1