

GRADING NOTES

1. ALL WORK TO CONFORM TO CURRENT CITY OF WINNIPEG STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.
2. DIMENSIONS ARE IN **METERS** UNLESS OTHERWISE NOTED.
3. DO NOT SCALE DRAWING.
4. PROTECT EXISTING TREES TO REMAIN, TYP.
5. PAVEMENT SLOPE: DIRECTIONAL SLOPE 5% MAX., CROSS SLOPE 2% MAX., UNLESS OTHERWISE NOTED. REFER TO GRADING PLAN
6. UNLESS OTHERWISE NOTED, GRADES FOR PATHWAY AND SOD ARE TO MATCH SURROUNDING EXISTING GRADES

Contour Interval = 0.02 M

TOT: Top of Two-tier Timber Edging

TOSS: Top of Safety Surface

TOR: Top of Ramp

TOAA: Asphalt Elevation at Level Entry to Play Area

Proposed Slope -----> 4%

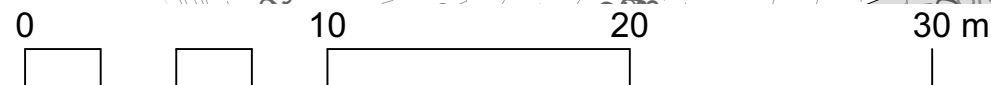
Proposed Elevation +100.10

Existing Elevation + GR / 99.837m

Existing Contours 99.76
99.8

Proposed Contours x-----x

Benchmark elevations centre of catch basin on the south side of the school (99.03) and centre of catch basin on the east side of the school (99.21)



THE CITY OF WINNIPEG
Planning, Property and Development Department
Planning and Land Use Division
Unit 15 - 30 Fort Street, Winnipeg, MB, (R3C 4X5)

DESIGNED BY	IM	CHECKED BY	
DRAWN BY	IM	APPROVED BY	
HORIZ. SCALE	1:250		
VERT. SCALE			
DATE	June 2023		

MANAGER, PARK AND OPEN SPACES	DATE
MANAGER, PLANNING AND LAND USE DIVISION	DATE

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION. LOCATION OF UNDERGROUND STRUCTURES AS SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL SERVICES MUST BE OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.

DRAWING TITLE	DRAWING NO.
Highbury Park Playground Redevelopment Grading Plan	H.23-D3
SITE ADDRESS 1660 Dakota Street	BID OPPORTUNITY NO. 402-2023