

PRIME CONSULTANT:



CONSULTANT TEAM

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120 FORT STREET
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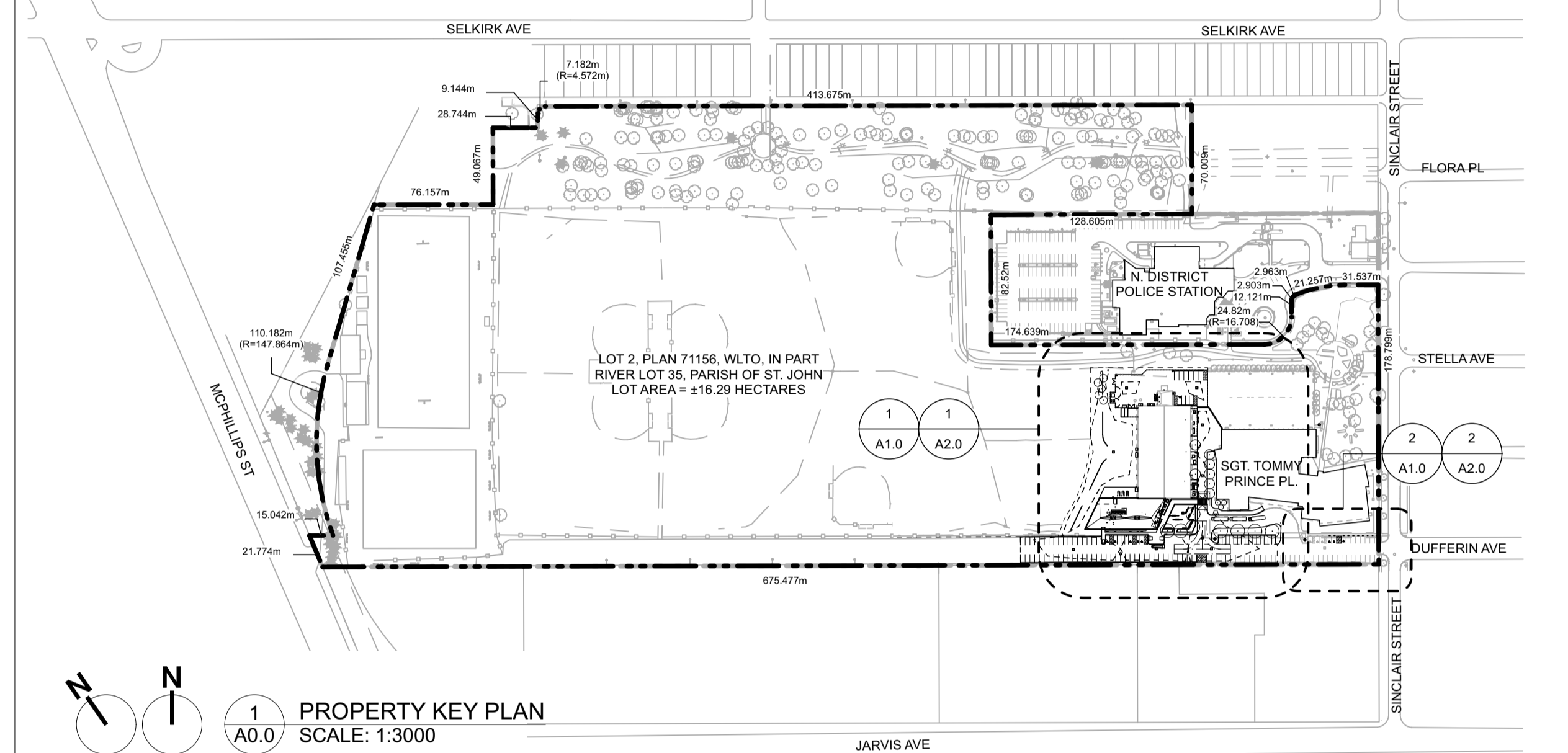
ZONING ANALYSIS

BZoning District: PR3 (Parks and Recreation - Regional / City-wide)
Zoning By-Law: City of Winnipeg Zoning By-law 200/06
Address: 80 Sinclair Street
Property Use Code: PIRMU - Recreational Multiple Use
Property Influences: Bus Route, Light Traffic
Table 4-1: Principal Use Table: Community / Recreation Center
Table 4-2: Accessory Uses: Office service area/building (permitted), Recreation equipment storage (not listed, permitted)
Table 5-1: Agriculture and Park District Standards (PR3)
Table 5-9: General Accessory Parking Requirements
Table 5-10: Minimum Required Accessible Parking Spaces
Table 5-13: Minimum Accessory On-Site Loading Space Requirements
Table 5-18: Pedestrian Connections District (PR3) - Standard 'A' provided

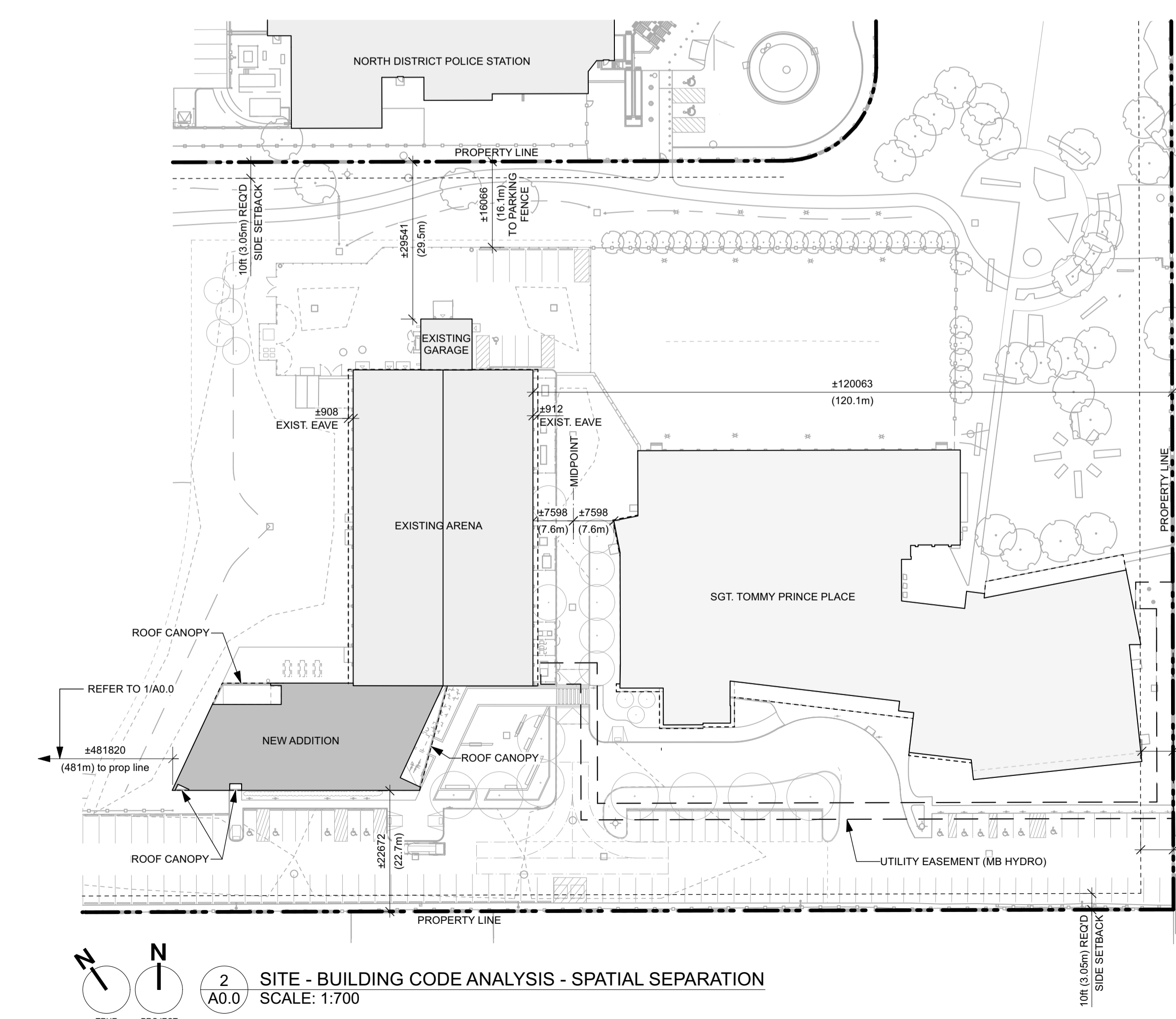
BID OPPORTUNITY 313-2024B

REDEVELOPMENT OF THE OLD EXHIBITION ARENA

80 SINCLAIR STREET, WINNIPEG, MB
ISSUED FOR CONSTRUCTION - DECEMBER 18, 2024



(190) Landscaping and Buffering Required
Street Edge Landscaping (2-4) - existing trees present along Sinclair Street
Building Foundation Landscaping (not required)
Parking Lot Interior Landscaping (not required)
Side and Rear Site Edge Buffering (not required)
Buffering of Parking and Loading Areas (not required)



SCALE: 1:700
TRUE NORTH, PROJECT NORTH

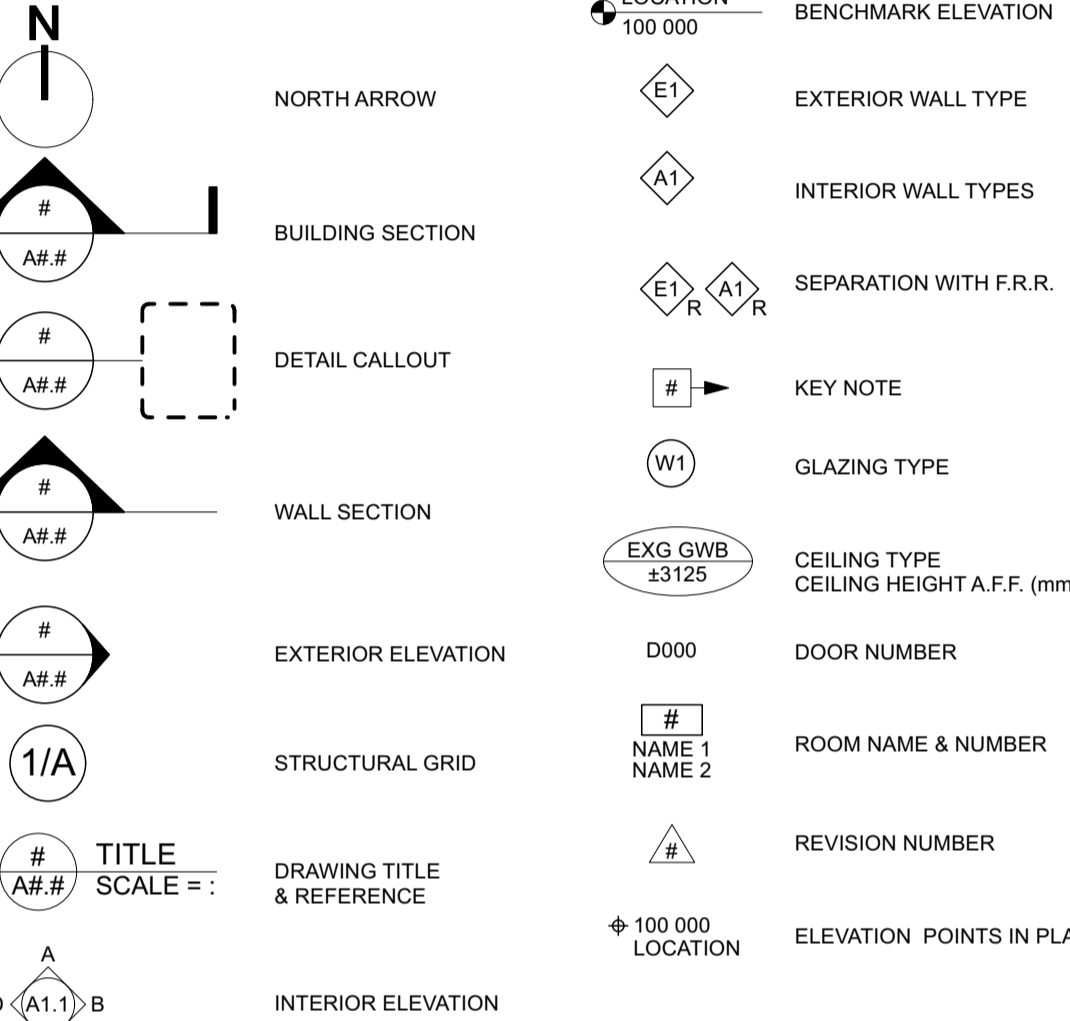
GENERAL DRAWING NOTES

THE DRAWINGS SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.
THE CONTRACTOR SHALL SATISFY THEMSELVES THAT ALL DIMENSIONS, ELEVATIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED.
PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR.
VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE CONTRACT ADMINISTRATOR.
ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED.
NO REPRODUCTION OF THE DRAWINGS MAY BE MADE WITHOUT THE WRITTEN CONSENT AND ALL REPRODUCTION MUST BEAR THE NAME OF THE ARCHITECT.
GENERAL CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATOR OF ANY MECHANICAL AND ELECTRICAL APPARATUS APPEARANCE WHICH MAY VARY FROM THAT INDICATED IN THE CONTRACT DOCUMENTS.
PROMPTLY REPORT ALL ACCIDENTS AND POTENTIAL LIABILITY CLAIMS TO THE CONTRACT ADMINISTRATOR.

DRAWING LIST

Table listing drawing titles and codes: A0.0 COVER SHEET, SITE SURVEY, CIVIL, LANDSCAPE, ARCHITECTURAL, MECHANICAL, ELECTRICAL.

SYMBOLS



ABBREVIATIONS

Table of abbreviations: AFF ABOVE FINISHED FLOOR, ALUM ALUMINUM, ANOD ANODIZED, etc.

ASBESTOS CONTAINING MATERIALS ARE PRESENT ON SITE

REFER TO PROJECT SPECIFICATIONS FOR ASBESTOS REPORT. CONCRETE BLOCK (VERMICULITE), EXTERIOR HARDBOARD, ASPHALT PLANK FLOORING, FLOOR TILES, DRYWALL COMPOUND, PIPE FITTINGS, AND ASPHALT FABRIC (LIGHTING) CONTAIN ASBESTOS.
ALL GENERAL CONTRACTORS SHOULD HAVE THE EXPERTISE AND KNOWLEDGE BASE TO IMPLEMENT APPROPRIATE DUST CONTROL MEASURES DURING DEMOLITION/CONSTRUCTION OF STUCCO AND CONCRETE, AS SILICA IS FOUND IN VARIOUS FORMS WITHIN BUILDING MATERIAL.
ANY SUSPECT ASBESTOS-CONTAINING MATERIALS SHALL BE CONSIDERED AS ASBESTOS-CONTAINING UNTIL DETERMINED OTHERWISE. IF ASBESTOS OR ANY HAZARDOUS MATERIALS ARE SUSPECTED, STOP WORK IMMEDIATELY AND NOTIFY CONTRACT ADMINISTRATOR. IF THE CONTRACT ADMINISTRATOR IS NOT AVAILABLE, CONTACT CENTRAL CONTROL AT 204-986-2351.

NOTES:

Table with columns: No., REVISION/DESCRIPTION, BY DATE

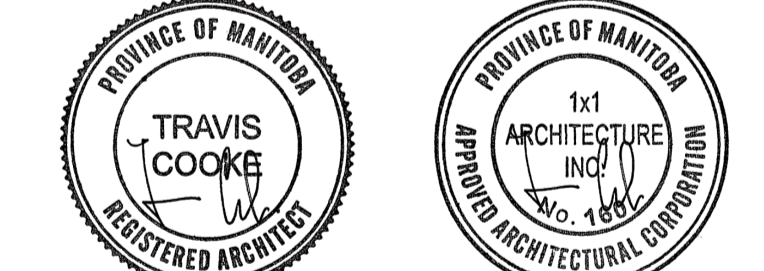


Table with columns: DRAWN, CHECKED, DESIGNED, DATE, USER, APPROVAL

THE CITY OF WINNIPEG ASSETS AND PROJECT MANAGEMENT DEPARTMENT MUNICIPAL ACCOMMODATIONS DIVISION

PROJECT 3-65 GARRY STREET, R3C 4K4
REDEVELOPMENT OF THE OLD EXHIBITION ARENA
ISSUED FOR CONSTRUCTION
80 SINCLAIR STREET

SHEET TITLE COVER SHEET

Table with columns: SCALE, PROJECT No, SHEET No, AS SHOWN, 2020-136, A0.0