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# architecture inc.

## **CONSULTANT TEAM**

ARCHITECT:	1X1 ARCHITECTURE INC 230 MAIN STREET, UNIT 310 WINNIPEG, MANITOBA, R3C 1A8 TEL: (204) 318-2010
CIVIL ENGINEER:	SISON BLACKBURN CONSULTING INC. 5 SCURFIELD BLVD UNIT 10 WINNIPEG, MANITOBA, R3Y 1G3

**HTFC PLANNING & DESIGN** 115 BANNATYNE AVE WINNIPEG, MB R3B 0R3 TEL: (204) 944-9907

€ LOCATION 100 000

**(E1)** 

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(W1)

EXTERIOR WALL TYPE

INTERIOR WALL TYPES

SEPARATION WITH F.R.R.

KEY NOTE

GLAZING TYPE

TEL: (204) 505-0855

## STRUCTURAL ENGINEER

**MECHANICAL** ENGINEER:

**ELECTRICAL** ENGINEER:

ENERGY MODELING & LEED:

COMMISSIONING:

**CROSIER KILGOUR** 234 DONALD STREET, UNIT 610 WINNIPEG, MANITOBA, R3C 1M8 TEL: (204) 943-7501

**NOVA 3 ENGINEERING LTD. 120 FORT STREET** WINNIPEG, MANITOBA, R3C 1C7 TEL: (204) 943-6142

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### **GENERAL DRAWING NOTES** BENCHMARK ELEVATION

THE DRAWINGS SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.

THE CONTRACTOR SHALL SATISFY THEMSELVES THAT ALL DIMENSIONS, ELEVATIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS ARE AS FOLLOW UNLESS OTHERWISE NOTED: - FACE OF MASONRY WALLS

- EXTERIOR FACE OF ALL INTERIOR WALLS

PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATO VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE CONTRACT ADMINISTRATOR.

ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED.

NO REPRODUCTION OF THE DRAWINGS MAY BE MADE WITHOUT THE WRITTEN CONSENT AND ALL REPRODUCTION MUST BEAR THE NAME OF THE ARCHITECT.

GENERAL CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATOR OF ANY MECHANICAL AND ELECTRICAL APPARATUS APPEARANCE WHICH MAY VARY FROM THAT INDICATED IN THE CONTRACT DOCUMENTS.

PROMPTLY REPORT ALL ACCIDENTS AND POTENTIAL LIABILITY CLAIMS TO THE CONTRACT ADMINISTRATO

		STRUCTL	JRAL
DRA	WING LIST	S0.1	GENERAL NO
		S0.2	TYPICAL DETA
		S0.3	TYPICAL DETA
A0.0	COVER SHEET	S1.0	DEMOLITION F
SITE SUF	RVEY	S1.1	ARENA DEMOLITION F
		51.1	ARENA
CIVIL		S2.0	RENOVATION
C1.1	SITE SERVICING PLAN		PLAN - SOUTH
C1.2	STORMWATER MANAGEMENT PLAN	S2.1	RENOVATION
C2.1	SITE GRADING PLAN		FRAMING PLA
LANDSC	APE	S2.2	ARENA RENOVATION
L1.1	MATERIALS PLAN	52.2	FRAMING PLA
L1.2	LAYOUT, LINE PAINTING, &		ARENA
	SIGNAGE PLAN	S2.3	RENOVATION
L1.3	PLANTING PLAN		PLAN- NORTH
L1.4	PLAZA MATERIALS & LAYOUT PLAN	S2.4	RENOVATION
L1.5	ALTERNATE PLAZA PLAN - CONCRETE SURFACING		PLAN- SOUTH
L2.1	SOIL CELL DETAILS	S5.0	ELEVATIONS
L2.1 L2.2	HARDSCAPE DETAILS	S6.0	SECTIONS
L2.3	CIP WALLS & SEATING DETAILS	S6.1	SECTIONS
L2.4	SITE FURNITURE & PLANTING	S6.2	SECTIONS
	DETAILS	MECHAN	
		M0.0	GENERAL NO
ARCHITE		M1.0	DEMOLITION F
A0.1	BUILDING CODE SUMMARY		ARENA
A0.2	WALL TYPE SCHEDULE	M1.1	DEMOLITION F
	DOOR SCHEDULE		ARENA
A0.3	WINDOW SCHEDULE SIGNAGE SCHEDULE	M2.0	RENOVATION
A1.0	SIGNAGE SCHEDULE		PLUMBING (NO
A1.0	DEMOLITION PLAN - NORTH ARENA	M2.1	RENOVATION
A1.2	DEMOLITION PLAN - SOUTH ARENA	M3.0	PLUMBING (SC
A1.3	DEMOLITION RCP - NORTH ARENA	WI3.0	RENOVATION (NORTH AREN
A1.4	<b>DEMOLITION RCP - SOUTH ARENA</b>	M3.1	RENOVATION
A2.0	SITE RENOVATION PLAN	W0.1	(SOUTH AREN
A2.1	<b>ROOF RENOVATION PLAN - NORTH</b>	M3.2	ROOF PLAN -
A2.2	<b>ROOF RENOVATION PLAN - SOUTH</b>	M4.0	RENOVATION
A2.3	RENOVATION PLAN - NORTH ARENA		PROTECTION
A2.4 A2.5	RENOVATION PLAN - SOUTH ARENA FINISH PLAN - NORTH ARENA	M4.1	RENOVATION
A2.5 A2.6	FINISH PLAN - NORTH ARENA		PROTECTION
A2.0 A2.7	ENLARGED PLANS	M5.0	SCHEDULES
A3.0	RENOVATION RCP - NORTH ARENA	M5.1 M5.2	SCHEDULES MECHANICAL
A3.1	<b>RENOVATION RCP - SOUTH ARENA</b>	M5.2 M5.3	MECHANICAL
A4.0	EXTERIOR ELEVATIONS	M5.4	CONTROLS AN
A4.1	EXTERIOR ELEVATIONS	10.4	SCHEMATICS
A5.0	BUILDING SECTIONS		
A6.0	WALL SECTIONS	ELECTRI	CAL
A6.1	WALL SECTIONS	E1.0	ELECTRICAL S
A6.2		E1.1	ELECTRICAL S
A6.3 A6.4	WALL SECTIONS WALL SECTIONS	E2.0	ELECTRICAL I
A6.5	WALL SECTIONS		LAYOUT - NOR
A6.6	WALL SECTIONS	E2.1	
A6.7	WALL SECTIONS	E3.0	LAYOUT - SOU ELECTRICAL L
A6.8	WALL SECTIONS	E3.0	LAYOUT - NOR
A6.9	WALL SECTIONS	E3.1	ELECTRICAL
A7.0	PLAN DETAILS		LAYOUT - SOU
A7.1	PLAN DETAILS	E4.0	ELECTRICAL F
A7.2	PLAN DETAILS		SYSTEMS LAY
A7.3	PLAN DETAILS FENCE DETAILS	E4.1	ELECTRICAL F
A7.4 A8.0	INTERIOR ELEVATIONS		SYSTEMS LAY
A8.1	INTERIOR ELEVATIONS	E4.2	ELECTRICAL F
A8.2	INTERIOR ELEVATIONS	<b>FF</b> 0	LAYOUT - ROC
A8.3	INTERIOR ELEVATIONS	E5.0	ELECTRICAL S
A8.4	INTERIOR ELEVATIONS	E5.1	ELECTRICAL
A9.0	MILLWORK DETAILS	LV.1	LAYOUT - SOU
A9.1	MILLWORK DETAILS	E6.0	ELECTRICAL
A9.2	MILLWORK DETAILS		SYSTEM LAYO
A9.3	MILLWORK DETAILS	E7.0	ELECTRICAL S
			DIAGRAM
		E7.1	ELECTRICAL F
		E7 0	SCHEDULES
		E7.2	

ARCHITE	
	2: W
CIVIL ENGINEE	T S R: 5 W T
LANDSCA ARCHITE	APE H
SYMBO	LS
N T	NORTH ARROW
# A#.#	BUILDING SECTION
# [ A#.# [	DETAIL CALLOUT
# A#.#	WALL SECTION
# 	EXTERIOR ELEVATIO
(1/A)	STRUCTURAL GRID
# TITLE A#.# SCALE	
D A1.1 B	INTERIOR ELEVATION
	EVATIONS
ANOD A.V.B BLDG BM BOT, BTM B.S BTWN C.I.P CL C.P C.L.F COL C/W CONC C.B CJ D D D D D D D D D D D D D D D D D D	EACH ELEVATION ELECTRICAL EPOXY EQUAL EQUIPMENT EXPOSED EXTERIOR FLOOR DRAIN FIRE HOSE CABINET FINISH FLOOR GAUGE GALVANIZED GALVANIZED GALVALUME GENERAL CONTRACTOR GRID LINE GYPSUM WALL BOARD HAZARDOUS WASTE HIGH HEAVY DUTY HEIGHT HOLLOW METAL

$\in$	EXG GWB ±3125	CEILING TYPE CEILING HEIGHT A.F.F. (mm)
	D000	DOOR NUMBER
	# NAME 1 NAME 2	ROOM NAME & NUMBER
	<b>/#</b>	REVISION NUMBER
-		ELEVATION POINTS IN PLAN
DC AS AX ECH NSC O. FL I.C C D F H PNG J V W W S T CONC D. H W R M D. CONC D. H M O. H W R M D. S T CONC D. H M D. S T CONC D. H M D. S T CONC D. H M D. S T CONC D. H M D. S T CONC D. H M D. S T CONC D. H M D. S T CONC D. H M D. S T CONC D. H M D. S T C CONC D. H M D. S T C CONC D. H M D. S T C CONC D. H M D. S T C CONC D. H M D. S C C C C C C C C C C C C C C C C C C	PLATE PLASTIC LA PLYWOOD PANEL PREFINISH PRESSED S PAINTED, P REINFORCI ROOF DRA REINFORCI ROOF DRA REINFORCI SOUGH OP SHOWER SIMILAR SLOPE SPECIFIED STAINLESS STEEL R STORAGE STRUCTUR D SURFACE M SUSPENDE THICK / THI TOP OF TOP OF CO TYPICAL UNDER FLO UNDER SIE VAPOUR BA VEHICLE VERTICAL VESTIBULE WIDE WITH WATERPRO WEEPING	NEOUS OPENING NTRACT R MAMETER ACE STEEL JOIST AMINATE ED STEEL AINT ED CONCRETE IN ED PONING STEEL AL MOUNTED ED CKNESS NCRETE DOR OOR OOND DE ARRIER E
ING	MATEF	RIALS ARE

# **ASBESTOS CONTAINING MATERIALS ARE** PRESENT ON SITE

REFER TO PROJECT SPECIFICATIONS FOR ASBESTOS REPORT. CONCRETE BLOCK (VERMICULITE), EXTERIOR HARDBOARD, ASPHALT PLANK FLOORING, FLOOR TILES, DRYWALL COMPOUND, PIPE FITTINGS AND ASPHALT FABRIC (LIGHTING) CONTAIN ASBESTOS.

ALL GENERAL CONTRACTORS SHOULD HAVE THE EXPERTISE AND KNOWLEDGE BASE TO IMPLEMENT APPROPRIATE DUST CONTROL MEASURES DURING DEMOLITION/CONSTRUCTION OF STUCCO AND CONCRETE, AS SILICA IS FOUND IN IN VARIOUS FORMS WITHIN BUILDING MATERIAL.

ANY SUSPECT ASBESTOS-CONTAINING MATERIALS SHALL BE CONSIDERED AS ASBESTOS-CONTAINING UNTIL DETERMINED OTHERWISE. IF ASBESTOS OR ANY HAZARDOUS MATERIALS ARE SUSPECTED, STOP NORK IMMEDIATELY AND NOTIFY CONTRACT ADMINISTRATOR. IF THE CONTRACT ADMINISTRATOR IS NOT AVAILABLE, CONTACT CENTRAL CONTROL AT 204-986-2351.

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NOTES DETAILS DETAILS **TION PLAN - NORT** 

ION PLAN - SOUTH TION FOUNDATION

OUTH ARENA **FION MAIN FLOOR G PLAN - NORTH** TION MAIN FLOOF

**G PLAN - SOUTH** ORTH ARENA

TION ROOF FRAM OUTH ARENA ONS

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TION PLAN -IG (NORTH AREN/ TION PLAN -IG (SOUTH ARENA TION PLAN - HVAC ARENA) TION PLAN - HVAC

ARENA) AN - HVAC (SOUTH TION PLAN - FIRE TION (NORTH ARE TION PLAN - FIRE TION (SOUTH ARE

LES LES ICAL DETAILS ICAL DETAILS

LS AND VRF SYST TICS

CAL SPECIFICATIO CAL SITE PLAN CAL DEMOLITION - NORTH CAL DEMOLITION - SOUTH CAL LIGHTING - NORTH CAL LIGHTING - SOUTH

CAL POWER & **S LAYOUT - NORTH** CAL POWER & **S LAYOUT - SOUTH** CAL POWER

- ROOF CAL SYSTEMS - NORTH

CAL SYSTEMS - SOUTH CAL SECURITY

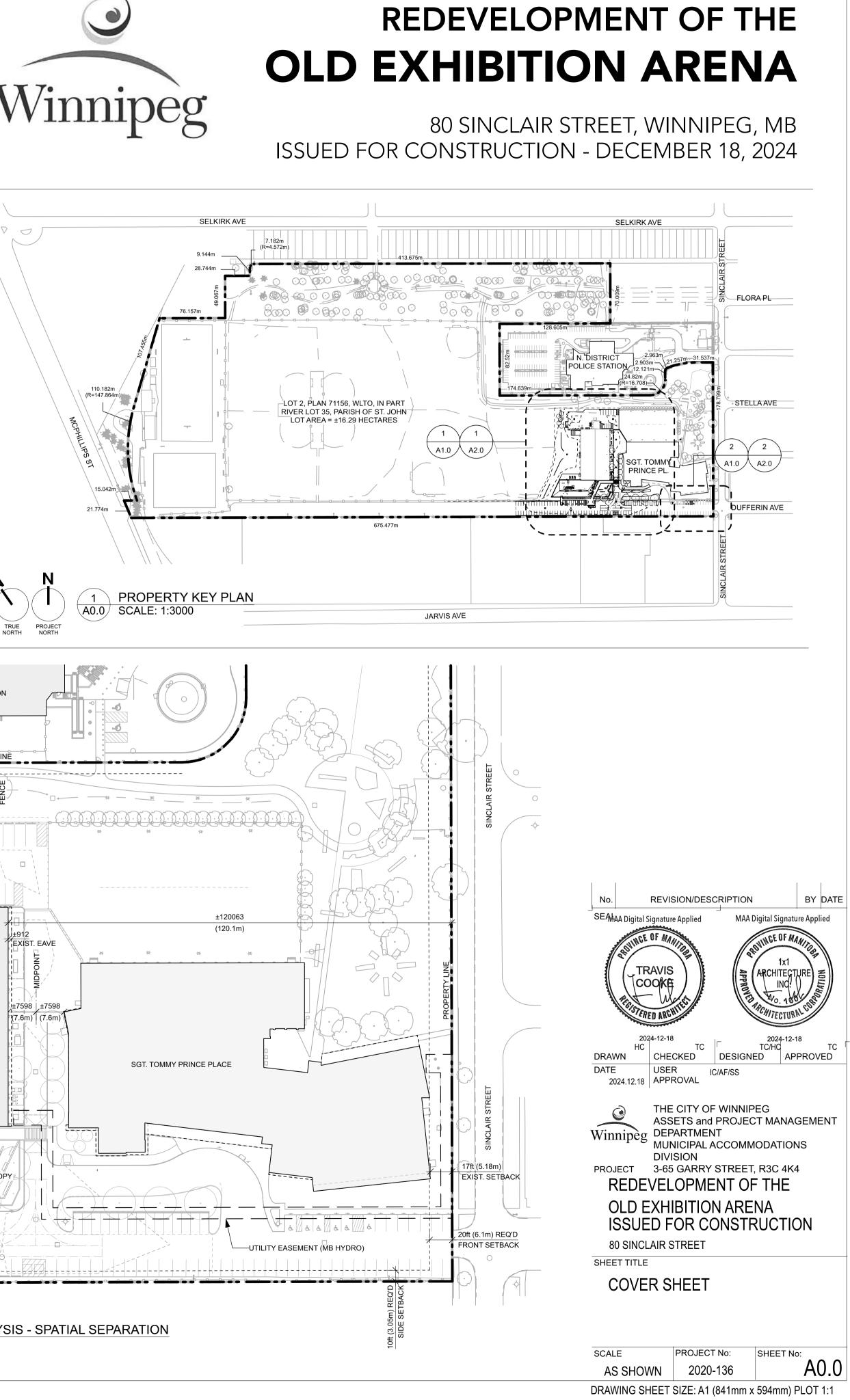
LAYOUT CAL SINGLE LINE

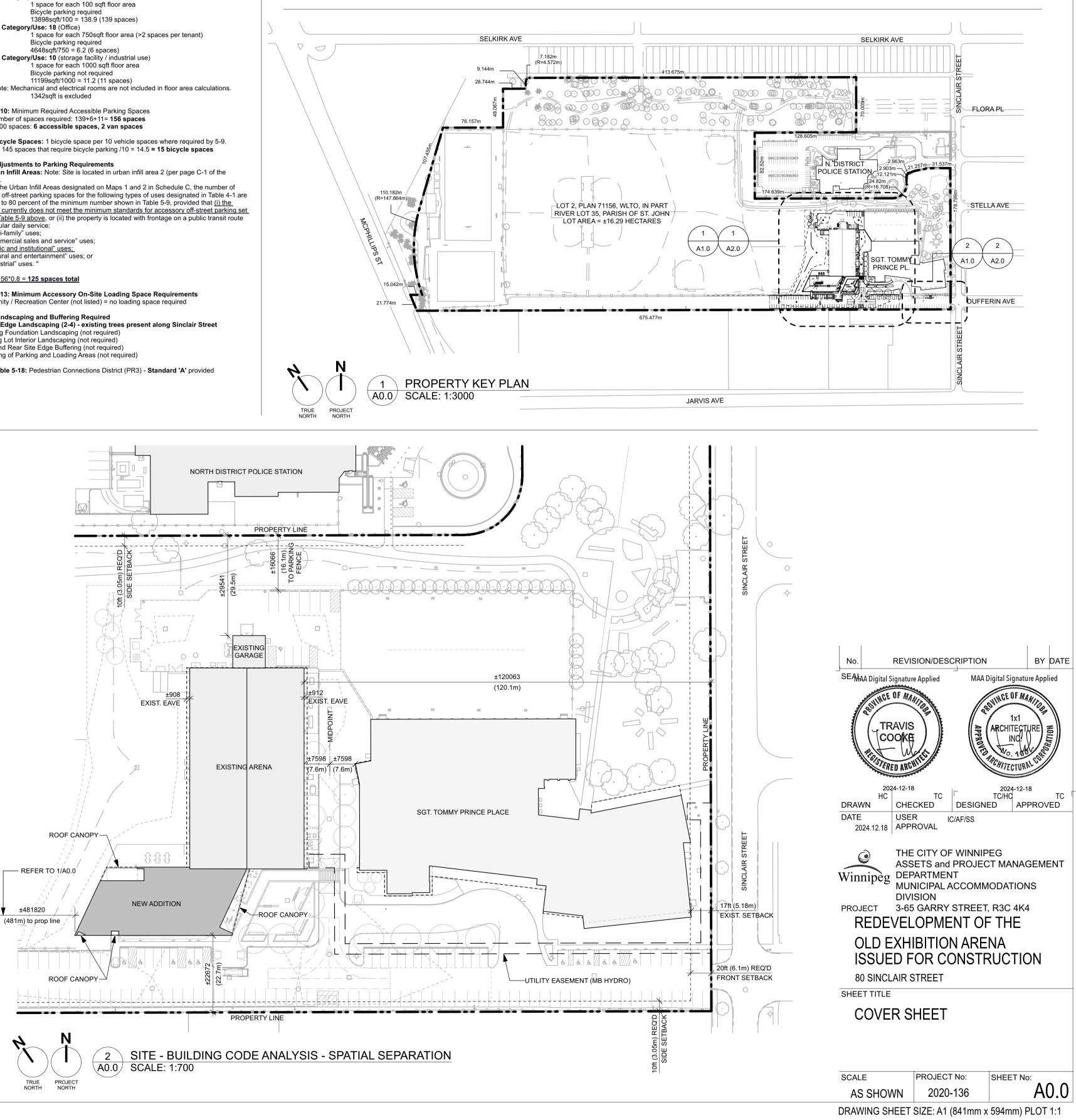
CAL PANEL ELECTRICAL PANEL

SCHEDULES

E7.2

ZONING ANAL	YSIS		
BZoning District: PR3 (Parks and	Recreation - Regional / City-wide)		
Zoning By-Law: City of Winnipeg Z Address: 80 Sinclair Street Property Use Code: PIRMU - Recr	Zoning By-law 200/06		
Property Influcences: Bus Route, Table 4-1: Principal Use Table:			
Table 4-2: Accessory Uses:	(permitted, Public and Institutional) Office service area/building (permitt Recreation equipment storage (not		
Table 5-1: Agriculture and Park Dist Minimum Lot Area/Width: N/A			17
Minimum Front Yard: 20ft Minimum Rear Yard: 25ft Minimum Side Yard: 10ft (note a)			V
Maximum Building Height: N/A	) 4 (24007		
Total Floor Area of Building: 2886 Table 5-9: General Accessory Park	ing Requirements		
Bicycle parking r	100 sqft floor area equired		
Parking Category/Use: 18 (Office) 1 space for each	750sqft floor area (>2 spaces per ten	nant)	7
Bicycle parking ro 4648sqft/750 = 6 Parking Category/Use: 10 (storage	6.2 (6 spaces)		
1 space for each Bicycle parking n	1000 sqft floor area		
	al rooms are not included in floor area	a calculations.	
Table 5-10:         Minimum Required Acc           Total number of spaces required:         13           151 to 200 spaces:         6 accessible st	39+6+11= <b>156 spaces</b>		
	ace per 10 vehicle spaces where requ		
(171) Adjustments to Parking Rec			
By-Law). "Within the Urban Infill Areas design	located in urban infill area 2 (per pag nated on Maps 1 and 2 in Schedule C	, the number of	
reduced to 80 percent of the minimu property currently does not meet the	or the following types of uses designa um number shown in Table 5-9, provic e minimum standards for accessory o	led that <u>(i) the</u> ff-street parking set	
forth in Table 5-9 above, or (ii) the p with regular daily service: (a) "multi-family" uses;	property is located with frontage on a p	oublic transit route	
<ul> <li>(b) "commercial sales and service" (</li> <li>(c) "public and institutional" uses;</li> <li>(d) "cultural and entertainment" use</li> </ul>			
(e) "industrial" uses. " Total = 156*0.8 = <b>125 spaces total</b>			
Table 5-13: Minimum Accessory (	<b>Dn-Site Loading Space Requiremer</b> ot listed) = no loading space required	nts	
<ul> <li>Building Foundation Landscaping</li> <li>Parking Lot Interior Landscaping (</li> <li>Side and Rear Site Edge Buffering</li> <li>Buffering of Parking and Loading A</li> </ul>	not required) g (not required)		M
			TRUE
		NORTH DISTRICT POL	LICE STATION
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**BID OPPORTUNITY 313-2024B**