



HARBOURVIEW COMPLEX DEMOLITION

1867 SPRINGFIELD RD, WINNIPEG, MB R2G 2K7

ISSUED FOR TENDER

WSP Project No: CA0066126.2954

Date: 2026/03/30



DRAWING LIST

G-001 COVER PAGE

C-101 SITE DEMOLITION SITE PLAN

C-102 GRADING PLAN

C-103 TREE PROTECTION PLAN

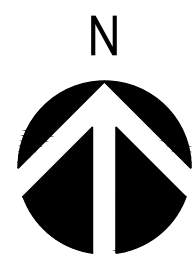
M-101 MECHANICAL DEMOLITION PLAN

E-101 ELECTRICAL DEMOLITION PLAN

We see the future more clearly and design for it today.



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- D1. The City will remove and salvage any unit pavers to be salvaged prior to commencement of contractor demolition activities. The City will remove and salvage in advance of demolition. Contractor to remove and dispose of any remaining precast unit pavers and wood curbs as part of demolition scope. Demolition contractor to remove and dispose of all wood edges and pavers not removed the City.
- D2. Protect all trees to remain with suitable protective boards as per City of Winnipeg Standard Construction Specification. Avoid running heavy equipment over root zones of trees to remain. Refer to C-103 Tree Protection Plan for Locations of Trees to be protected.
- D3. The City has installed a temporary rigid construction fence around the site, maintain and modify as necessary during demolition to provide full protection to work area. Reinstall to initial layout following demolition.
- D4. Remove and legally dispose of ACM containing caulking in some window frames as identified in Harbourview Asbestos Analysis Report included in the Tender Documents.
- D5. Demolish existing buildings and covered walkway including:
 - a. Disconnection and removal of existing power, gas, water, sewer, and communication services to all buildings except the Electrical Shed (refer to service demolition drawings).
 - b. Demolition of Main Restaurant Building – includes selective salvage of large interior timber members and delivery to Kilcona Park Service Yard prior to full demolition. Large timber members as shown in photos below to be carefully salvaged. Wood roof joists excluded.
 - c. Demolish Washroom Buildings
 - d. Demolish Pro Shop
 - e. Demolish Observation Tower
 - f. Demolish of Covered Walkway
 - g. Demolition includes full removal of all crawspace walls and floors and demolition of concrete piles and foundations to 1.0 m below final ground surface elevation.
 - h. All materials to be removed from site and legally disposed of.
- i. Record locations of each pile left in place and provide geo-referenced digital file with all locations and top elevations included as part of close-out documentation.
- D6. Demolish existing concrete retaining walls including:

Demolish vertical and horizontal sections of concrete retaining wall (full demolition)

Demolish concrete piles to 1.0 m below final ground surface elevation.

Record locations of each pile left in place and provide geo-referenced digital file with all locations and top elevations included as part of close-out documentation.
- D7. Remove and dispose of existing wood pilings to at least pond bottom elevation (full removal preferred but not required). Prior to removal, record locations of each pile and top elevations of each wood piling left in place and provide geo-referenced digital file with all locations included as part of close-out documentation.
- D8. Remove and dispose of existing concrete shuffleboard slabs and surrounding asphalt pavement walkways and granular base.
- D9. Remove and dispose of all existing chain link fences and foundation at Restaurant Building and all other wood or wire fencing and related items.
- D10. Remove and dispose of existing asphalt pavement and granular base.
- D11. Contractor to prepare a digital (PDF) Pre-demolition Condition Survey, with labelled and referenced Photographs, of all items that to be demolished and all areas to be affected by demolition activities. This report to be submitted to the Contract Administrator.
- D12. Demolish existing sign structure at Park Entrance. Cut off concrete piles minimum 1.0 m below grade, include locations and top elevations on geo-referenced digital file record.
- D13. Remove and legally dispose of all other miscellaneous items encountered in the building and related areas.
- D14. The Contractor is advised that the City will be reconstructing the Asphalt Roadway from Springfield Road up to and including this turnaround following demolition. The Contractor shall take reasonable precautions to minimize damage to the existing asphalt pavement from Contractor operations and shall maintain the roadway in a safe, usable condition during demolition activities. The public access from Springfield Road shall be maintained or patched, if required, to provide suitable Park user access to the Service Gate location during and at completion of the demolition Contract Work.

[illegible]

DISCLAIMER: COPYRIGHT:
THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED,
REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP. THE CONTRACTOR
SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL
ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

ORIGINAL SCALE: 1:250	DATE: 2026/03/23
DESIGNED BY: BE	
ASSISTED BY: SB	
DRAWN BY: MM	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
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APPROVED BY: BE	25mm
DISCIPLINE:	CIVIL



WHOLE NUMBERS INDICATE MILLIMETRES
DECIMALIZED NUMBERS INDICATE METRES



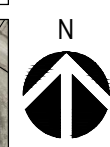
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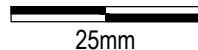
EXISTING	LEGEND-PLAN	PROPOSED
	EDGE OF PAVEMENT	
	PROPERTY LINE	
	FENCE	
59.367	GROUND ELEVATION	
	PAVEMENT ELEVATION	
	LOT ELEVATION	
	DITCH/SWALE ELEVATION	
	SWALE FLOW DIRECTION	
	SURVEY BAR	
	ASPHALT TO REMAIN	
	SELECTIVE PAVER SALVAGE BY CITY	
	GRADING HIGH POINT	

1. THE INFORMATION SHOWN FOR EXISTING UTILITIES IS THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT GIVEN UTILITIES ARE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED AND VERIFIED PRIOR TO COMMENCEMENT OF WORK. LOSS TIME DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS EXPENSE.
2. ADD 200.00 TO ABBREVIATED ELEVATIONS TO OBTAIN GEODETIC ELEVATION.



DRAWING NUMBER:	REV.
C-101	0



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BENCHMARK (B.M.)
ELEVATION = 230.623
IRON BAR AT CORNER OF PROPERTY AT NORTH
EAST CORNER OF SPRINGFIELD ROAD AND COX
BOULEVARD

wsp

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PROJECT NUMBER: CA0066126.2954

CLIENT:


Winnipeg

CLIENT REF. #: CLIENT#

TITLE:	
GRADING PLAN	
DRAWING NUMBER:	REV.
C-102	0

AERIAL IMAGE AND TREE LOCATIONS
SOURCED FROM THE CITY OF WINNIPEG

CITY OF WINNIPEG TO REMOVE THESE TREES
AS THEY WILL LIMIT ABILITY TO PROVIDE
PROPER GRADE IN THIS AREA AS THEY ARE
MUCH HIGHER THAN BEACH LEVEL GRADE

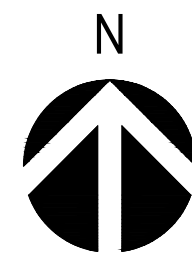
EXISTING CONSTRUCTION FENCE
TO BE RELOCATED TO THIS
LOCATION BY CITY PRIOR TO START
OF CONSTRUCTION OPERATION

APPROXIMATE LOCATION OF EXISTING UNDERGROUND TANK TO REMAIN. DO NOT ALLOW EQUIPMENT TO TRAVEL OVER OF WITHIN 3.0 m OF TANK. ANY DAMAGE TO TANK AS A RESULT OF CONTRACTOR OPERATIONS TO BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE.

- EXISTING CONSTRUCTION FENCE
TO BE RELOCATED TO THIS
LOCATION BY CITY PRIOR TO START
OF CONSTRUCTION OPERATION

PROTECT ALL TREE TO REMAIN IN PROJECT AREA (CIRCLE SYMBOL) FROM
DEMOLITION AND GRADING WORK. REMOVE AND LEGALLY DISPOSE OF
TREES TO BE REMOVED IN DEMOLITION AREA (SQUARE SYMBOL)

✓ TREES IN THIS AREA DO NOT NEED PROTECTION MATERIALS AS THEY ARE BEYOND THE WORK AREA



GENERAL NOTES:

1. ALL TREES DESIGNATED TO REMAIN TO BE PROTECTED IN ACCORDANCE WITH THE CITY OF WINNIPEG STANDARD CONSTRUCTION SPECIFICATION AND AS REQUIRED TO PROTECT THE TREE. AVOID RUNNING HEAVY EQUIPMENT OVER ROOT ZONE DURING WORK.
2. THE INFORMATION SHOWN FOR EXISTING UTILITIES IS THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT GIVEN UTILITIES ARE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED AND VERIFIED PRIOR TO COMMENCEMENT OF WORK. LOSS OF OR DAMAGE TO UTILITIES IS THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS EXPENSE.

[illegible]

SEAL:

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APPROVED BY: BE	

DISCIPLINE: CIVIL

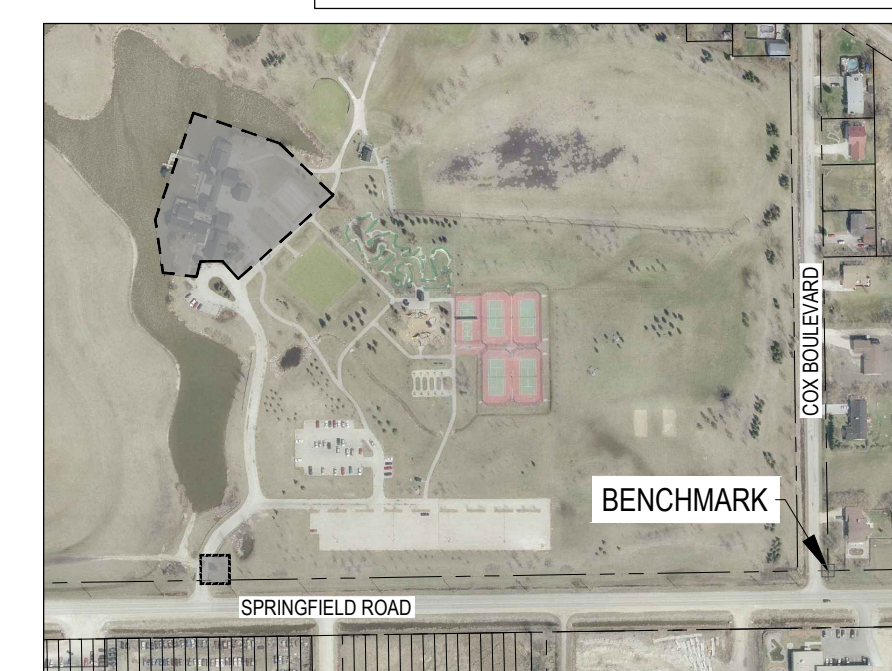
METRIC

WHOLE NUMBERS INDICATE MILLIMETRES
DECIMALIZED NUMBERS INDICATE METRES



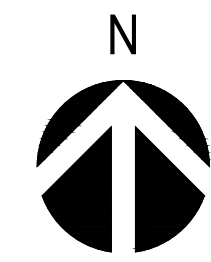
ISSUED FOR TENDER

BENCHMARK (B.M.)
ELEVATION = 230.623
IRON BAR AT CORNER OF PROPERTY AT NORTH
EAST CORNER OF SPRINGFIELD ROAD AND COX
BOULEVARD



LEGEND

	TREES TO REMAIN AND BE PROTECTED
	TREES TO BE REMOVED BY CITY OF WINNIPEG
	TREE PROTECTION AREA
	EXISTING FENCE
	PROPOSED FENCE



1. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST REVISION OF THE CITY OF WINNEPEG STANDARD CONSTRUCTION SPECIFICATIONS.
2. THE INFORMATION SHOWN FOR EXISTING UTILITIES IS THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT GIVEN UTILITIES ARE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN THE EVENT OF LOSS TIME DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS EXPENSE.
3. ADD 200.00 TO ABBREVIATED ELEVATIONS TO OBTAIN GEODETIC ELEVATION.

1. DISCONNECT AND REMOVE EXISTING HVAC, DOMESTIC WATER, SANITARY, NATURAL GAS, VENT PIPING SYSTEM SERVING THE BUILDINGS TO BE DEMOLISHED.
2. DISCONNECT AND REMOVE EXISTING HVAC, DOMESTIC WATER, SANITARY, NATURAL GAS, AND VENT PIPING SYSTEM.
3. DISCONNECT AND REMOVE ALL MECHANICAL EQUIPMENT, INCLUDING AIR HANDLING UNITS, EXHAUST FANS, HEATING UNITS, AND ALL ASSOCIATED DUCTWORK AND PIPING.
4. DISCONNECT AND REMOVE ALL PLUMBING FIXTURES AND ASSOCIATED SUPPLY, SANITARY, AND VENT CONNECTIONS.
5. REMOVE ALL DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM.
6. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL BURIED SERVICES AND PIPING BEFORE COMMENCING ANY EXCAVATION ACTIVITIES.

MD1.	DISCONNECT AND REMOVE EXISTING HVAC, DOMESTIC WATER, SANITARY, NATURAL GAS, VENT PIPING SYSTEM SERVING THE BUILDINGS TO BE DEMOLISHED.
MD2.	EXCAVATE AND REMOVE BURIED GAS PIPING, INCLUDING ASSOCIATED FITTINGS, VALVES AND SUPPORT. BACKFILL AND RESTORE SURFACE TO MATCH EXISTING. REFER TO CIVIL.
MD3.	DISCONNECT AND REMOVE EXISTING GAS METER AND ASSOCIATED PIPING WITHIN THE BUILDING. COORDINATE WITH GAS UTILITY.
MD4.	EXCAVATE AND REMOVE GAS PIPING FROM EDGE OF ASPHALT PAVEMENT TO BUILDINGS TO DEMOLISHED, INCLUDING ASSOCIATED FITTINGS, VALVES AND SUPPORT.
MD5.	EXCAVATE AND REMOVE BURIED DOMESTIC WATER PIPING, INCLUDING ASSOCIATED FITTINGS, VALVES AND SUPPORT. BACKFILL AND RESTORE SURFACE TO MATCH EXISTING. REFER TO CIVIL.
MD6.	CAP-OFF DOMESTIC WATER LINE BACK TO WELL.
MD7.	EXISTING WELL TO REMAIN. CONFIRM EXACT LOCATION ON SITE. WELL SHALL BE PROTECTED AND MAINTAINED IN SAFE CONDITION FOLLOWING ALL DEMOLITION ACTIVITIES.
MD8.	EXCAVATE AND REMOVE BURIED SANITARY PIPING, INCLUDING ASSOCIATED SUPPORT, BACKFILL AND RESTORE SURFACE TO MATCH EXISTING. REFER TO CIVIL.
MD9.	CAP-OFF SANITARY LINE BACK TO HOLDING TANK.
MD10.	APPROXIMATE LOCATION OF EXISTING UNDERGROUND TANK TO REMAIN. DO NOT REMOVE EQUIPMENT OR TRAVEL OVER WITHIN 3.0 M OF TANK. ANY DAMAGE TO TANK AS A RESULT OF CONTRACTOR OPERATIONS TO BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
MD11.	CAP AT MAIN IN ACCORDANCE WITH GAS UTILITY REQUIREMENTS AND APPLICABLE CODES. CONFIRM WITH UTILITY IF ANY OTHER SERVICES ARE AFFECTED BY THE ABANDONMENT OF THIS SERVICE, AND IF SO, ADVISE CONTRACT ADMINISTRATOR AND RECEIVE DIRECTION PRIOR TO DISCONNECTION. BACKFILL AND RESTORE SURFACE TO MATCH EXISTING. REFER TO CIVIL.

_____ g _____ EXISTING GAS SERVICE TO BE DEMOLISHED
 - - - - - EXISTING DOMESTIC WATER SERVICE TO BE DEMOLISHED
 _____ - - - - - EXISTING SANITARY SERVICE TO BE DEMOLISHED

EXISTING CONSTRUCTION FENCE
TO BE RELOCATED TO THIS
LOCATION BY CITY PRIOR TO START
OF CONSTRUCTION OPERATION

DO NOT SCALE

0 5 10m

1:250

ISSUED FOR TENDER

[illegible]

**ENGINEERS
GEOSCIENTISTS
MANITOBA**
Certificate of Authorization
WSP Canada Inc.
No. 5750



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ORIGINAL SCALE: 1:250	DATE: 2026/03/30
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MODIFIED BY: SOF	
APPROVED BY: RE	 25mm

DISCIPLINE: MECHANICAL



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CLIENT REF. #: CLIENT#

PROJECT: HARBOURVIEW
COMPLEX DEMOLITION

TITLE: MECHANICAL
DEMOLITION SITE PLAN

DRAWING NUMBER:

M-101

REV.

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