

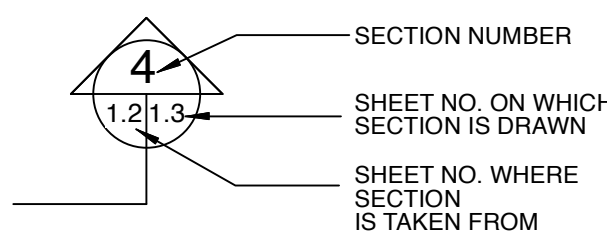
SYMBOL LEGEND:

WALL TYPE	
WINDOW TYPE	
KEY NOTE	
DEMOLITION NOTE	
ROOF TYPE	
FLOOR TYPE	
NEW DOOR & DOOR NUMBERS	
EXISTING DOOR TO REMAIN	
EXISTING DOOR TO BE REMOVED	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE REMOVED	
EXISTING CARPET TO BE REMOVED	
EXISTING SHEET FLOORING TO BE REMOVED	
EXISTING CERAMIC TILE TO BE REMOVED	
NEW WALL	
NEW WALL (60 MIN F.R.R.)	
NEW WALL (120 MIN F.R.R.)	

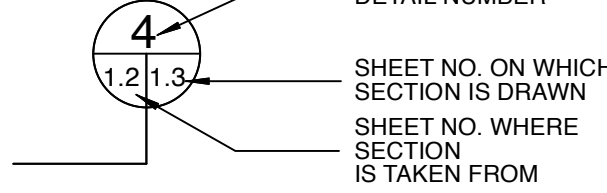
TITLES



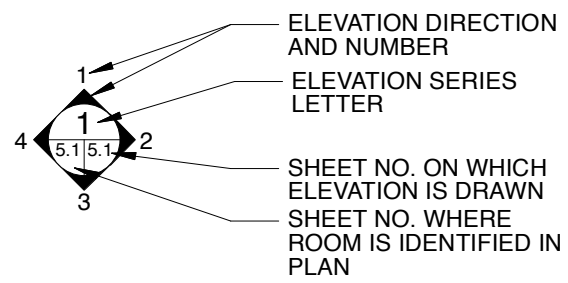
SECTIONS



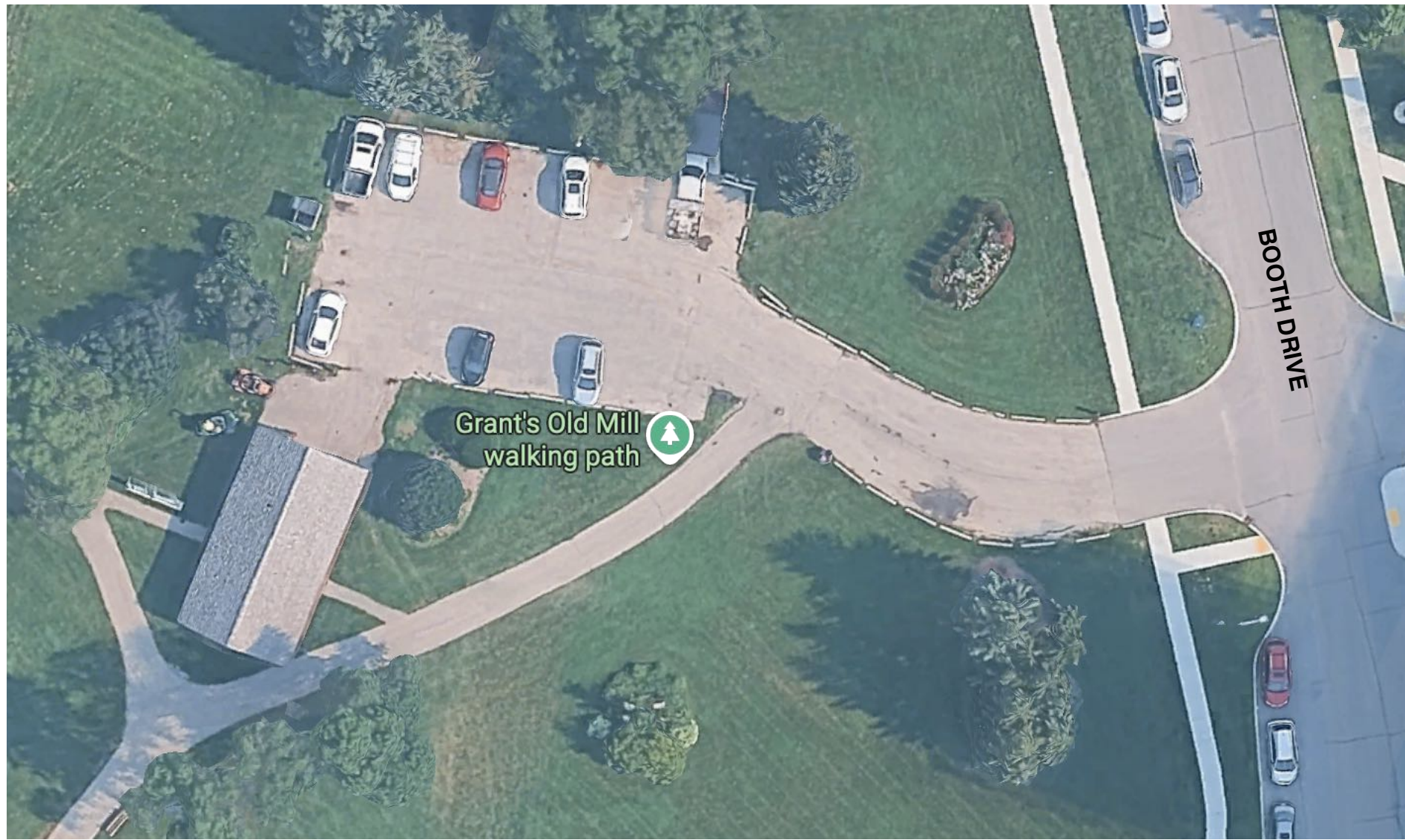
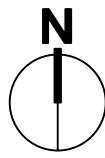
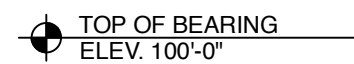
DETAILS



INTERIOR ELEVATIONS



FLOOR CONSTRUCTION ELEVATIONS



FIRE HYDRANT

LOCATION OF SITE

FIRE HYDRANT

BUILDING CODE REVIEW SUMMARY
2020 NBC INCLUDING 2023 MANITOBA AMENDMENTS

1. FIRE PROTECTION, OCCUPANCY, SAFETY AND ACCESSIBILITY									
GENERAL									
PROJECT DESCRIPTION	☐ NEW	☒ ALTERATION	☒ PART 9	PART 9					
	☒ ADDITION	☐ CHANGE OF USE							
MAJOR OCCUPANCY CLASSIFICATION(S)	GROUP F, DIV 3 - LOW HAZARD INDUSTRIAL GROUP D - BUSINESS AND PERSONAL SERVICES							9.10.2.1	
BUILDING AREA (M2)	44.7 EXISTING	3.8 NEW	48.5 TOTAL				Division A, 1.4.1.2		
HEIGHT OF BUILDING	4.5 M								
NUMBER OF STOREYS	ABOVE GRADE	1							
	BELOW GRADE	0							
	CRAWLSPACE	☐ YES	☒ N/A						
	ROOFTOP OCCUPANCY	☐ YES	☒ N/A						
NUMBER OF STREETS	1								
SPRINKLER SYSTEM PROPOSED	☐ ENTIRE BUILDING	3.2.2.20-92							
	☒ NOT REQUIRED								
STANDPIPE REQUIRED	☐ YES	☒ N/A	3.2.5.8						
FIREWALLS UTILIZED	☐ YES	☒ N/A	HRS RATING				9.10.11		
ALTERNATE SOLUTIONS	☐ YES	☒ N/A							
OCCUPANT LOAD BASED ON	☐ M2/PERSON	☒ DESIGN OF BUILDING	9.9.1.3/3.1.17.1						
MAIN FLOOR	OCCUPANCY	4	OCCUPANT LOAD						
NBC SECTION 3.2 BUILDING FIRE SAFETY									
9.10.4.8 BUILDING SIZE DETERMINATION									
BUILDING CLASSIFICATION	GROUP D - BUSINESS AND PERSONAL SERVICES GROUP F, DIV 3 - LOW HAZARD INDUSTRIAL							9.10.8.1	
PERMITTED CONSTRUCTION	☒ COMBUSTIBLE	☐ NON-COMB.	9.10.14.4						
ACTUAL CONSTRUCTION	☐ COMBUSTIBLE	☐ NON-COMB.	☒ BOTH						
REQUIRED FIRE RESISTANCE RATING	9.10.8.1								
	.75 HR FRR SEP.	FLOORS							
	0 HR FRR SEP.	LOADBEARING ELEMENT							
	0 HR FRR SEP.	ROOF ASSEMBLY							
REFER TO PLANS AND SECTIONS FOR ULC/NBC DESIGNATIONS									
9.10.14 SPATIAL SEPARATION									
SPATIAL CONSTRUCTION OF EXTERIOR WALLS									
WALL	AREA OF EBF (M2)	L.D. (M)	L/H OR H/L	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	WALL CONSTR.	WALL CLADDING	
NORTH	17.01	>10		100	100	-	COMB.	COMB.	
EAST	9.66	>10		100	100	-	COMB.	COMB.	
SOUTH	17.01	>10		100	100	-	COMB.	COMB.	
WEST	9.66	>10		100	100	-	COMB.	COMB.	
SAFETY WITHIN FLOOR AREAS									
SUITE SEPARATIONS	Occupancy	D/F3	N/A	HRS	9.10.9.15				
STORAGE GARAGE (1.0 HR SEPARATION)	☒ YES	☐ N/A	9.10.9.18.2						
9.9 EXITS									
NUMBER OF EXITS	1	REQ.	1	PROVIDED	9.9.8.2				
DISTANCE BETWEEN EXITS (MIN)	-	M (MIN)	-	M (ACT.)	9.9.8.4				
TRAVEL DISTANCE (MAX)	30	M (MAX)	7.2	M (ACT.)	9.9.8.2				
ADDITIONAL INFORMATION									
9.7 WASHROOM FIXTURES									
RESIDENTIAL OCCUPANCY	☐ YES	☒ NO	3.7.2						
OCCUPANT LOAD	2	MALE	2	FEMALE	3.7.2.2				
NO GENDER ASSIGNED	WATER CLOSET	1	REQUIRED	1	PROVIDED	3.7.2.2			
	LAVATORY	1	REQUIRED	1	PROVIDED	3.7.2.3			
ACCESSIBLE	WATER CLOSET	1	REQUIRED	1	PROVIDED	3.8.3.13			
	LAVATORY	1	REQUIRED	1	PROVIDED	3.8.3.16			
9.8 BARRIER FREE DESIGN									
BARRIER FREE PROTECTION	TYPE	☒ N/A	3.3.1.7						
BARRIER FREE PATH OF TRAVEL THROUGHOUT BUILDING	☒ YES	☐ N/A	3.8.2.3						
BARRIER FREE ACCESS TO UPPER FLOORS	☐ YES	☒ N/A							
BARRIER FREE WASHROOMS PROVIDED	☒ YES	☐ N/A							
ENTRANCES									
- POWER DOOR OPERATOR	☒ YES	☐ N/A	3.8.3.6.5						
- CLEAR WIDTH	☒ YES	☐ N/A	3.8.3.6.2						
- VESTIBULE CLEARANCES	☐ YES	☒ N/A	3.8.3.6.12						
EXTERIOR WALKS - EXISTING TO REMAIN									
- CLEARANCES	☐ YES	☒ N/A	3.8.3.3						
SIGNS									
- ENTRANCES, WASHROOMS, SHOWERS, ELEVATORS	☒ YES	☐ N/A	3.8.2.10						
WASHROOMS									
- UNIVERSAL WASHROOM	☒ YES	☐ N/A	3.8.2.8, 3.8.3.13						
- POWER OPERATORS	☒ YES	☐ N/A	3.8.2.7.1/C						
- WATER CLOSET CLEARANCES	☒ YES	☐ N/A	3.8.3.12						
- DOOR REQUIREMENTS	☒ YES	☐ N/A	3.8.3.6						
- GRAB BARS	☒ YES	☐ N/A	3.8.3.12, 3.8.3.13						
- COAT HOOKS	☒ YES	☐ N/A	3.8.3.12, 3.8.3.13						
- SIGNAGE	☒ YES	☐ N/A	3.8.3.9						
- URINAL GRAB BARS	☐ YES	☒ N/A	3.8.3.15						
- LAVATORY CLEARANCES	☒ YES	☐ N/A	3.8.3.16						
- SOAP DISPENSER	☒ YES	☐ N/A	3.8.3.16						
- TOWEL DISPENSER	☐ YES	☒ N/A	3.8.3.16						
- MIRROR	☒ YES	☐ N/A	3.8.3.16						
ELECTRICAL SAFETY SYSTEMS									
FIRE ALARM AND DETECTION SYSTEM	☐ YES	☒ N/A	9.10.18						
EMERGENCY LIGHTING	☒ YES	☐ N/A	9.9.12.3						
EXIT SIGNAGE	☐ YES	☒ N/A	9.9.11.3						
9.10/3.2.5 FIRE PARAMEDIC SERVICE - PROVISIONS FOR FIRE FIGHTING - EXISTING TO REMAIN									
ACCESS TO FIRE FIGHTING PROVIDED TO BASEMENT	☐ YES	☒ N/A	9.10.20.2						
ACCESS ROUTE FOR FIRE FIGHTERS INCL. TURNAROUND	☐ YES	☒ N/A	9.10.20.3						
LOCATION OF FIRE HYDRANTS SHOWN	☐ YES	☐ N/A	9.10.20.3						
OTHER CONDITIONS									
ADDITIONAL ITEMS									
FIRE EXTINGUISHERS SHOWN	☒ YES	☐ N/A							
AED DEVICES SHOWN	☐ YES	☒ N/A							
EQUIVALENTS PROPOSED	☐ YES	☒ N/A							
9.36 ENERGY EFFICIENCY COMPLIANCE	☒ YES	☐ N/A							

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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATING AND LEVELS NOTED ON
THE DRAWINGS WITH THE CONDITIONS ON SITE AND SHALL BE RESPONSIBLE FOR
REPORTING ANY ERRORS OR OMISSIONS TO THE ENGINEER FOR ADJUSTMENTS.
THIS DRAWING SHALL NOT BE SCALED.

LIST OF DRAWINGS

A1.1	LOCATION PLAN - BUILDING CODE REVIEW SUMMARY
A2.1	MAIN FLOOR PLAN
A2.2	REFLECTED CEILING PLAN
A3.1	EXTERIOR ELEVATIONS
A4.1	SECTIONS
A5.1	INTERIOR ELEVATIONS, SCHEDULES
S1.1	GENERAL NOTES / SCHEDULES / DETAILS
S2.1	EXISTING FOUNDATION / MAIN FLOOR & ROOF
S2.2	DEMOLITION FRAMING PLANS
S2.3	FOUNDATION / MAIN FLOOR & ROOF
S3.1	FRAMING PLANS
S3.2	FULL HEIGHT SECTIONS
S3.3	FULL HEIGHT SECTIONS
M1.1	HVAC & PLUMBING - DEMOLITION (NORTH)
M1.2	HVAC - DEMOLITION (SOUTH)
M2.1	HVAC - NEW CONDITIONS (NORTH)
M2.2	HVAC - NEW CONDITIONS (SOUTH)
M3.1	PLUMBING - NEW CONDITIONS (NORTH)
M3.2	PLUMBING - NEW CONDITIONS (SOUTH)
M4.1	DETAILS
M4.2	MECHANICAL SPECIFICATIONS
M4.3	MECHANICAL SPECIFICATIONS
M4.4	MECHANICAL SPECIFICATIONS
E1.0	POWER PLAN - EXISTING
E1.1	LIGHTING PLAN - EXISTING
E2.0	POWER PLAN - NEW
E2.1	LIGHTING PLAN - NEW
E3.0	SCHEDULES
E4.0	ELECTRICAL SPECIFICATIONS

Winnipeg

Revisions

July 13, 2026	Issued for Construction
June 12, 2026	Issued for Owner Review
Date	Revision

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Province of Manitoba
Northern Sky Architecture Inc.
Approved Architectural Corporation
No. 031

Project	City of Winnipeg
drawing title	Grant's Old Mill
scale	as noted
date	July, 2026
project no.	26.146
reference no.	512-2026
designed by	kdw
drawn by	kdw
reviewed by	kdw
sheet	A1.1
REV	R0