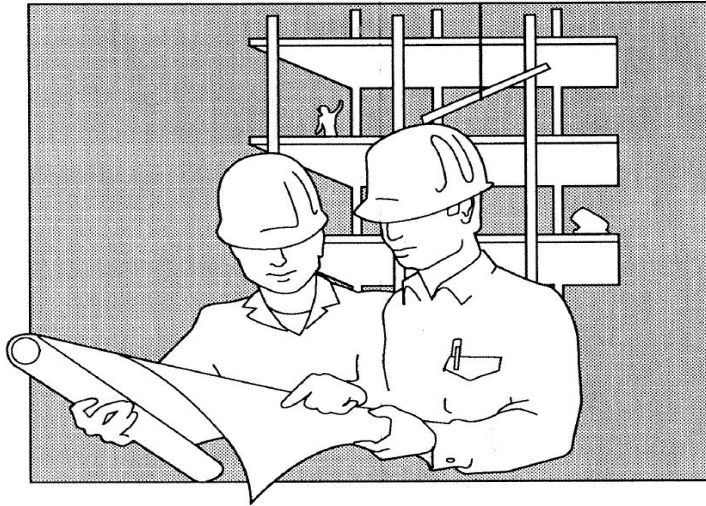


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

April 2017

This Month At A Glance:

Number of permits issued

Residential -----	503
Non-Residential -----	344
Total -----	847
Compared to this month last year -----	+9%

Value of permits issued

Residential -----	\$87,127,213
Non-Residential -----	\$35,330,100
Total -----	\$122,457,313
Compared to this month last year -----	-52%

Dwelling Units

Constructed -----	376
Demolished -----	14

BUILDING TYPE ANALYSIS

■ Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
Residential												
Single	44,954	34,553	30%	180,686	112,763	60%	174	143	22%	698	468	49%
Semi	3,590	2,787	29%	19,727	10,622	86%	28	13	115%	119	58	105%
Row	2,576	0	0%	24,062	18,242	32%	19	0	0%	168	123	37%
Apartment	31,000	13,630	127%	117,834	43,004	174%	2	6	-67%	34	16	113%
Alterations/Additions/Demos	5,007	13,507	-63%	29,411	33,264	-12%	280	330	-15%	923	1,121	-18%
Total, Residential	87,127	64,476	35%	371,720	217,895	71%	503	492	2%	1,942	1,786	9%
Non-Residential												
Alterations/Additions/Demos	27,524	93,004	-70%	121,582	194,365	-37%	338	273	24%	1,179	836	41%
Commercial	1,352	5,009	-73%	27,318	11,624	135%	3	5	-40%	23	13	77%
Industrial	6,455	2,490	159%	12,814	51,785	-75%	2	4	-50%	16	16	0%
Office	0	62,500	-100%	75,000	115,093	-35%	1	1	0%	4	6	-33%
Hotel/Motel	0	22,250	-100%	200	22,250	-99%	0	2	-100%	2	2	0%
Public Buildings/Theatres	0	1,800	-100%	1,636	12,551	-87%	0	1	-100%	2	6	-67%
Institutional	0	3,500	-100%	350	15,960	-98%	0	1	-100%	1	3	-67%
Total, Non-Residential	35,330	190,553	-81%	238,900	423,627	-44%	344	287	20%	1,227	882	39%
Total	122,457	255,029	-52%	610,619	641,521	-5%	847	779	9%	3,169	2,668	19%

■ Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
Residential						
Single	5,091	31,635	30,780	21,683	91,497	180,686
Semi	0	0	7,631	10,698	1,399	19,727
Row	1,825	0	2,901	0	19,337	24,062
Apartment	18,164	381	9,790	16,000	73,498	117,834
Alterations/Additions/Demos	6,041	14,175	1,926	2,613	4,655	29,411
Total, Residential	31,122	46,190	53,028	50,994	190,386	371,720
Non-Residential						
Alterations/Additions/Demos	22,244	31,070	40,200	11,089	16,979	121,582
Commercial	2,972	15,181	6,025	900	2,240	27,318
Industrial	1,305	3,726	6,725	868	189	12,814
Office	75,000	0	0	0	0	75,000
Hotel/Motel	0	0	0	200	0	200
Public Buildings/Theatres	0	0	0	500	1,136	1,636
Institutional	0	0	0	0	350	350
Total, Non-Residential	101,520	49,977	52,950	13,558	20,894	238,900
Total, 2017	132,642	96,167	105,978	64,552	211,279	610,619
Total, 2016	166,165	78,120	201,362	33,737	162,138	641,521
Change	-20%	23%	-47%	91%	30%	-5%

COMMUNITY ANALYSIS

■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
City Centre	15,919	97,475	-84%	132,642	166,165	-20%	115	159	-28%	467	534	-13%
Assiniboia	11,509	34,540	-67%	96,167	78,120	23%	201	125	61%	658	512	29%
Lord Selkirk-West Kildonan	22,308	71,097	-69%	105,978	201,362	-47%	171	138	24%	560	472	19%
East Kildonan-Transcona	18,636	10,957	70%	64,552	33,737	91%	105	127	-17%	427	411	4%
Riel	54,085	40,960	32%	211,279	162,138	30%	255	230	11%	1,057	739	43%
Total	122,457	255,029	-52%	610,619	641,521	-5%	847	779	9%	3,169	2,668	19%

■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2016	Change	Single	Semi	Row	Apt	Total	% of Total	2016	Change
City Centre	2	0	0	0	2	1%	52	-96%	19	0	6	132	157	8%	126	25%
Assiniboia	23	0	0	0	23	6%	23	0%	114	0	0	142	256	12%	62	313%
Lord Selkirk-West Kildonan	34	11	13	0	58	15%	34	71%	127	45	22	178	372	18%	150	148%
East Kildonan-Transcona	25	8	0	52	85	23%	33	158%	94	65	0	104	263	13%	122	116%
Riel	90	10	6	102	208	55%	60	247%	340	14	135	521	1,010	49%	356	184%
Total	174	29	19	154	376	100%	202	86%	694	124	163	1,077	2,058	100%	816	152%
% of Total	46%	8%	5%	41%	100%				34%	6%	8%	52%	100%			
Total, 2016	140	15	0	47	202				464	61	128	163	816			
Change	24%	93%	0%	228%	86%				50%	103%	27%	561%	152%			

■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
Total, 2017	14	0	0	0	14	55	3	0	0	58
% of Total	100%	0%	0%	0%	100%	95%	5%	0%	0%	100%
Total, 2016	13	2	0	0	15	43	5	0	0	48
Change	8%	-100%	0%	0%	-7%	28%	-40%	0%	0%	21%

Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION	VALUE (\$)
425 St Mary AVE	Interior Alteration Office	550,000
66 Chancellors CIR	Interior Alteration University / College	1,911,160
300 Portage AVE	Interior Alteration Arena	6,000,000
130 Sage Creek BLVD	Construct New Apartments	23,000,000
68 Irene ST	Partial Permit-Struct. Frame Industrial	555,000
14 East Plains DR	Construct New SFD	500,000
1370 Charleswood RD	Construct New SFD & Att. Gar.	550,000
1881 Burrows AVE	Construct New Storage Bldg	5,900,000
105 Forbes RD	Construct New SFD & Att. Gar.	500,000
2080 McGillivray BLVD	Construct New Commercial Multi-tenant	562,000
70 Philip Lee DR	Construct New Apartments	8,000,000
290 Vaughan ST	Alter Exterior University / College	550,000
447 Park BLVD	Construct New SFD & Att. Gar.	750,000
1150 Nairn AVE	Interior Alteration Medical Office	720,000
1450 Ellice AVE	Interior and Exterior Alterations Retail Store	1,250,000
360 Main ST	Interior Alteration Office	1,125,000
1284 Wilkes AVE	Locate Special Events	500,000
2090 McGillivray BLVD	Construct New Restaurants	739,500
116 Rose Lake CRT	Construct New SFD & Att. Gar.	523,320
385 St Mary AVE	Interior and Exterior Alterations Office	550,000
745 Bannatyne AVE	Interior Alteration University / College	600,000
1397 Buffalo PL	Construct Addition Church	900,000
19 Dallinger DR	Construct New SFD & Att. Gar.	549,000
1686 Pembina HWY	Interior Alteration Medical Office	2,150,000

How To Use the Winnipeg Building Permit Summary Statistics

This permit data is updated on a monthly basis. The statistics included in the accompanying tables are based on the building permits issued by the City of Winnipeg's Planning, Property and Development (PPD) Department.

NUMBER OF PERMITS ISSUED

Permit counts include all permits issued. In many cases, more than one type of permit must be issued for the same building or project. For example, in the case of a new commercial or multi-unit residential building, there may be three permits issued (one related to the foundation, one for the structural framing, and another for the superstructure).

VALUES

The "values" included in all tables are expressed in thousands of dollars and are based on construction value estimates as declared by permit applicants.

DWELLING UNITS

In the "Construction of Dwelling Units" table, dwelling unit counts are based on permits issued by the Planning, Property and Development Department. This is not the same as housing starts. Housing

starts statistics published by Canada Mortgage and Housing are based on physical construction activity as observed by that agency. In the case of multi-unit residential projects involving partial permits, the dwelling units are not counted until the last major permit (usually the superstructure permit) has been issued.



HOW TO CONTACT US

The Planning, Property and Development Department is located in the Fort Garry Place Complex at 30 Fort Street (behind the Fort Garry Hotel). If you have questions about this summary or any of our services, please call our Customer Services Telephone Line at: 311 or email us at: ppd-help@winnipeg.ca