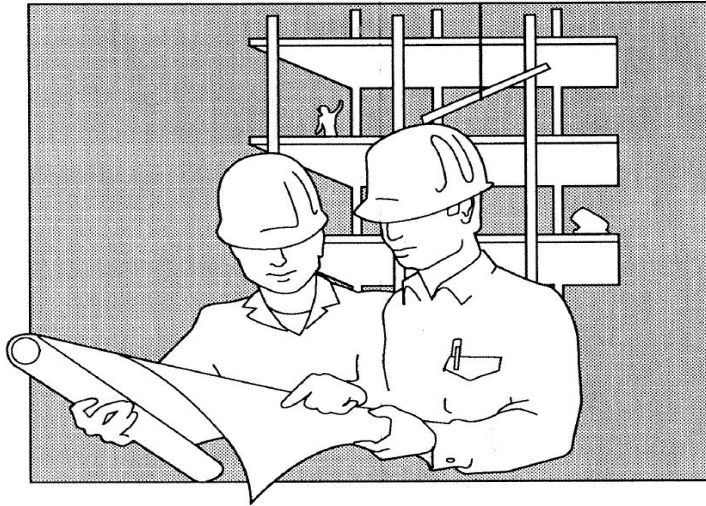


# WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND  
DEVELOPMENT DEPARTMENT

## June 2017

### This Month At A Glance:

**Number of permits issued**

Residential -----	861
Non-Residential -----	340
Total -----	1,201
Compared to this month last year -----	+7%

**Value of permits issued**

Residential -----	\$237,547,052
Non-Residential -----	\$145,930,199
Total -----	\$383,477,251
Compared to this month last year -----	+154%

**Dwelling Units**

Constructed -----	451
Demolished -----	26

# BUILDING TYPE ANALYSIS

## ■ Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
<b>Residential</b>												
Single	47,800	32,678	46%	289,846	175,693	65%	174	127	37%	1,104	725	52%
Semi	10,114	2,447	313%	37,521	15,213	147%	48	11	336%	209	85	146%
Row	11,020	0	0%	39,240	30,436	29%	82	0	0%	279	182	53%
Apartment	151,626	42,230	259%	284,480	103,244	176%	6	9	-33%	45	30	50%
Alterations/Additions/Demos	16,987	13,297	28%	69,465	59,505	17%	551	654	-16%	2,054	2,254	-9%
<b>Total, Residential</b>	<b>237,547</b>	<b>90,651</b>	<b>162%</b>	<b>720,552</b>	<b>384,090</b>	<b>88%</b>	<b>861</b>	<b>801</b>	<b>7%</b>	<b>3,691</b>	<b>3,276</b>	<b>13%</b>
<b>Non-Residential</b>												
Alterations/Additions/Demos	51,262	34,335	49%	198,503	276,688	-28%	329	308	7%	1,824	1,382	32%
Commercial	3,790	5,639	-33%	34,308	21,022	63%	3	7	-57%	29	28	4%
Industrial	378	150	152%	16,792	53,713	-69%	3	3	0%	20	23	-13%
Office	75,200	0	0%	151,700	120,293	26%	2	1	100%	7	9	-22%
Hotel/Motel	0	0	0%	200	22,250	-99%	0	0	0%	3	2	50%
Public Buildings/Theatres	15,300	0	0%	28,536	18,221	57%	2	0	0%	7	7	0%
Institutional	0	20,214	-100%	700	43,934	-98%	1	6	-83%	3	13	-77%
<b>Total, Non-Residential</b>	<b>145,930</b>	<b>60,338</b>	<b>142%</b>	<b>430,739</b>	<b>556,121</b>	<b>-23%</b>	<b>340</b>	<b>325</b>	<b>5%</b>	<b>1,893</b>	<b>1,464</b>	<b>29%</b>
<b>Total</b>	<b>383,477</b>	<b>150,989</b>	<b>154%</b>	<b>1,151,290</b>	<b>940,211</b>	<b>22%</b>	<b>1201</b>	<b>1126</b>	<b>7%</b>	<b>5,584</b>	<b>4,740</b>	<b>18%</b>

## ■ Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
<b>Residential</b>						
Single	9,324	45,305	47,716	37,006	150,495	289,846
Semi	1,800	150	14,280	14,191	7,101	37,521
Row	2,325	0	6,641	3,450	26,824	39,240
Apartment	171,185	381	10,790	16,500	85,624	284,480
Alterations/Additions/Demos	23,882	19,233	3,997	5,467	16,887	69,465
<b>Total, Residential</b>	<b>208,516</b>	<b>65,069</b>	<b>83,423</b>	<b>76,614</b>	<b>286,931</b>	<b>720,552</b>
<b>Non-Residential</b>						
Alterations/Additions/Demos	43,200	41,739	60,822	24,785	27,957	198,503
Commercial	2,972	17,181	6,025	2,400	5,730	34,308
Industrial	4,905	3,726	6,725	868	567	16,792
Office	150,200	0	0	0	1,500	151,700
Hotel/Motel	0	0	0	200	0	200
Public Buildings/Theatres	0	26,900	0	500	1,136	28,536
Institutional	0	0	0	0	700	700
<b>Total, Non-Residential</b>	<b>201,276</b>	<b>89,547</b>	<b>73,572</b>	<b>28,754</b>	<b>37,590</b>	<b>430,739</b>
<b>Total, 2017</b>	<b>409,792</b>	<b>154,616</b>	<b>156,995</b>	<b>105,367</b>	<b>324,520</b>	<b>1,151,290</b>
<b>Total, 2016</b>	<b>207,135</b>	<b>159,225</b>	<b>274,931</b>	<b>69,934</b>	<b>228,986</b>	<b>940,211</b>
<b>Change</b>	<b>98%</b>	<b>-3%</b>	<b>-43%</b>	<b>51%</b>	<b>42%</b>	<b>22%</b>

# COMMUNITY ANALYSIS

## ■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
City Centre	242,324	23,370	937%	409,792	207,135	98%	193	200	-4%	883	892	-1%
Assiniboia	37,111	52,693	-30%	154,616	159,225	-3%	205	180	14%	1,048	837	25%
Lord Selkirk-West Kildonan	27,037	19,568	38%	156,995	274,931	-43%	198	188	5%	976	841	16%
East Kildonan-Transcona	22,961	26,256	-13%	105,367	69,934	51%	185	265	-30%	804	862	-7%
Riel	54,045	29,102	86%	324,520	228,986	42%	420	293	43%	1,873	1,308	43%
<b>Total</b>	<b>383,477</b>	<b>150,989</b>	<b>154%</b>	<b>1,151,290</b>	<b>940,211</b>	<b>22%</b>	<b>1201</b>	<b>1,126</b>	<b>7%</b>	<b>5,584</b>	<b>4,740</b>	<b>18%</b>

## ■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2016	Change	Single	Semi	Row	Apt	Total	% of Total	2016	Change
City Centre	7	4	0	192	203	45%	36	464%	36	4	10	336	386	13%	166	172%
Assiniboia	25	2	0	0	27	6%	141	-81%	162	2	0	142	306	10%	380	-19%
Lord Selkirk-West Kildonan	30	7	7	0	44	10%	44	0%	194	82	37	178	491	17%	273	80%
East Kildonan-Transcona	25	12	17	0	54	12%	217	-75%	163	85	23	104	375	13%	363	3%
Riel	85	25	13	0	123	27%	58	112%	542	47	161	633	1,383	47%	490	182%
<b>Total</b>	<b>172</b>	<b>50</b>	<b>37</b>	<b>192</b>	<b>451</b>	<b>100%</b>	<b>496</b>	<b>-9%</b>	<b>1,097</b>	<b>220</b>	<b>231</b>	<b>1,393</b>	<b>2,941</b>	<b>100%</b>	<b>1,672</b>	<b>76%</b>
% of Total	38%	11%	8%	43%	100%				37%	7%	8%	47%	100%			
Total, 2016	123	12	0	361	496				712	87	191	682	1,672			
Change	40%	317%	0%	-47%	-9%				54%	153%	21%	104%	76%			

## ■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
<b>Total, 2017</b>	24	2	0	0	26	100	5	0	0	105
% of Total	92%	8%	0%	0%	100%	95%	5%	0%	0%	100%
Total, 2016	19	0	0	0	19	77	5	3	0	85
Change	26%	0%	0%	0%	37%	30%	0%	-100%	0%	24%

## Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION		VALUE (\$)
455 Sterling Lyon PKY	Interior Alteration	Restaurants	1,049,000
360 Main ST	Interior Alteration	Office	1,200,000
835 Ashburn ST	Demolition / Construct	Detached Garage	2,036,836
405 Munroe AVE	Construct Addition	School	1,568,999
595 St Anne's RD	Interior and Exterior Alterations	Office	500,000
1485 Portage AVE	Interior Alteration	Retail Store	517,000
65 Chancellors CIR	Interior Alteration	Restaurants	640,000
150 Henry AVE	Interior and Exterior Alterations	Office Multi-use	1,375,343
242 Hargrave ST	Construct New	Office Multi-use	75,000,000
225 Carlton ST	Construct New	Residential Multi-Use	150,000,000
70 Irene ST	Interior Alteration	Factory	500,000
385 Scotswood DR	Construct New	SFD & Att. Gar.	525,000
68 Irene ST	Construct Addition	Industrial	555,000
145 Locomotive DR	Partial Permit-Foundation	Park Bldgs	15,250,000
347 Creekside RD	Construct New	SFD & Att. Gar.	526,470
385 St Mary AVE	Structural Alteration	Office	2,100,000
201 Portage AVE	Interior Alteration	Commercial Multi-tenant	2,509,116
620 Kildare AVE	Interior Alteration	Retail Store	783,405
11 Devonshire DR	Construct Addition	Restaurants	900,000
333 Broadway	Interior Alteration	Office	3,350,596
10 Highwater PATH	Partial Permit-Foundation	Apartments	500,000
90 Waterford Green COMMO	Partial Permit-Foundation	Apartments	500,000
112 Creekside RD	Construct New	SFD & Att. Gar.	700,000
150 Inkster Garden DR	Interior and Exterior Alterations	School	1,748,000
369 Fairlane AVE	Interior and Exterior Alterations	School	500,000
120 Rose Lake CRT	Construct New	SFD & Att. Gar.	800,000
350 North Town RD	Construct New	Commercial	1,550,000
218 Girtton BLVD	Construct New	SFD & Att. Gar.	500,000
50 Nihal BAY	Construct New	SFD & Att. Gar.	684,400
327 Creekside RD	Construct New	SFD & Att. Gar.	700,000
15 Stradwick PT	Construct New	SFD & Att. Gar.	750,000
145 Rose Lake CRT	Construct New	SFD & Att. Gar.	920,000
360 Rouge RD	Alter Exterior	School	1,000,000
191 Broadway	Interior Alteration	Office	900,000
2022 McCreary RD	Construct New	SFD & Att. Gar.	1,110,000
505 Sharron BAY	Interior Alteration	School	1,427,000
360 Main ST	Interior Alteration	Shopping Centre	1,500,000
1385 Sargent AVE	Interior and Exterior Alterations	Supermarket	2,300,000
2930 St Mary's RD	Construct New	SFD & Att. Gar.	500,000
1535 Inkster BLVD	Interior and Exterior Alterations	Factory	600,000
54 Camira WAY	Construct New	SFD & Att. Gar.	515,000
34 Clear Spring RD	Construct New	SFD & Att. Gar.	700,000
336 Creekside RD	Construct New	SFD & Att. Gar.	530,000
11 Stradwick PT	Construct New	SFD & Att. Gar.	750,000
95 Wildflower WAY	Construct New	SFD & Att. Gar.	700,000
179 Provencher BLVD	Interior Alteration	Bank	790,775
270 Flora AVE	Alter Exterior	School	900,000
1077 St James ST	Construct Addition	Church	965,000
757 Roch ST	Interior and Exterior Alterations	School	1,092,155
3894 Grant AVE	Construct New	Restaurants	2,000,000
220 Dysart RD	Alter Exterior	University / College	2,363,533
826 Regent AVE	Construct Addition	Hotel	6,118,201