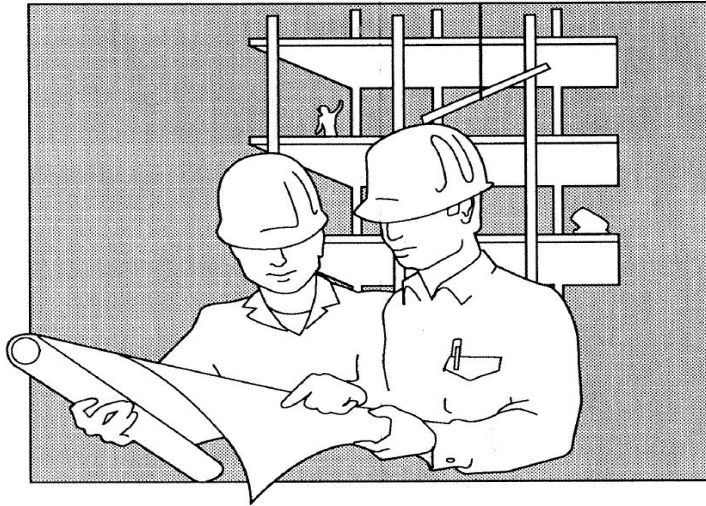


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

August 2017

This Month At A Glance:

Number of permits issued

Residential -----	634
Non-Residential -----	315
Total -----	949
Compared to this month last year -----	-20%

Value of permits issued

Residential -----	\$57,605,626
Non-Residential -----	\$52,144,746
Total -----	\$109,750,372
Compared to this month last year -----	-43%

Dwelling Units

Constructed -----	290
Demolished -----	21

BUILDING TYPE ANALYSIS

■ Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
Residential												
Single	22,176	31,905	-30%	348,912	253,074	38%	91	135	-33%	1,335	1,042	28%
Semi	5,592	2,385	135%	59,631	19,479	206%	32	15	113%	314	112	180%
Row	2,933	782	275%	45,551	49,182	-7%	48	13	269%	350	290	21%
Apartment	13,663	20,425	-33%	349,919	148,929	135%	3	9	-67%	55	49	12%
Alterations/Additions/Demos	13,242	9,422	41%	91,973	81,937	12%	460	694	-34%	2,958	3,377	-12%
Total, Residential	57,606	64,919	-11%	895,985	552,600	62%	634	866	-27%	5,012	4,870	3%
Non-Residential												
Alterations/Additions/Demos	23,871	32,222	-26%	272,596	375,474	-27%	303	291	4%	2,420	1,993	21%
Commercial	6,684	14,524	-54%	45,123	39,381	15%	4	5	-20%	37	39	-5%
Industrial	40	56,110	-100%	19,508	113,865	-83%	3	7	-57%	31	33	-6%
Office	0	1,400	-100%	154,650	121,843	27%	2	1	100%	12	11	9%
Hotel/Motel	4,500	0	0%	4,700	22,250	-79%	1	0	0%	4	2	100%
Public Buildings/Theatres	50	1,562	-97%	28,586	21,298	34%	1	2	-50%	9	10	-10%
Institutional	17,000	22,156	-23%	17,700	73,219	-76%	1	7	-86%	7	23	-70%
Total, Non-Residential	52,145	127,974	-59%	542,863	767,330	-29%	315	313	1%	2,520	2,111	19%
Total	109,750	192,893	-43%	1,438,849	1,319,930	9%	949	1179	-20%	7,532	6,981	8%

■ Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
Residential						
Single	12,056	53,706	60,808	42,567	179,775	348,912
Semi	1,800	150	23,714	15,207	18,761	59,631
Row	2,895	0	7,199	5,700	29,757	45,551
Apartment	178,361	32,381	10,790	42,500	85,887	349,919
Alterations/Additions/Demos	32,360	25,930	5,634	7,535	20,513	91,973
Total, Residential	227,472	112,166	108,144	113,510	334,692	895,985
Non-Residential						
Alterations/Additions/Demos	57,241	58,607	90,943	28,362	37,444	272,596
Commercial	3,000	18,785	8,525	9,084	5,730	45,123
Industrial	7,386	3,726	6,725	988	682	19,508
Office	150,200	1,950	0	0	2,500	154,650
Hotel/Motel	4,500	0	0	200	0	4,700
Public Buildings/Theatres	0	26,900	50	500	1,136	28,586
Institutional	0	0	0	0	17,700	17,700
Total, Non-Residential	222,326	109,969	106,243	39,134	65,192	542,863
Total, 2017	449,798	222,136	214,387	152,644	399,884	1,438,849
Total, 2016	271,111	223,655	322,038	118,868	384,258	1,319,930
Change	66%	-1%	-33%	28%	4%	9%

COMMUNITY ANALYSIS

■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
City Centre	23,290	25,478	-9%	449,798	271,111	66%	200	335	-40%	1,250	1,437	-13%
Assiniboia	14,868	20,724	-28%	222,136	223,655	-1%	152	153	-1%	1,352	1,136	19%
Lord Selkirk-West Kildonan	17,783	19,555	-9%	214,387	322,038	-33%	175	172	2%	1,330	1,222	9%
East Kildonan-Transcona	16,632	14,675	13%	152,644	118,868	28%	115	156	-26%	1,092	1,202	-9%
Riel	37,177	112,461	-67%	399,884	384,258	4%	307	363	-15%	2,508	1,984	26%
Total	109,750	192,893	-43%	1,438,849	1,319,930	9%	949	1,179	-20%	7,532	6,981	8%

■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2016	Change	Single	Semi	Row	Apt	Total	% of Total	2016	Change
City Centre	10	0	0	36	46	16%	98	-53%	49	4	17	384	454	12%	344	51%
Assiniboia	6	0	0	0	6	2%	15	-60%	185	2	0	275	462	12%	541	-15%
Lord Selkirk-West Kildonan	17	32	0	0	49	17%	88	-44%	245	139	41	178	603	16%	419	44%
East Kildonan-Transcona	12	0	0	64	76	26%	77	-1%	191	91	38	272	592	16%	654	-9%
Riel	44	0	63	6	113	39%	82	38%	656	91	224	639	1,610	43%	695	132%
Total	89	32	63	106	290	100%	360	-19%	1,326	327	320	1,748	3,721	100%	2,653	40%
% of Total	31%	11%	22%	37%	100%				36%	9%	9%	47%	100%			
Total, 2016	133	14	13	200	360				1,025	113	311	1,204	2,653			
Change	-33%	129%	385%	-47%	-19%				29%	189%	3%	45%	40%			

■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
Total, 2017	20	1	0	0	21	141	7	0	0	148
% of Total	95%	5%	0%	0%	100%	95%	5%	0%	0%	100%
Total, 2016	16	0	0	0	16	117	9	4	0	130
Change	25%	0%	0%	0%	31%	21%	-22%	-100%	0%	14%

Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION	VALUE (\$)
493 Notre Dame AVE	Construct New Retail Store	2,500,000
1301 Ellice AVE	Partial Permit-Struct. Frame Hotel	4,500,000
845 Dakota ST	Alter Exterior Commercial Multi-tenant	500,000
173 Woodhaven BLVD	Construct New SFD & Att. Gar.	750,000
1070 Henderson HWY	Construct New Gas Service Store	3,100,000
255 Bell AVE	Construct New Apartments	5,400,000
3647 Portage AVE	Interior Alteration Bank	600,000
1799 Kenaston BLVD	Interior Alteration Warehouse Store	1,200,000
60 Philip Lee DR	Construct New Apartments	8,000,000
1725 Inkster BLVD	Interior and Exterior Alterations Warehouse	1,200,000
191 Broadway	Interior Alteration Office	668,250
1670 Portage AVE	Interior and Exterior Alterations Hotel	1,373,349
651 Cambridge ST	Demolition / Construct Detached Garage	2,746,567
854 Nairn AVE	Construct New Restaurants	1,083,600
12 Dafoe RD	Structural Alteration University / College	735,000
220 Portage AVE	Interior Alteration Office	750,000
733 McPhillips ST	Construct Addition Hair Salon	700,000
1600 Ness AVE	Interior and Exterior Alterations Retail Store	1,680,000
140 Eaglewood DR	Partial Permit-Foundation Row Housing	1,124,224
140 Eaglewood DR	Construct New Row Housing	1,808,748
35 Peregrine PT	Construct New SFD & Att. Gar.	747,105
3647 Portage AVE	Interior Alteration Bank	750,000
663 Cavalier DR	Alter Exterior Row Housing	780,239
659 Cavalier DR	Alter Exterior Row Housing	2,080,638
97 Dafoe RD	Construct New University / College	17,000,000
580 Christie RD	Construct New SFD & Att. Gar.	900,000
882 Kildonan DR	Construct New SFD & Att. Gar.	500,000

How To Use the Winnipeg Building Permit Summary Statistics

This permit data is updated on a monthly basis. The statistics included in the accompanying tables are based on the building permits issued by the City of Winnipeg's Planning, Property and Development (PPD) Department.

NUMBER OF PERMITS ISSUED

Permit counts include all permits issued. In many cases, more than one type of permit must be issued for the same building or project. For example, in the case of a new commercial or multi-unit residential building, there may be three permits issued (one related to the foundation, one for the structural framing, and another for the superstructure).

VALUES

The "values" included in all tables are expressed in thousands of dollars and are based on construction value estimates as declared by permit applicants.

DWELLING UNITS

In the "Construction of Dwelling Units" table, dwelling unit counts are based on permits issued by the Planning, Property and Development Department. This is not the same as housing starts. Housing

starts statistics published by Canada Mortgage and Housing are based on physical construction activity as observed by that agency. In the case of multi-unit residential projects involving partial permits, the dwelling units are not counted until the last major permit (usually the superstructure permit) has been issued.



HOW TO CONTACT US

The Planning, Property and Development Department is located in the Fort Garry Place Complex at 30 Fort Street (behind the Fort Garry Hotel). If you have questions about this summary or any of our services, please call our Customer Services Telephone Line at: 311 or email us at: ppd-help@winnipeg.ca