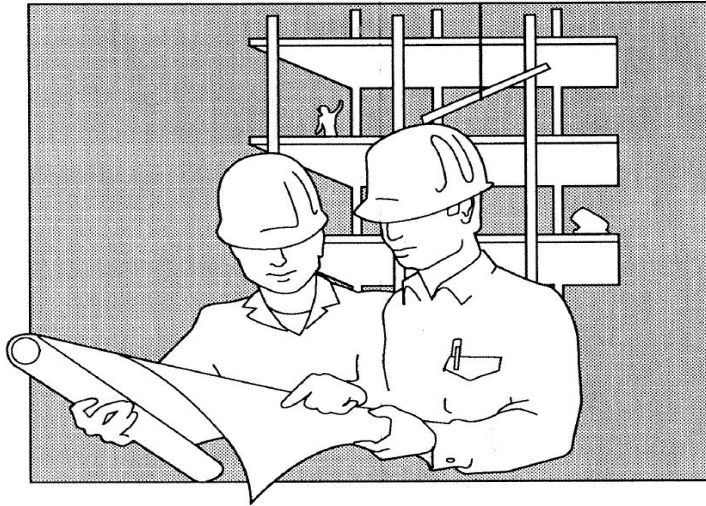


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

October 2017

This Month At A Glance:

Number of permits issued

| | |
|--|-----|
| Residential | 585 |
| Non-Residential | 317 |
| Total | 902 |
| Compared to this month last year | +1% |

Value of permits issued

| | |
|--|---------------|
| Residential | \$95,407,991 |
| Non-Residential | \$33,793,345 |
| Total | \$129,201,336 |
| Compared to this month last year | +0% |

Dwelling Units

| | |
|-------------------|-----|
| Constructed | 504 |
| Demolished | 22 |

BUILDING TYPE ANALYSIS

■ Permit Activity by Building Type

| BUILDING TYPE | VALUE IN \$000 | | | | | | NUMBER OF PERMITS ISSUED | | | | | |
|-------------------------------|----------------|----------------|-------------|------------------|------------------|-------------|--------------------------|------------|------------|--------------|--------------|------------|
| | MONTH | | | YEAR TO DATE | | | MONTH | | | YEAR TO DATE | | |
| | 2017 | 2016 | Change | 2017 | 2016 | Change | 2017 | 2016 | Change | 2017 | 2016 | Change |
| Residential | | | | | | | | | | | | |
| Single | 25,146 | 35,943 | -30% | 402,219 | 323,705 | 24% | 118 | 158 | -25% | 1,562 | 1,338 | 17% |
| Semi | 2,231 | 6,837 | -67% | 62,282 | 27,644 | 125% | 12 | 48 | -75% | 328 | 167 | 96% |
| Row | 8,803 | 2,250 | 291% | 56,908 | 53,112 | 7% | 59 | 20 | 195% | 471 | 319 | 48% |
| Apartment | 47,821 | 22,281 | 115% | 410,940 | 184,310 | 123% | 6 | 8 | -25% | 68 | 61 | 11% |
| Alterations/Additions/Demos | 11,408 | 16,178 | -29% | 122,934 | 108,929 | 13% | 390 | 389 | 0% | 3,761 | 4,184 | -10% |
| Total, Residential | 95,408 | 83,489 | 14% | 1,055,283 | 697,701 | 51% | 585 | 623 | -6% | 6,190 | 6,069 | 2% |
| Non-Residential | | | | | | | | | | | | |
| Alterations/Additions/Demos | 24,248 | 37,491 | -35% | 322,489 | 446,110 | -28% | 302 | 261 | 16% | 2,987 | 2,534 | 18% |
| Commercial | 1,255 | 4,174 | -70% | 49,888 | 45,850 | 9% | 5 | 4 | 25% | 48 | 45 | 7% |
| Industrial | 3,686 | 2,776 | 33% | 28,990 | 119,533 | -76% | 5 | 7 | -29% | 41 | 47 | -13% |
| Office | 0 | 0 | 0% | 158,150 | 122,123 | 30% | 3 | 0 | 0% | 18 | 13 | 38% |
| Hotel/Motel | 0 | 0 | 0% | 4,700 | 22,250 | -79% | 0 | 0 | 0% | 4 | 2 | 100% |
| Public Buildings/Theatres | 4,605 | 45 | 0133% | 33,191 | 21,343 | 56% | 2 | 1 | 100% | 11 | 11 | 0% |
| Institutional | 0 | 1,200 | -100% | 17,950 | 85,418 | -79% | 0 | 1 | -100% | 8 | 28 | -71% |
| Total, Non-Residential | 33,793 | 45,686 | -26% | 615,358 | 862,627 | -29% | 317 | 274 | 16% | 3,117 | 2,680 | 16% |
| Total | 129,201 | 129,175 | 0% | 1,670,641 | 1,560,327 | 7% | 902 | 897 | 1% | 9,307 | 8,749 | 6% |

■ Permit Value by Building Type and Community

| BUILDING TYPE | YEAR TO DATE VALUE IN \$000 | | | | | |
|-------------------------------|-----------------------------|----------------|--------------------------------|-----------------------------|----------------|------------------|
| | CITY CENTRE | ASSINIBOIA | LORD SELKIRK- WEST KILDONAN | EAST KILDONAN- TRANSCONA | RIEL | TOTAL CITY |
| Residential | | | | | | |
| Single | 16,047 | 60,315 | 72,142 | 50,582 | 203,133 | 402,219 |
| Semi | 1,800 | 150 | 26,084 | 15,487 | 18,761 | 62,282 |
| Row | 3,395 | 0 | 8,809 | 5,700 | 39,005 | 56,908 |
| Apartment | 179,361 | 45,381 | 21,490 | 44,000 | 120,708 | 410,940 |
| Alterations/Additions/Demos | 43,755 | 29,180 | 13,640 | 9,622 | 26,738 | 122,934 |
| Total, Residential | 244,357 | 135,026 | 142,165 | 125,392 | 408,344 | 1,055,283 |
| Non-Residential | | | | | | |
| Alterations/Additions/Demos | 80,668 | 66,932 | 98,333 | 32,963 | 43,594 | 322,489 |
| Commercial | 3,000 | 22,235 | 8,530 | 9,284 | 6,840 | 49,888 |
| Industrial | 7,767 | 3,741 | 6,975 | 1,408 | 9,099 | 28,990 |
| Office | 150,200 | 2,850 | 0 | 0 | 5,100 | 158,150 |
| Hotel/Motel | 4,500 | 0 | 0 | 200 | 0 | 4,700 |
| Public Buildings/Theatres | 0 | 26,900 | 50 | 5,105 | 1,136 | 33,191 |
| Institutional | 0 | 250 | 0 | 0 | 17,700 | 17,950 |
| Total, Non-Residential | 246,134 | 122,909 | 113,887 | 48,959 | 83,469 | 615,358 |
| Total, 2017 | 490,491 | 257,935 | 256,052 | 174,350 | 491,813 | 1,670,641 |
| Total, 2016 | 316,905 | 261,054 | 370,095 | 147,303 | 464,971 | 1,560,327 |
| Change | 55% | -1% | -31% | 18% | 6% | 7% |

COMMUNITY ANALYSIS

■ Permit Activity by Community

| COMMUNITY | VALUE IN \$000 | | | | | | NUMBER OF PERMITS ISSUED | | | | | |
|----------------------------|----------------|----------------|-----------|------------------|------------------|-----------|--------------------------|------------|-----------|--------------|--------------|-----------|
| | MONTH | | | YEAR TO DATE | | | MONTH | | | YEAR TO DATE | | |
| | 2017 | 2016 | Change | 2017 | 2016 | Change | 2017 | 2016 | Change | 2017 | 2016 | Change |
| City Centre | 17,076 | 21,224 | -20% | 490,491 | 316,905 | 55% | 167 | 147 | 14% | 1,585 | 1,754 | -10% |
| Assiniboia | 20,351 | 18,607 | 9% | 257,935 | 261,054 | -1% | 157 | 152 | 3% | 1,660 | 1,437 | 16% |
| Lord Selkirk-West Kildonan | 14,041 | 23,242 | -40% | 256,052 | 370,095 | -31% | 162 | 175 | -7% | 1,645 | 1,577 | 4% |
| East Kildonan-Transcona | 11,488 | 17,962 | -36% | 174,350 | 147,303 | 18% | 114 | 133 | -14% | 1,321 | 1,443 | -8% |
| Riel | 66,245 | 48,138 | 38% | 491,813 | 464,971 | 6% | 302 | 290 | 4% | 3,096 | 2,538 | 22% |
| Total | 129,201 | 129,175 | 0% | 1,670,641 | 1,560,327 | 7% | 902 | 897 | 1% | 9,307 | 8,749 | 6% |

■ Construction of Residential Dwelling Units

| COMMUNITY | MONTH | | | | | | | | YEAR TO DATE | | | | | | | |
|----------------------------|------------|-----------|-----------|------------|------------|-------------|------------|------------|--------------|------------|------------|--------------|--------------|-------------|--------------|------------|
| | Single | Semi | Row | Apt | Total | % of Total | 2016 | Change | Single | Semi | Row | Apt | Total | % of Total | 2016 | Change |
| City Centre | 6 | 0 | 3 | 0 | 9 | 2% | 2 | 350% | 64 | 4 | 20 | 384 | 472 | 10% | 395 | 36% |
| Assiniboia | 11 | 0 | 0 | 70 | 81 | 16% | 83 | -2% | 218 | 2 | 0 | 345 | 565 | 12% | 642 | -12% |
| Lord Selkirk-West Kildonan | 24 | 10 | 0 | 0 | 34 | 7% | 51 | -33% | 295 | 151 | 57 | 304 | 807 | 18% | 526 | 53% |
| East Kildonan-Transcona | 16 | 2 | 0 | 0 | 18 | 4% | 52 | -65% | 227 | 93 | 38 | 295 | 653 | 14% | 777 | -16% |
| Riel | 60 | 0 | 53 | 249 | 362 | 72% | 218 | 66% | 747 | 91 | 312 | 888 | 2,038 | 45% | 991 | 106% |
| Total | 117 | 12 | 56 | 319 | 504 | 100% | 406 | 24% | 1,551 | 341 | 427 | 2,216 | 4,535 | 100% | 3,331 | 36% |
| % of Total | 23% | 2% | 11% | 63% | 100% | | | | 34% | 8% | 9% | 49% | 100% | | | |
| Total, 2016 | 154 | 48 | 29 | 188 | 419 | | | | 1,317 | 169 | 349 | 1,496 | 3,331 | | | |
| Change | -24% | -75% | 93% | 70% | 20% | | | | 18% | 102% | 22% | 48% | 36% | | | |

■ Demolition of Residential Dwelling Units

| SUMMARY | MONTH | | | | | YEAR TO DATE | | | | |
|--------------------|--------|------|-----|-----|-------|--------------|------|-------|-----|-------|
| | SINGLE | SEMI | ROW | APT | TOTAL | SINGLE | SEMI | ROW | APT | TOTAL |
| Total, 2017 | 21 | 1 | 0 | 0 | 22 | 164 | 8 | 0 | 0 | 172 |
| % of Total | 95% | 5% | 0% | 0% | 100% | 95% | 5% | 0% | 0% | 100% |
| Total, 2016 | 21 | 6 | 0 | 0 | 27 | 161 | 16 | 4 | 0 | 181 |
| Change | 0% | -83% | 0% | 0% | -19% | 2% | -50% | -100% | 0% | -5% |

Major Projects

| ADDRESS | BUILDING PERMIT DESCRIPTION | VALUE (\$) | |
|--------------------|-----------------------------------|------------------------|------------|
| 1301 Ellice AVE | Construct Addition | Hotel | 4,500,000 |
| 30 Sifton RD | Interior and Exterior Alterations | University / College | 1,497,000 |
| 291 Nassau ST | Construct New | Row Housing | 500,000 |
| 399 Stan Bailie DR | Construct New | Apartments | 8,300,000 |
| 399 Stan Bailie DR | Construct New | Apartments | 9,200,000 |
| 395 Stan Bailie DR | Construct New | Apartments | 11,371,000 |
| 201 Portage AVE | Interior Alteration | Restaurants | 500,000 |
| 1728 St Mary's RD | Alter Exterior | Apartments | 523,751 |
| 600 Camiel Sys ST | Construct New | Factory | 3,000,000 |
| 344 Bridge Lake DR | Construct New | Misc. Structure | 500,000 |
| 350 Bridge Lake DR | Construct New | Apartments | 5,950,000 |
| 147 Ashdale AVE | Construct New | SFD & Att. Gar. | 500,000 |
| 325 Park East DR | Construct New | Parkade - above ground | 900,000 |
| 1120 Grant AVE | Interior Alteration | Cinema | 1,000,000 |
| 55 Donald ST | Interior and Exterior Alterations | Office | 2,205,240 |
| 1320 Ellice AVE | Interior and Exterior Alterations | Restaurants | 1,719,000 |
| 25 Forks Market RD | Interior Alteration | Office Multi-use | 500,000 |
| 570 Portage AVE | Interior Alteration | Medical Office | 750,000 |
| 677 Stafford ST | Interior Alteration | Retail Store | 677,250 |
| 1 Transcona BLVD | Construct New | Library | 4,604,725 |
| 5429 Roblin BLVD | Construct New | Apartments | 13,000,000 |

How To Use the Winnipeg Building Permit Summary Statistics

This permit data is updated on a monthly basis. The statistics included in the accompanying tables are based on the building permits issued by the City of Winnipeg's Planning, Property and Development (PPD) Department.

NUMBER OF PERMITS ISSUED

Permit counts include all permits issued. In many cases, more than one type of permit must be issued for the same building or project. For example, in the case of a new commercial or multi-unit residential building, there may be three permits issued (one related to the foundation, one for the structural framing, and another for the superstructure).

VALUES

The "values" included in all tables are expressed in thousands of dollars and are based on construction value estimates as declared by permit applicants.

DWELLING UNITS

In the "Construction of Dwelling Units" table, dwelling unit counts are based on permits issued by the Planning, Property and Development Department. This is not the same as housing starts. Housing

starts statistics published by Canada Mortgage and Housing are based on physical construction activity as observed by that agency. In the case of multi-unit residential projects involving partial permits, the dwelling units are not counted until the last major permit (usually the superstructure permit) has been issued.



HOW TO CONTACT US

The Planning, Property and Development Department is located in the Fort Garry Place Complex at 30 Fort Street (behind the Fort Garry Hotel). If you have questions about this summary or any of our services, please call our Customer Services Telephone Line at: 311 or email us at: ppd-help@winnipeg.ca