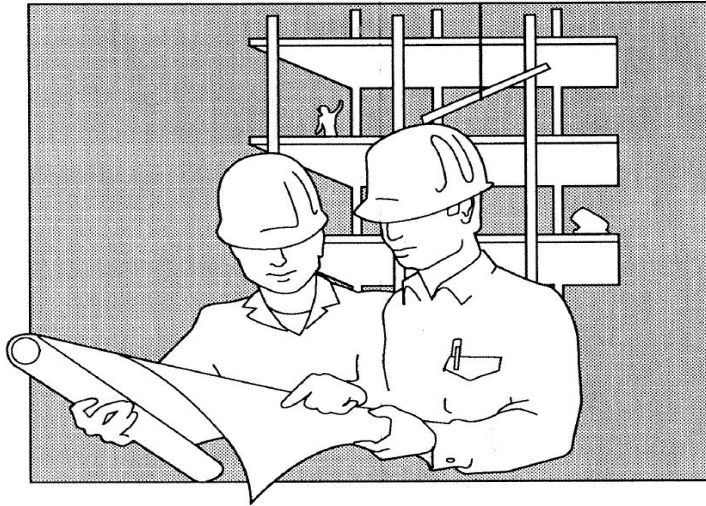


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

December 2017

This Month At A Glance:

Number of permits issued

Residential -----	502
Non-Residential -----	244
Total -----	746
Compared to this month last year -----	+8%

Value of permits issued

Residential -----	\$76,953,604
Non-Residential -----	\$61,487,607
Total -----	\$138,441,212
Compared to this month last year -----	+10%

Dwelling Units

Constructed -----	291
Demolished -----	25

BUILDING TYPE ANALYSIS

■ Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
Residential												
Single	26,727	39,096	-32%	463,444	403,573	15%	98	155	-37%	1,784	1,653	8%
Semi	836	1,813	-54%	63,944	35,244	81%	4	10	-60%	336	210	60%
Row	38,527	2,440	1479%	104,365	57,752	81%	159	24	563%	663	352	88%
Apartment	1,763	23,940	-93%	417,452	218,834	91%	2	9	-78%	72	73	-1%
Alterations/Additions/Demos	9,101	2,942	209%	143,903	123,816	16%	239	197	21%	4,363	4,658	-6%
Total, Residential	76,954	70,231	10%	1,193,109	839,220	42%	502	395	27%	7,218	6,946	4%
Non-Residential												
Alterations/Additions/Demos	32,310	50,761	-36%	496,130	522,164	-5%	231	283	-18%	3,486	3,093	13%
Commercial	11,200	1,500	647%	62,509	50,378	24%	5	1	400%	57	52	10%
Industrial	2,078	1,320	57%	33,103	127,508	-74%	3	4	-25%	50	58	-14%
Office	6,500	80	8025%	164,650	123,103	34%	1	1	0%	19	15	27%
Hotel/Motel	0	0	0%	4,700	22,250	-79%	0	0	0%	4	2	100%
Public Buildings/Theatres	0	1,736	-100%	33,191	34,079	-3%	1	4	-75%	12	16	-25%
Institutional	9,400	461	1939%	28,150	85,879	-67%	3	1	200%	13	31	-58%
Total, Non-Residential	61,488	55,858	10%	822,433	965,359	-15%	244	294	-17%	3,641	3,267	11%
Total	138,441	126,089	10%	2,015,542	1,804,579	12%	746	689	8%	10,859	10,213	6%

■ Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
Residential						
Single	21,091	69,912	81,143	57,686	233,613	463,444
Semi	1,800	150	27,030	16,203	18,761	63,944
Row	4,595	0	9,969	7,260	82,542	104,365
Apartment	179,361	45,381	21,490	44,000	127,220	417,452
Alterations/Additions/Demos	52,199	30,896	15,462	11,213	34,133	143,903
Total, Residential	259,045	146,339	155,093	136,362	496,270	1,193,109
Non-Residential						
Alterations/Additions/Demos	95,222	87,227	121,268	35,501	156,913	496,130
Commercial	3,535	25,271	16,330	10,534	6,840	62,509
Industrial	7,797	3,741	10,275	1,408	9,882	33,103
Office	150,200	9,350	0	0	5,100	164,650
Hotel/Motel	4,500	0	0	200	0	4,700
Public Buildings/Theatres	0	26,900	50	5,105	1,136	33,191
Institutional	500	9,250	300	0	18,100	28,150
Total, Non-Residential	261,753	161,740	148,222	52,747	197,971	822,433
Total, 2017	520,798	308,079	303,315	189,109	694,241	2,015,542
Total, 2016	352,880	303,653	426,827	171,248	549,970	1,804,579
Change	48%	1%	-29%	10%	26%	12%

COMMUNITY ANALYSIS

■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
City Centre	18,527	19,539	-5%	520,798	352,880	48%	115	130	-12%	1,840	2,029	-9%
Assiniboia	27,815	17,525	59%	308,079	303,653	1%	103	109	-6%	1,914	1,678	14%
Lord Selkirk-West Kildonan	28,489	30,719	-7%	303,315	426,827	-29%	114	123	-7%	1,904	1,873	2%
East Kildonan-Transcona	6,247	10,957	-43%	189,109	171,248	10%	71	120	-41%	1,506	1,650	-9%
Riel	57,363	47,348	21%	694,241	549,970	26%	343	207	66%	3,695	2,983	24%
Total	138,441	126,089	10%	2,015,542	1,804,579	12%	746	689	8%	10,859	10,213	6%

■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2016	Change	Single	Semi	Row	Apt	Total	% of Total	2016	Change
City Centre	5	0	0	0	5	2%	18	-72%	76	4	24	384	488	10%	428	29%
Assiniboia	11	0	0	0	11	4%	60	-82%	247	2	0	345	594	12%	716	-17%
Lord Selkirk-West Kildonan	14	2	4	0	20	7%	92	-78%	335	157	61	304	857	17%	680	26%
East Kildonan-Transcona	12	4	0	0	16	5%	47	-66%	255	97	58	295	705	14%	922	-24%
Riel	54	0	173	12	239	82%	193	24%	858	91	523	930	2,402	48%	1,284	87%
Total	96	6	177	12	291	100%	410	-29%	1,771	351	666	2,258	5,046	100%	4,030	25%
% of Total	33%	2%	61%	4%	100%				35%	7%	13%	45%	100%			
Total, 2016	154	11	24	221	410				1,625	216	382	1,807	4,030			
Change	-38%	-45%	638%	-95%	-29%				9%	63%	74%	25%	25%			

■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
Total, 2017	19	6	0	0	25	207	15	0	0	222
% of Total	76%	24%	0%	0%	100%	93%	7%	0%	0%	100%
Total, 2016	15	0	0	0	15	187	17	4	0	208
Change	27%	0%	0%	0%	67%	11%	-12%	-100%	0%	7%

■ Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION		VALUE (\$)
325 Park East DR	Construct New	Row Housing	3,916,800
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325 Park East DR	Construct New	Row Housing	3,916,800
325 Park East DR	Construct New	Row Housing	3,916,800
1579 Regent AVE	Construct New	Strip Mall	1,250,000
111 Polson AVE	Construct Addition	School	1,369,000
2055 Notre Dame AVE	Interior Alteration	University / College	3,200,000
21 Bow Water DR	Construct New	SFD & Att. Gar.	500,000
360 Main ST	Interior Alteration	Office	4,025,000
15 Red Spruce RD	Construct New	SFD & Att. Gar.	536,007
912 Dugas ST	Construct New	Row Housing	600,000
2015 Main ST	Construct New	Storage Bldg	1,700,000
60 Osborne ST	Interior Alteration	Office	2,800,000
240 Graham AVE	Interior Alteration	Office Multi-tenant	4,800,000
696 Portage AVE	Interior and Exterior Alterations	Boarding Houses	1,700,000
2405 McGillivray BLVD	Construct New	Church	9,000,000
217 Lamont BLVD	Partial Permit-Foundation	SFD	980,000
510 Main ST	Interior Alteration	Gov't Office	565,990
401 York AVE	Interior Alteration	Office	631,985
700 William AVE	Interior and Exterior Alterations	Hospital	850,000
296 Creekside RD	Construct New	SFD & Att. Gar.	500,000
27 Crocker PL	Construct New	SFD & Att. Gar.	586,000
900 Lorimer BLVD	Construct New	Office Multi-tenant	6,500,000
1100 Templeton AVE	Construct New	Repair / Service	7,800,000
280 William AVE	Interior Alteration	School	780,000
360 Main ST	Interior Alteration	Office	1,502,000
500 Salter ST	Construct Addition	Library	2,200,000
7 Evergreen PL	Fire Repair	Apartments	2,650,000
2080 Ness AVE	Interior Alteration	Medical Office	500,000
360 Main ST	Interior Alteration	Bank	730,000
2025 Corydon AVE	Interior and Exterior Alterations	Retail Store	830,000
179 North Point BLVD	Construct New	Row Housing	1,160,000
675 McDermot AVE	Alter Exterior	Hospital	510,588
16 Karen Irvine CRES	Construct New	SFD & Att. Gar.	561,850
96 St Mary's RD	Construct New	Apartments	1,500,000
350 North Town RD	Interior Alteration	Medical Office	600,000
1255 St James ST	Construct New	Strip Mall	1,900,000
59 Manipogo BAY	Construct New	SFD & Att. Gar.	500,000
332 Creekside RD	Construct New	SFD & Att. Gar.	547,712